

\* AMENDED STAFF REPORT 2/24/83  
CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

*Howard - please  
see changes OK*

APPLICANT	JTS Engineering, 811 J Street, Sacramento, CA 95814				
OWNER	Mario & Dominic Affinito, 1550 51st Street, Sacramento, CA 95819				
PLANS BY	JTS Engineering, 811 J Street, Sacramento, CA 95814				
FILING DATE	12/23/82	50 DAY CPC ACTION DATE		REPORT BY	SD:sg
NEGATIVE DEC	2/14/83	EIR		ASSESSOR'S PCL NO	008-341-18,21,22

- APPLICATION:
1. Environmental Determination
  2. Amend the 1974 General Plan from Residential to Commercial and Office
  3. Amend 1963 East Sacramento Community Plan from Light Density Residential to Shopping-Office-Commercial
  4. Rezone 1.7+ acre from R-1 to C-2
  5. Tentative Map (P83-006)

LOCATION: 4943-4945 Folsom Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to resubdivide three existing parcels and construct an additional retail sales structure at the rear of a commercially zoned parcel.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential/Commercial & Office
1963 East Sacramento Community Plan Designation:	Light Density Residential/Shopping-Center-Commercial-Office
Existing Zoning of Site:	C-2 and R-1
Existing Land Use of Site:	Retail establishment/duplex

Surrounding Land Use and Zoning:

North: Residential; R-1  
South: Commercial; C-2  
East: Residential and Commercial; R-1, C-2  
West: Commercial; C-2

Parking Required:	67 spaces
Parking Provided:	67 spaces
Parking Ratio:	1:250 sq. ft.
Property Dimensions:	Irregular
Property Area:	1.7± acres
Square Footage of Building:	6,699 sq. ft. existing; 11,700 sq. ft. proposed
Height of Structure:	16 ft. (one story)
Significant Features of Site:	Existing development: irregular zoning lines, stub of 50th at the northwest corner
Topography:	Flat
Street Improvements:	Provided
Utilities:	Provided
Exterior Building Colors:	Earthtone
Exterior Building Materials:	Wood and stucco

APPLC. NO. P83-006

MEETING DATE February 24, 1983

CPC ITEM NO. 4

002382

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: At the Subdivision Review Committee meeting of February 9, 1983, by a vote of seven ayes, one absent, one abstention, the Committee voted to recommend approval of the tentative map subject to conditions. The Committee also voted to deny the subdivision modification request to waive improvements for termination of 50th Street, by the same seven ayes, one absent, one abstention vote. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Relocate existing sewer, drain and water lines or provide for necessary easements for these services as required by the City Engineer.
2. Provide separate sewer and water services for each existing structure.
3. Install street lights as required by the City Engineer.
4. Provide for the improvement of 50th Street to City cul-de-sac standards.
5. Right of access to 50th Street shall be dedicated to the City of Sacramento.
6. Provide a six foot high masonry wall on all interior property lines abutting residentially zoned or used property, including the required cul-de-sac on 50th Street. The wall design shall be subject to review and approval of the Planning Director.
7. Install the required four foot landscaped planters along public street frontages adjacent to parking lots. These planters shall be landscaped with a variety of trees, shrubs and ground cover.

STAFF EVALUATION: Staff has the following concerns and comments with regard to this project:

1. The subject site consists of four irregularly shaped parcels zoned C-2 and R-1. The site is developed with two commercial structures located on Folsom Boulevard and a residence on 51st Street. The applicant proposes to resubdivide the site and rezone portions of it to achieve a better utilization of the overall 1.7 acres. Staff has no objection to the project in concept.
2. 50th Street stubs at the northwest corner of the property and has existed this way for over 30 years. The applicant proposes to leave it as is. The City Engineer and Traffic Engineer have requested that the street be properly terminated with a cul-de-sac and dedication of right-of-access from this cul-de-sac. A six foot high masonry wall is also required around the cul-de-sac. Neighbors residing on 50th Street have expressed opposition to any change in the street pattern in a petition which is attached to the report as Exhibit "C". They do not object to the proposed project (see Exhibit "D").
- \*\* 3. The north<sup>west</sup> ~~east~~ 5,200± square feet of parcel three is currently zoned R-1. In order to utilize this piece in conjunction with the rest of the site for a new retail sales complex the applicant is requesting a rezoning from R-1 to C-2. Since the applicant has specific plans for this piece of property, staff has no objection to the rezoning request.

4. The applicant is also requesting to relocate the western line of the residential parcel 40 feet to the east and rezone that corresponding area from R-1 to C-2 (see Exhibit "B"). This will create a larger commercial piece and a residential lot which will be in excess of the minimum area dimension requirements. Since there are no specific plans for this portion of the site at this time, staff does not support this rezoning request. This rezoning is a further intrusion into a residential neighborhood. Further, staff suggests that the lot line remain where it is, corresponding to the zoning line. The final map should be revised to reflect this suggestion (see staff's Exhibit "C").
5. In order to finalize the map, the applicant should be prepared to install the necessary four foot landscaped planters between parking areas and the public right-of-way. Additionally, a six foot high masonry wall will be necessary along the perimeter of the commercial property abutting residentially used or zoned land, including around the cul-de-sac. Design of the wall shall be subject to review and approval of the Planning Director.
6. In order to shade 50% of the proposed parking area, it may be necessary to redesign the parking lot and reduce the square footage of the new structure. The applicant should check with the department's Energy Planner.
7. The project was transmitted to the East Sacramento Improvement Association. They have indicated opposition to the rezonings, particularly behind the existing duplex. They also expressed concern about changing the neighborhood circulation by constructing a cul-de-sac at the termination of 50th Street. They would also like heavy screening landscaping along the perimeter of the property adjacent to residential uses.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration.
2. Amendment of the General Plan from Residential to Commercial and Office for the .12± acre in the northwest corner of the site.
3. Amendment of the 1963 East Sacramento Community Plan from Light Density Residential to Shopping-Office-Commercial for the same northwestern corner of the site (.12± acre).
4. Rezoning of the northwestern .12± acre from Single Family (R-1) to General Commercial (C-2). (Amendments and rezoning approved for the northwestern corner only.)
5. Approval of the tentative map subject to conditions which follow.
- \*\* 6. *City Planning Commission Approval*  
~~Denial~~ of the subdivision modification to waive cul-de-sac improvements.

Conditions - Tentative Map

- a. Applicant shall relocate existing sewer, drain and water lines or provide for necessary easements for these services as required by the City Engineer.

- b. Provide separate sewer and water services for each existing structure.
- c. Install street lights as required by the City Engineer.
- d. Provide for the improvement of 50th Street to City cul-de-sac standards.
- e. Right of access to 50th Street shall be dedicated to the City of Sacramento.
- \* f. Provide a 6' high masonry wall <sup>with wrought-iron-grille-work-on-top</sup> along all interior property lines abutting residentially zoned or used property ~~including the cul-de-sac on 50th Street.~~ Design shall be subject to review and approval of the Planning Director.

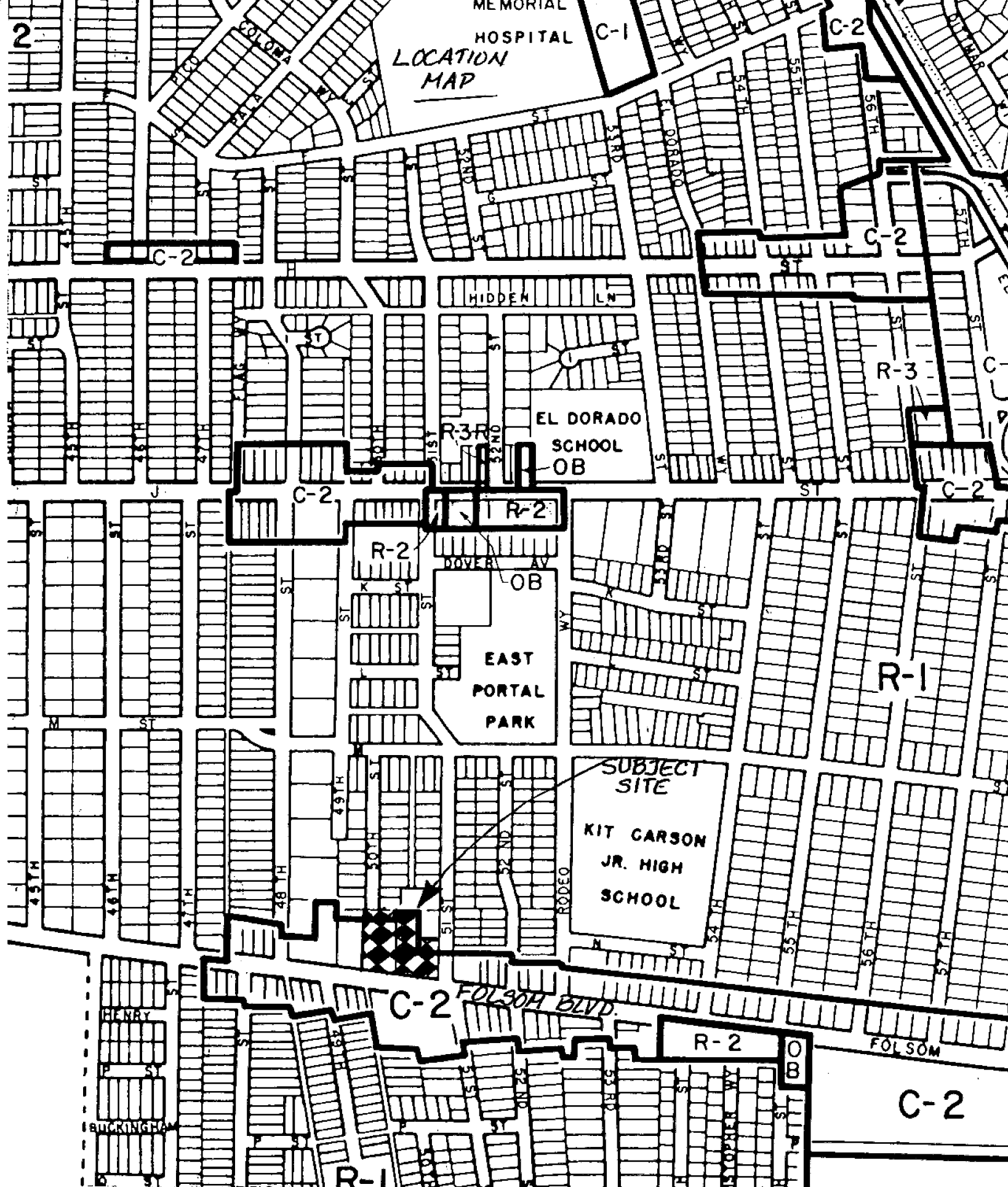
\*SEE BELOW g. ~~Install the required 4' landscaped planters along public street frontages adjacent to parking lots. These planters shall be landscaped with a variety of trees, shrubs and ground cover. Landscaping plans shall be reviewed and approved by the Planning Department prior to final map recordation.~~

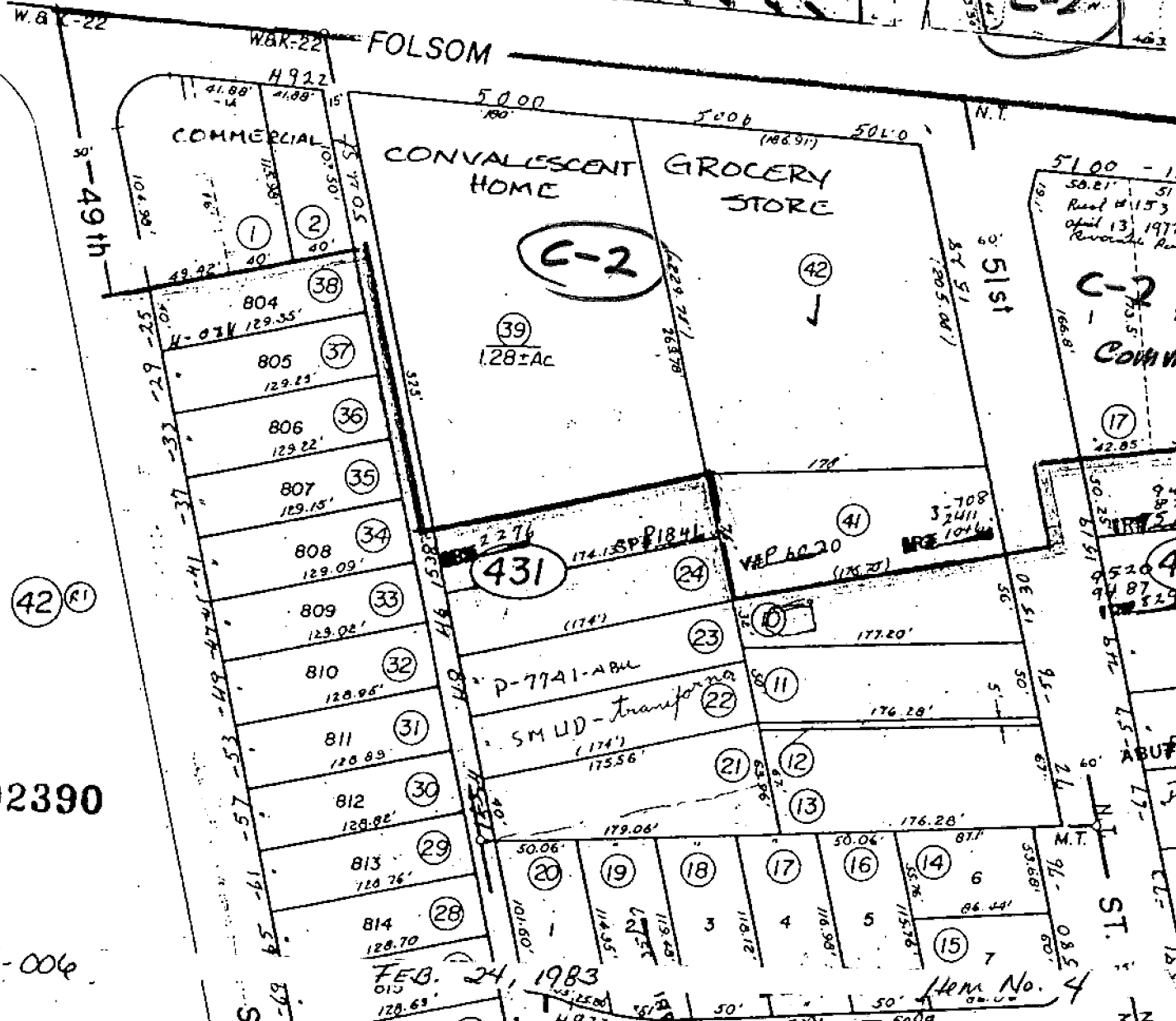
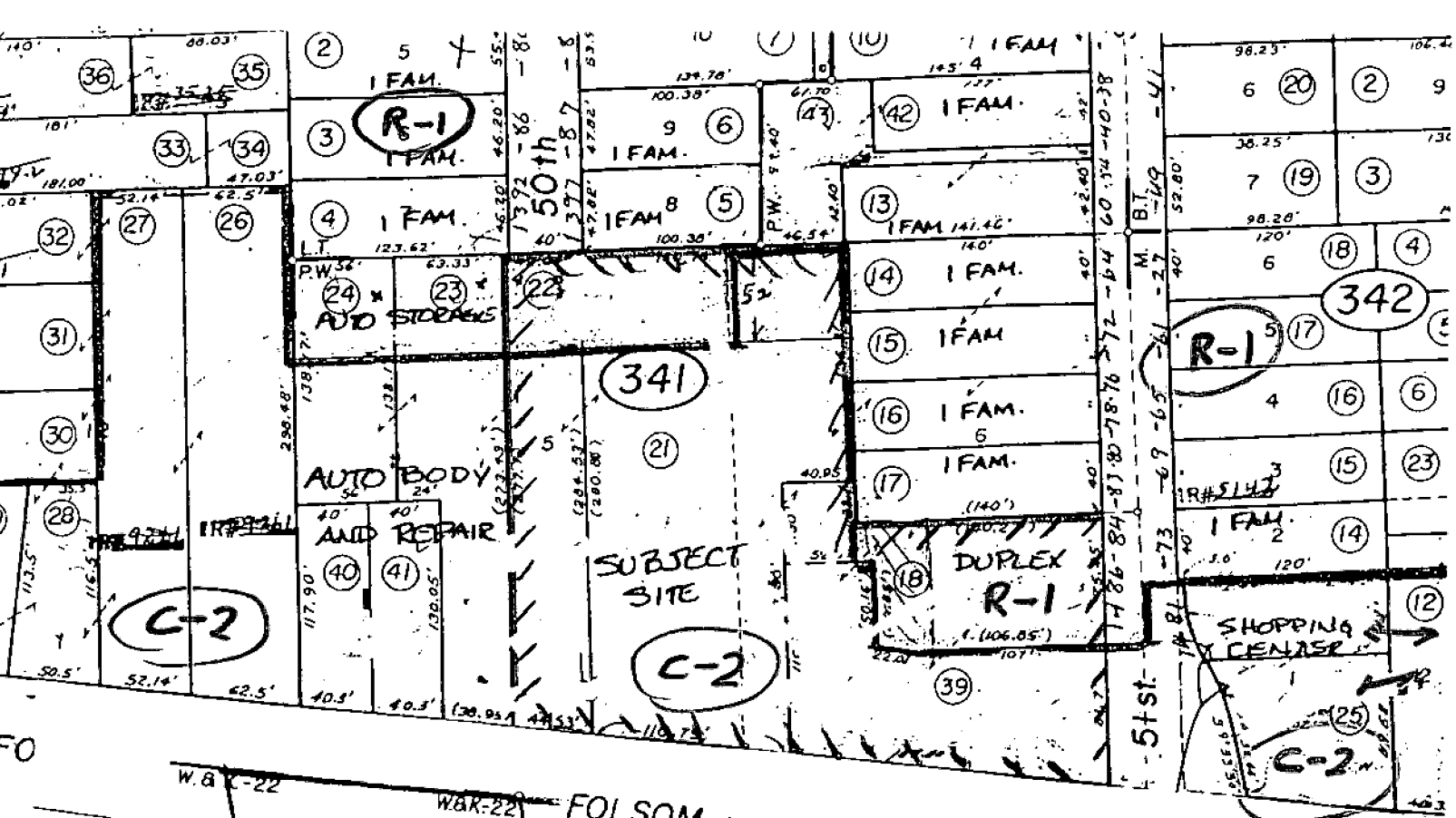
h. Applicant shall redesign the map so that the residential lot line remains as it now exists, 140' in depth. (See staff's Exhibit "C").

\* g. ~~Install the required 4' landscaped planters along public street frontages adjacent to parking lots and along perimeter of site as shown on site plan. These planters shall be landscaped with a variety of trees, shrubs and ground cover. Landscaping plans (including all perimeter landscaping) to be reviewed and approved by the Planning Department prior to final map recordation.~~

- \* i. Detailed landscaping and irrigation plans shall be reviewed and approved by the Planning Department prior to issuance of building permit.
- \* j. The elevations shall be reviewed and approved by the Design Review/Preservation Board.
- \* k. The proposed wall shall be constructed of split face or slump stone block or a third alternative of textured plaster treatment to be integrated with existing buildings. The wall should be designed to protect the existing oak tree along the northern property line. The proposed wall to be reviewed and approved by the Design Review/Preservation Board.

for the developed portion of the site, shall be reviewed & approved by the planning staff; and said landscaping shall be installed prior to recordation of the final map.





002390

P 83-006

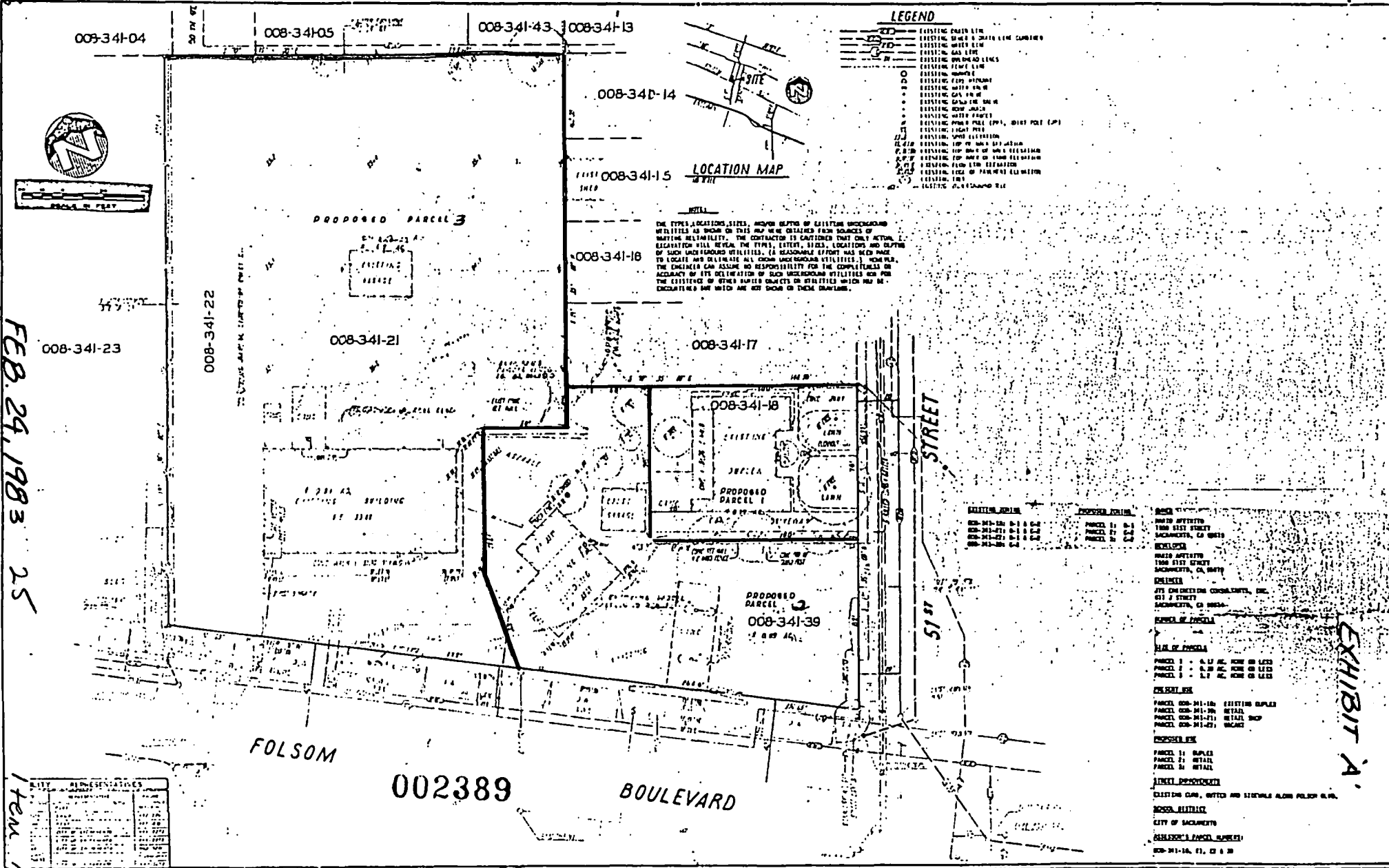
FEB. 24, 1983

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P. 03004

FEB. 24, 1983 25

Item No. 4



THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS MAP WERE OBTAINED FROM SOURCES OF WRITING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, DEPTHS, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND Delineate ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER HAZARDOUS OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

EXISTING AREA	PROPOSED AREA
008-341-18	008-341-18
008-341-17	008-341-17
008-341-21	008-341-21
008-341-22	008-341-22

**PROPOSED PARCEL 1**  
 1000 51ST STREET  
 SACRAMENTO, CA 95811

**PROPOSED PARCEL 2**  
 1000 51ST STREET  
 SACRAMENTO, CA 95811

**OWNER**  
 JTS ENGINEERING CONSULTANTS, INC.  
 811 J STREET  
 SACRAMENTO, CA 95811

**PARCEL OF PARCELS**  
 PARCEL 1 - 0.17 AC. ROW OR LESS  
 PARCEL 2 - 0.20 AC. ROW OR LESS  
 PARCEL 3 - 1.17 AC. ROW OR LESS

**EXISTING USE**  
 PARCEL 008-341-18: EXISTING DUPLEX  
 PARCEL 008-341-17: DETAIL  
 PARCEL 008-341-21: DETAIL SHOP  
 PARCEL 008-341-22: WAREHOUSE

**PROPOSED USE**  
 PARCEL 1: DUPLEX  
 PARCEL 2: DETAIL  
 PARCEL 3: DETAIL

**STREET DIMENSIONS**  
 EXISTING CURB, OFFSET AND SIDEWALK ALONG FOLSOM BLVD.

**HOODS, MANHOLE**  
 CITY OF SACRAMENTO  
 SCHEDULE 'A' PARCELS SUBJECT  
 008-341-18, 17, 21, 22 & 23

EXHIBIT 'A'

CITY	APPROVED/REVISIONS

**JTS ENGINEERING CONSULTANTS, INC.**  
 811 J STREET  
 SACRAMENTO, CALIFORNIA 95811 (916) 441-6706

DATE: 1-20	SCALE: 1"=20'

NO.	DATE	REVISION	CONTRACT NO.	BY

UNIVERSITY PARCELS MAP  
**4943-4945 FOLSOM BLVD.**  
 APN: 008-341-18, 21, 22 & 23  
**TENTATIVE MAP**

DATE: 1-22  
 SHEET: 1/1  
 JOB NO.: 125







CITY OF SACRAMENTO

CITY PLANNING DEPARTMENT  
927 TENTH STREET SACRAMENTO, CA 95814  
SUITE 300 TELEPHONE (916) 449-5804

MARTY VAN DUYN  
PLANNING DIRECTOR

March 22, 1983

City Council  
Sacramento, California

Honorable Members in Session:

SUBJECT: Rezone 0.15+ ac from R-1 to C-2

LOCATION: 4943 & 4945 Folsom Boulevard

SUMMARY

This item is presented at this time for approval of publication of title pursuant to City Charter, Section 38.

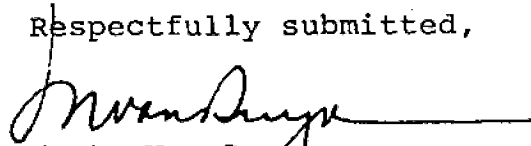
BACKGROUND

Prior to publication of an item in a local paper to meet legal advertising requirements, the City Council must first pass the item for publication. The City Clerk then transmits the title of the item to the paper for publication and for advertising the meeting date.

RECOMMENDATION

It is recommended that the item be passed for publication of title and continued to April 5, 1983.

Respectfully submitted,

  
Marty Van Duyn  
Planning Director

FOR CITY COUNCIL INFORMATION  
WALTER J. SLIPE  
CITY MANAGER

MVD:cp  
Attachment  
P83-006

March 29, 1983  
District No. 3

002364

TOTAL = 32 SIGNATURES

A NEIGHBORHOOD RESPONSE  
TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS  
REGARDING PROPOSED PROJECT P83-006

IT HAS COME TO OUR ATTENTION THAT THE CITY ENGINEERING DEPARTMENT IS SUGGESTING AN ALTERATION TO 50th STREET BETWEEN M STREET AND FOLSOM BOULEVARD IN CONNECTION WITH A RE-ZONING AND COMMERCIAL DEVELOPMENT FRONTING ON FOLSOM BLVD. BETWEEN 48th AND 51st STREETS PROPOSED BY MR. MARIO AFFINITO. THIS SEGMENT OF 50th STREET PRESENTLY DEAD-ENDS AT MR. AFFINITO'S NORTHERLY PROPERTY LINE.

THE UNDERSIGNED RESIDENTS AND PROPERTY OWNERS ON THIS BLOCK WISH TO PROTEST AGAINST ANY ALTERATION TO THE PRESENT CHARACTER OF THE TRAFFIC FLOW ON THIS BLOCK!!

MANY OF US HAVE LIVED HERE SINCE THE AREA WAS SUBDIVIDED SOME THIRTY-SIX YEARS AGO. WE HAVE ENJOYED AND PROFITED BY THE RELATIVE ISOLATION AND PROTECTION AFFORDED BY THE DEAD-END STREET. WE WOULD ALSO LIKE TO POINT OUT THAT THIS SEGMENT OF 50th ST. IS A "STUB" -- IT DOES NOT EXTEND NORTH FROM M STREET NOR SOUTH FROM FOLSOM BLVD. THEREFORE OPENING IT TO FOLSOM BLVD. WOULD ONLY PROVIDE A ONE BLOCK "ARTERY" AND WOULD FUNNEL ADDITIONAL TRAFFIC ONTO THE M STREET BIKE LANE.

ANY ALTERATION WHICH WOULD PERMIT THROUGH TRAFFIC OR ENCOURAGE COMMERCIAL TRAFFIC ON OUR BLOCK IS UNEQUIVOCALLY OPPOSED BY US.

SIGNED:

1. Lester & McCoey 1362-50<sup>th</sup> St. Owner 455-6111
2. Evelyn C McCoey 1362-50<sup>th</sup> St. Owner 455-6111

---

3. Lillian Skerwin  
1375-50<sup>th</sup> St 456-8254  
Resident owner

---

4. Elizabeth Brenner  
1369-50<sup>th</sup> St.  
Resident owner

---

5. RAMON A. FLORES  
1557-50<sup>th</sup> St.  
RESIDENT OWNER 456-7578

---

6. Beatrice Flores 1357-50<sup>th</sup> St 456-7578  
Resident owner

ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

7 Sandra A. Flors 456-7578  
 (Resident)

1357-50<sup>th</sup> St

8 William H. Gentile  
 1349-50<sup>th</sup> St  
 Resident Owner

9 Dominic P. Gentile  
 1349-50<sup>th</sup> St  
 Resident Owner

10 Alma Mefford  
 1341-50<sup>th</sup> St  
 Resident Owner

11 Richard O. Mefford  
 1341-50<sup>th</sup> St  
 Resident Owner

12 & 13 Mr & Mrs Ray Rabenash 451-9248  
 5002<sup>nd</sup> St  
 Resident Owner

14 & 15 Mr & Mrs D.W. Little 457-5555  
 1302-50<sup>th</sup> St  
 Resident & Owner

16 Sharon M. Sweatt  
 1332-50<sup>th</sup> St  
 Resident - Renter

17 & 18 Mr & Mrs Russell Williams  
 1374-50<sup>th</sup> Street  
 Resident Owner

ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF  
SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

19

Marguerite M Jordan

1386 50th St

Resident Owner

20

William M. Johnson

1387 - 50th St

Resident Owner 951-1270

21

Nina W. Kugel

1368 50th St. 736-3028

LEASER OF RESIDENT

22

Faustine M Ross

1363 50th St.

Resident - Owner 457-2911

23

A. Larson

1356-50th St

Resident Owner 456-9320

24

Joyce E. Larson

1356 - 50 St

resident owner

25

W. P. Messner 457-0684

1380 50th ST Resident owner

26

Deby Messner 457-0684

1350 - 50th Street

Resident - owner

27

W. G. Hill 455-1982

1392-50th St.

Resident - owner

ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

28 Doris M. Lent  
1354 - 50<sup>th</sup> St.  
Resident Owner 456-8164

29 Robert Skermin  
1375 50<sup>th</sup> St 456-8254  
RESIDENT-OWNER

30 Kathryn B. Clme  
31 Harold K. Clme 452-2223  
1393 - 50th St - RESIDENT OWNERS

32 Maria Ruffino (OWNS THE PROPERTY AT DEAD END)  
1550 51<sup>st</sup> Street  
Sacramento Ca 95819

A NEIGHBORHOOD RESPONSE  
TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS  
REGARDING PROPOSED PROJECT P83-006

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MANY OF US HAVE LIVED HERE SINCE THE AREA WAS SUBDIVIDED SOME THIRTY-SIX YEARS AGO. WE HAVE ENJOYED AND PROFITED BY THE RELATIVE ISOLATION AND PROTECTION AFFORDED BY THE DEAD-END STREET. WE WOULD ALSO LIKE TO POINT OUT THAT THIS SEGMENT OF 50th ST. IS A "STUB" -- IT DOES NOT EXTEND NORTH FROM M STREET NOR SOUTH FROM FOLSOM BLVD. THEREFORE OPENING IT TO FOLSOM BLVD. WOULD ONLY PROVIDE A ONE BLOCK "ARTERY" AND WOULD FUNNEL ADDITIONAL TRAFFIC ONTO THE M STREET BIKE LANE.

ANY ALTERATION WHICH WOULD PERMIT THROUGH TRAFFIC OR ENCOURAGE COMMERCIAL TRAFFIC ON OUR BLOCK IS UNEQUIVOCALLY OPPOSED BY US.

SIGNED:

- 1 Debra S. McCoy, 1362-50<sup>th</sup> St. Owner 455-6111
- 2 Evelyn C McCoy 1362-50<sup>th</sup> St Owner 455-6111
- 3 Lillian Keminic  
1375-50<sup>th</sup> St 456-8254  
Resident owner
- 4 Elizabeth Brenner  
1369-50<sup>th</sup> St  
Resident owner
- 5 RANION A. FLORES  
1557-50<sup>th</sup> St.  
RESIDENT OWNER 456-7578
- 6 Beatrice Flores 1357-50<sup>th</sup> St 456-7578  
Resident owner

ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF  
SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

2/A

7 Sandra A. Flors 456-7578  
(Resident)  
1357-56<sup>th</sup> St

8 William H. Gentile  
1349-50<sup>th</sup> St  
Resident Owner

9 Dorrie P. Gentile  
1349-50<sup>th</sup> St  
Resident Owner

10 Alfred D. Mefford  
1341-50<sup>th</sup> St  
Resident Owner

11 Richard O. Mefford  
1341-50<sup>th</sup> St  
Resident Owner

12 & 13 Mr & Mrs Ray Rubenack 451-9248  
5000-<sup>th</sup> St  
Resident Owner

14 & 15 Mr & Mrs D.W. Little 457-5555  
1302-50<sup>th</sup> St  
Resident & Owner

16 Sharon M. Sweatt  
1332-50<sup>th</sup> St  
Resident - Painter

17 & 18 Mr & Mrs Russell R. Williams  
1374-50<sup>th</sup> Street  
Resident Owner

ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

19 Marguerite M Jordan  
1386 50th St  
Resident Owner

20 Charles M. [unclear]  
1387 - 50th St  
Resident Owner 751-1216

21 [unclear]  
1368 50th St. 736-3028  
LEASER OF RESIDENT

22 Truistine M Rose  
1363 50th St.  
Resident - Owner 457-2911

23 A. L. Larson  
1356-50th St  
Resident Owner 456-9320

24 Joyce E. Larson  
1356-50 St  
resident owner

25 Debb Messner 457-0684  
1380 50th ST Resident owner

26 Debb Messner 457-0684  
1380 - 50th Street  
Resident - owner

27 J. A. Hill 455-1982  
1372-50th St.  
Resident - owner



ADDITIONAL SIGNATURES FOR ATTACHMENT TO A NEIGHBORHOOD RESPONSE TO THE CITY OF SACRAMENTO PLANNING AND ENGINEERING DEPARTMENTS REGARDING PROPOSED PROJECT P83-006"

7A

28

Doris M. Lent

1354-50<sup>th</sup> St.

Resident Owner 456-8164

29

Robert Skermin

1375 50<sup>th</sup> St

456-8254

RESIDENT-OWNER

30

Kathryn B. Cline

31

Harold K. Cline

452-2225

1393-50th St - RESIDENT OWNERS

32

Merio Pifferito

OWNS THE PROPERTY AT DEAD END

1550 51<sup>st</sup> Street

Sacramento Ca 95819