

# CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815				
OWNER	Feature Homes, Inc., 1229 College Avenue, Santa Rosa, CA 95404				
PLANS BY	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815				
FILING DATE	10-4-83	50 DAY CPC ACTION DATE		REPORT BY	TM:bw
NEGATIVE DEC.	10-21-83	EIR		ASSESSOR'S PCL. NO.	117-646-19; 117-011-03

- APPLICATION:
1. Negative Declaration
  2. Amendment of the Valley Hi Community Plan from Light Density Residential to Medium Density Residential
  3. Rezone 12± acres from Single Family (R-1) to Medium Density Multiple Family (R-3)
  4. Special Permit to develop condominium units (P83-334)

LOCATION: East side of Franklin Boulevard and north side of Union House Creek

PROPOSAL: The applicant is requesting the necessary entitlements to develop 252 condominium units on 12± vacant acres.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1968 Valley Hi Community Plan Designation:	R-1
Existing Zoning:	R-1
Existing Land Use:	Vacant

Surrounding Land Use and Zoning:

North:	Single Family, Vacant; R-1 & R-1A
South:	Union House Creek, Single Family; R-1
East:	Single Family, Vacant; R-1 & R-1A
West:	Vacant; R-1

Parking Required:	252 spaces
Parking Provided:	378 spaces
Ratio Required:	1 space per dwelling unit
Ratio Provided:	1.5 spaces per dwelling unit
Property Dimensions:	Irregular
Property Area:	11.5 acres
Density of Development:	21.9 units per net acre (all 2-bedroom units)
Square Footage of Buildings:	703, 825, 871, 940
Height of Structures:	26 feet (two-story)
Topography:	Flat to sloping
Street Improvements:	To be provided
Utilities:	Available to site
Exterior Building Colors:	Red tile, off-white stucco
Exterior Building Materials:	Stucco, wood trim, tile roofs

PROJECT BACKGROUND: This project was originally considered by the Commission on November 10, 1983 in conjunction with the subdivision of an adjacent 36± acres into 233 zero lot line parcels.

APPLC. NO. P83-334

MEETING DATE April 26, 1984

CPC ITEM NO. 2

The Commission continued the multiple family portion of the project to allow the applicant sufficient time to revise the site plan and elevation plans. The current plans have been substantially revised from the previous project.

STAFF EVALUATION: The staff has the following comments relative to the revised project:

1. As indicated in the previous report, staff is generally supportive of a condominium development at this location because it will provide for a mixture of housing types within the area. Also, from a subdivision design perspective, it is preferable to locate a multiple family development at the corner of Union House Creek and Franklin Boulevard so that access and line of sight restrictions can be required due to the close proximity of the Union House Creek Bridge. It would be difficult to impose the necessary design considerations on the development of single family lots in this area.

The applicant has requested a rezoning to Medium Density Multiple Family (R-3) which permits up to 29 units per acre. However, the proposed project indicates 21.9 units per acre. Therefore, staff recommends that the rezoning, if granted, be to R-2B-R, Garden Apartment-Review zone which permits up to 22 units per acre. This zoning designation would be more consistent with the proposed project and the R(Review) designation will allow for Commission review should the project be revised.

2. The condominium site plan has been revised to accommodate the tentative map conditions of the Subdivision Review Committee. The previous project indicated direct access from the condominium site to the single family area to the east. The current project detests this access. This revision is consistent with the Subdivision Review Committee's recommendation.
3. The site plan has been revised to accommodate the additional cluster types, as well as to increase the setback between the two-story condominium units and the patio home units to the east. Staff finds that additional setback is warranted between the remaining 12-unit cluster and adjacent single family as shown on Exhibit A. This additional setback can be achieved by rotating this cluster to parallel the private entry street. Also, staff recommends that the second story balconies be eliminated from these units.
4. The original project utilized only one cluster-type for the entire project. The exterior elevations indicated that plywood siding with wood trim and shake roofs were to be utilized. The current project indicates that five cluster types will be utilized throughout the project. Also, the architecture of the project has been changed to Mediterranean/Spanish Revival with the use of stucco exterior with tile roofs. Staff finds the proposed unit types and overall design a vast improvement over the original project.
5. In general, staff finds the amount and distribution of open space and landscaped areas as indicated in the site plan acceptable. However, staff recommends that thought be given to the addition of a design element to break up the long alleyways between the garages. This modification could be accomplished by incorporating additional planter areas, or by incorporating a pattern design into the pavement.

To insure consistency in landscape treatment and overall building design, staff recommends that the attached Residential Design Criteria be adopted as a condition of approval.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

STAFF RECOMMENDATION: The staff recommends the following actions:

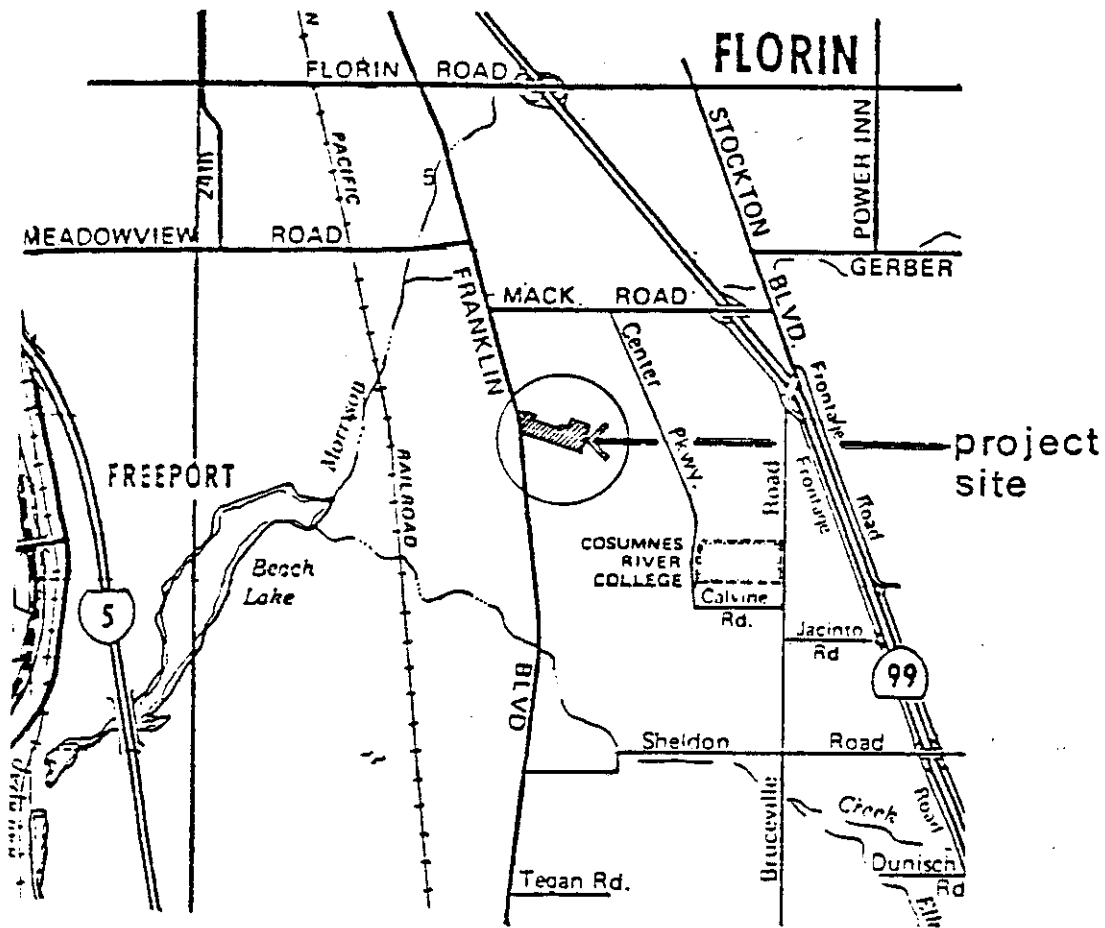
1. Ratification of the Negative Declaration;
2. Amendment of the Valley Hi Community Plan for 11.5± acres from Light Density Residential to Medium Density Residential;
3. Rezoning of the subject site from R-1 (Single Family) to R-2B-R (Garden Apartment-Review);
4. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow.

Special Permit - Conditions

- a. The applicant shall relocate the 12-unit cluster as shown on Exhibit A to increase the setback between said units and adjacent single family units located to the east. The revised plans shall be submitted for staff review and approval prior to issuance of building permits;
- b. The applicant shall revise the site plan to incorporate additional design relief within the alleyways as indicated in Item 5 of staff evaluation. The revised plans shall be submitted for staff review and approval prior to issuance of building permits;
- c. The attached Residential Design Criteria shall be adopted as conditions of approval;
- d. The applicant shall submit detailed landscape and irrigation plans for review and approval of staff prior to issuance of building permits;
- e. The applicant shall utilize the submitted plans.

Special Permit - Findings of Fact

- a. The special permit, as conditioned, is based upon sound principles of land use in that it provides for a transition of land uses starting from single family detached to zero lot line, to the proposed condominium units which are adjacent to a fenced canal;
- b. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare in that substantial setbacks and adequate parking have been required;
- c. The special permit is consistent with the Land Use Element residential policy of the General Plan to, "Recognize new concepts for residential land use design and technology, and consider their appropriate use with existing forms of residential development."



vicinity map

# Land Use Map

- 1. SUMMERGATE
- 2. SUMMERVIEW
- 3. CRESENTWOOD

MACK RD.

PRARIE SCHOOL

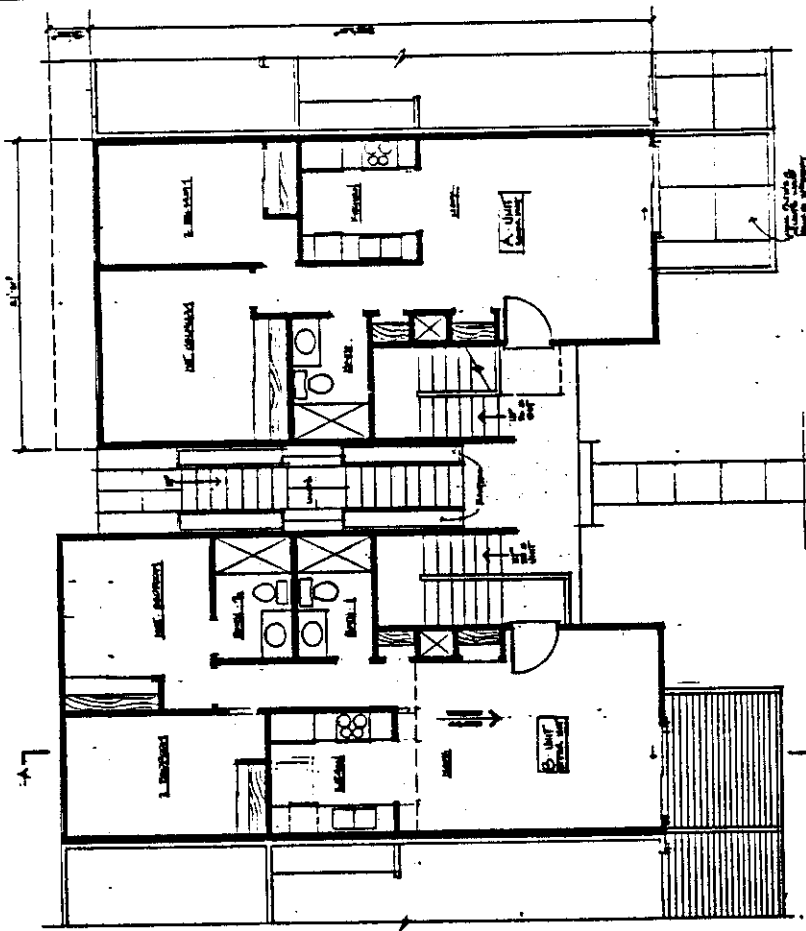
SUBJECT SITE

VAC "A"

VAC R-1

FRANKLIN BVD.

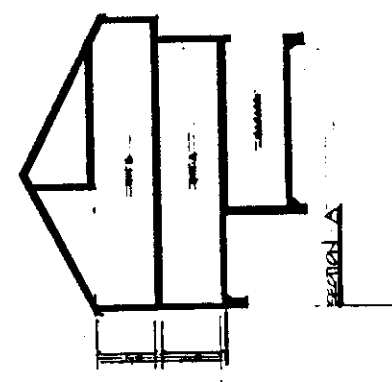




PLAN TYPE A - 1<sup>ST</sup> STORY FLOOR PLAN  
17'0" x 30'0" 3-BEDROOM 1.5 BATH UNIT

PLAN TYPE B - 1<sup>ST</sup> STORY FLOOR PLAN  
16'0" x 30'0" 3-BEDROOM 1.5 BATH UNIT

PRELIMINARY PLAN TYPE'S  
MAY BE SUBJECT TO CHANGE



LARGE FLOOR PLAN SHOW PLAN TYPES A & B  
1/4" = 1'-0"

NOTE: SEE SHEET 2 FOR  
PLAN TYPE A & B  
FOUNDATION & UTILITIES

**FEATURE HOMES, INC.**  
1229 COLLEGE AVE. SANTA ROSA, CA.  
(707) 545-5356

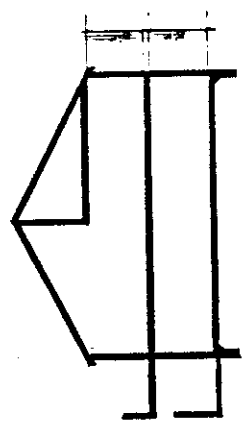
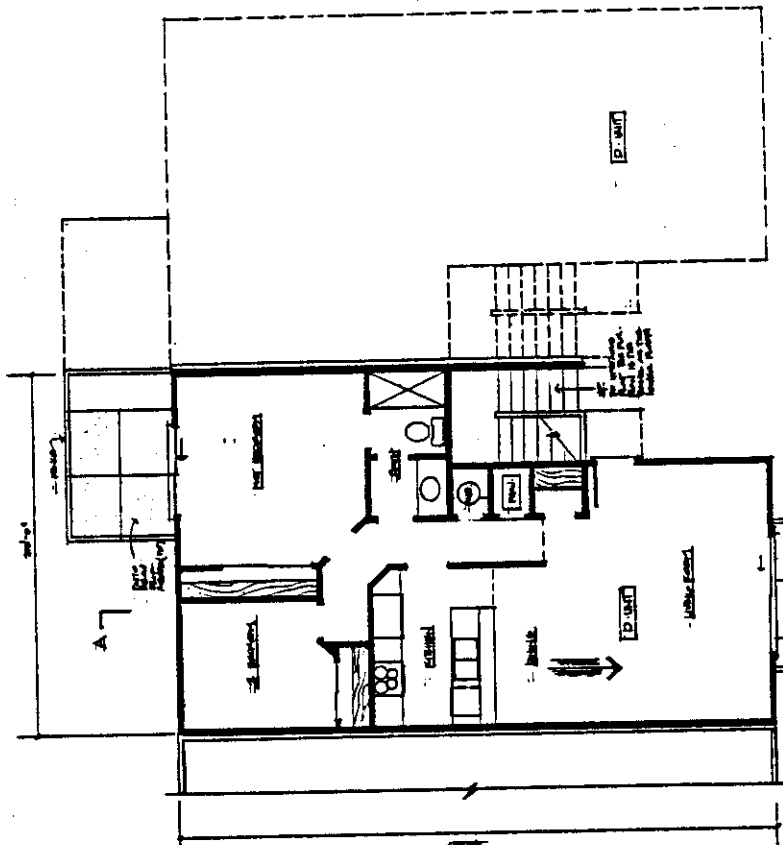




NO.	
DATE	
BY	
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APPROVED	

PLAN TYPE D

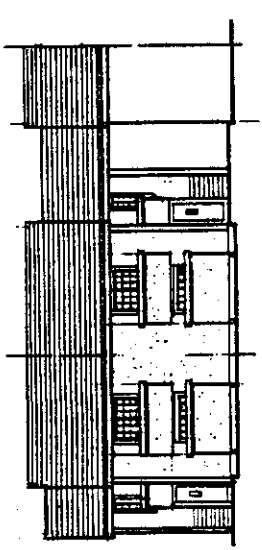
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BY	
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APPROVED	
SHEET	4



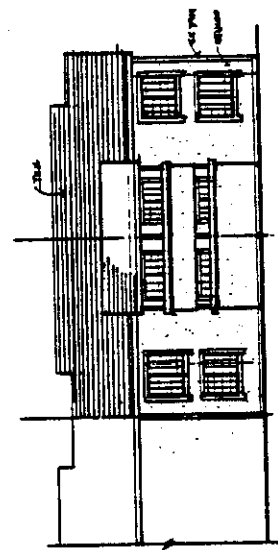
SECTION A-A

PLAN TYPE - 1.5 STORY FLOOR PLAN  
 871 sq. ft. ± including 1 bath unit

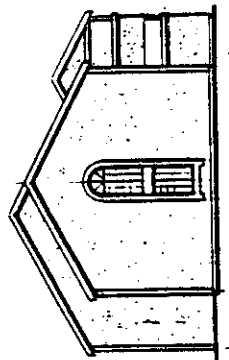
PRELIMINARY PLAN TYPE  
 SUBJECT TO CHANGE WITHOUT NOTICE



FRONT ELEVATION



SIDE ELEVATION

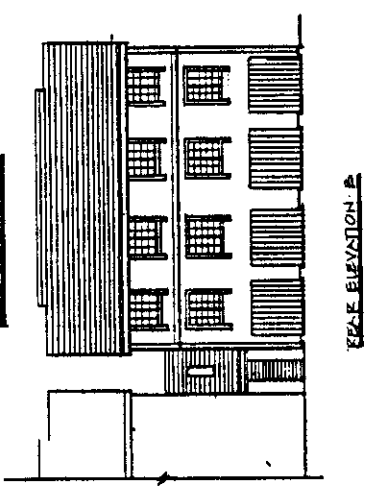
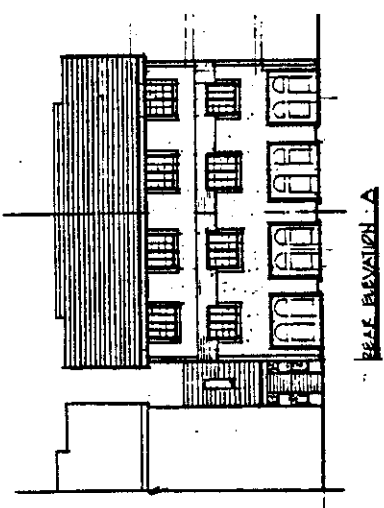
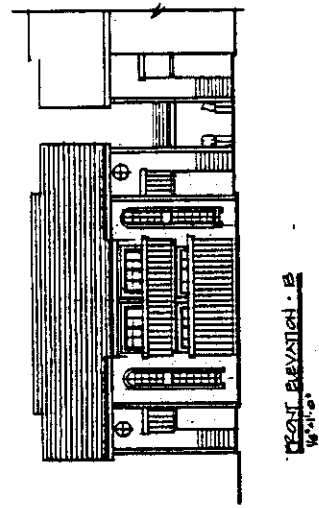
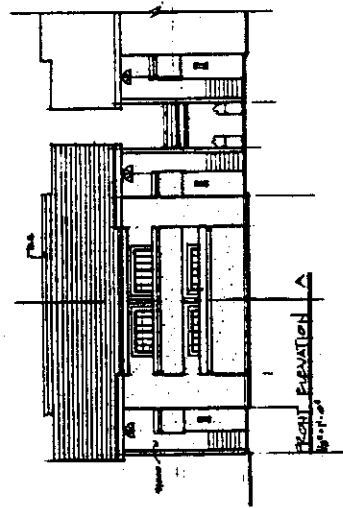
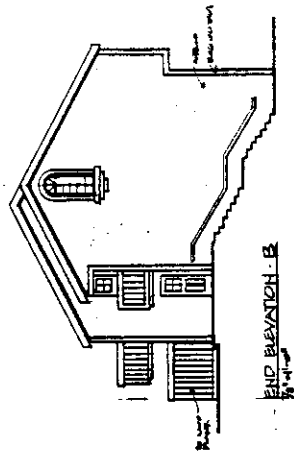
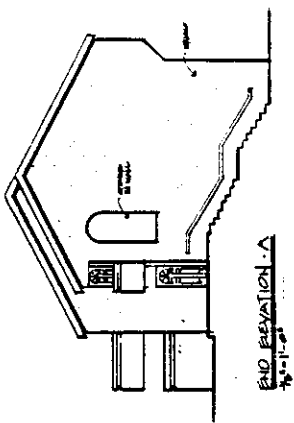


REAR ELEVATION

**FEATURE HOMES, INC.**  
 1229 COLLEGE AVE. SANTA ROSA, CA.  
 (707) 545-5356

REVISIONS BY	

Date	4/11/84
Drawn	
Checked	
Scale	AS SHOWN
Sheet	5
Project	



ELEVATIONS FOR PLAN TYPES A & B

## Residential Design Criteria

### A. General Building Design and Orientation:

1. The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
2. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
3. Buildings shall be designed and oriented to reduce overview of private areas and windows from second story units.
4. Accessory structures shall be compatible in design and materials with main buildings.
5. Communal facilities shall be centrally located.
6. Recreational facilities shall be located and/or designed so as not to impact adjacent properties.
7. Solar heating and cooling of units should be considered.
8. Site planning shall take into account optimum solar orientation of structures.
9. Site planning shall minimize the incidences of one building shading another.
10. Private garden areas shall be oriented to the south as much as possible.
11. Roofing materials shall be medium wood shake or equivalent aluminum, concrete, or other imitation shakes or tile, subject to Planning Director approval.
12. The location of second story end unit windows shall be varied from the typical plan when appropriate to reduce the incidence of overview into private first floor open space and parking areas, and to provide variety in exterior unit detailing.

### B. Multiple Family Design Criteria

1. OFFSTREET PARKING - Offstreet parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly). Six foot masonry walls are required on interim property lines between parking lot areas and existing or proposed residential development.
2. For the convenience of tenants and guests, and to encourage use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.

3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Parking shall be screened from second story units by trees or lattice work.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. Within open parking areas, there shall be at least one tree for every five parking spaces.
11. To visually break up the long rows of parking, a landscaped planter with evergreen trees and a minimum width of five feet shall also be located after every tenth parking stall.
12. In projects parking stall depth shall be reduced by two feet.
  - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
  - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
13. The more efficient 90 degree parking arrangement shall be utilized when possible so as to minimize parking lot size.
14. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.
15. A minimum setback of 50 feet shall be utilized on multiple family projects from interior property lines abutting existing developments where two story structures are proposed. A minimum setback of 20 feet shall be required where single story structures in multiple family projects abut existing developments.

C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface texture.

D. BICYCLE STORAGE

Bicycle racks and lockers shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
  - a. Compatible with one another and with existing material on the adjacent site.
  - b. Complimentary to building design and architectural theme.
  - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
  - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
  - b. Larger specimens of shrubs and trees along the site periphery.
  - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
  - d. Consistency with energy conservation efforts.
  - e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.

- f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.

3. Landscaping of parking areas is discussed in Section B.

F. TRASH ENCLOSURES

1. Sturdy enclosure walls shall be constructed to reduce maintenance.
2. Design and materials shall match or complement the residential structures.
3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
5. The enclosures shall be screened with landscaping.
6. The enclosures shall be adequate in capacity, number, and distribution.