

CITY OF SACRAMENTO  
1231 I Street, Sacramento, CA 95814

Permit No: 0113985  
Insp Area: 4  
Thos Bros:  
Sub-Type: NSFR  
Housing (Y/N):

Site Address: 3612 INNOVATOR DR SAC  
Parcel No: 225-1350-038 NATOMAS CROSSING 21 LOT 83  
N

CONTRACTOR  
KIMBALL HILL HOMES  
10535 EAST STOCKTON BL. STE. K  
ELK GROVE CA. 95624

OWNER

ARCHITECT

Nature of Work: KIMBALL HILL MP 1642-32 1 STRY 7 RM SFR W/2 CAR GARAGE

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 701803 Date 1/19/02 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 1/19/02 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:  
I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier CLAREDON NAT. INS. CO. Policy Number SCF98-3482-000

PAID  
CITY OF SACRAMENTO

JAN 08 2002

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. If I am subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 1/19/02 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEYS FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

### RESIDENTIAL BUILDING PERMIT APPLICATION

New Construction     Addition     Remodels     Other

Project Address: 3612 Innovator Drive    Assessor Parcel # 225-1350-038

**OWNER INFORMATION:**

Lot 83

Legal Property Owner: Kimball Hill Homes    Phone # (916) 714-1153  
Owner Address: 10535 East Stockton Blvd City Elk Grove    State Ca.    Zip 95624  
suite K

**CONTRACTOR INFORMATION:**

Natomas Crossing Vill. #21

Contractor: Kimball Hill Homes Lic. # 701803    Phone # 714-1153    Fax # 714-1425

**PROJECT INFORMATION:**

Land Use Zone R-14    Occupancy Group R-3    Construction Type VN    Fed Code 1A  
No. of stories: 1    No. of rooms: 7    Street width: \_\_\_\_\_  
1<sup>st</sup> Floor Area 1642    2<sup>nd</sup> Floor Area \_\_\_\_\_    Basement \_\_\_\_\_    Roof Material \_\_\_\_\_

**AREA IN SQUARE FOOT OF:**

EXISTING

NEW

Dwelling/Living	_____	<u>1642</u>
Garage/Storage	_____	<u>386</u>
Decks/Balconies	_____	<u>51</u>
Carports	_____	_____

**SCOPE OF WORK:** \_\_\_\_\_

**FOR OFFICE USE ONLY**

- Information above complete     AR Flood Waiver required     Planning Approval
- Violation files checked     Flood Elevation Certificate Required     Design Review Approval
- Standard setbacks     Water Development Infill Area     Special Fee Districts Apply: \_\_\_\_\_
- County Sewer

**NEW STRUCTURES & ADDITIONS**

◆ THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PLAN REVIEW

- 2 COMPLETE PLANS, LEGIBLE & DRAWN TO SCALE    ◆ Plans to include: site plan, floor plan, elevations, roof/ceiling plan, foundation and structural framing details, and structural calculations for non-conforming structures.
- 3 SETS IF PROJECT IS IN A DESIGN REVIEW AREA
- Title 24 Energy Compliance documentation     11" x 17" copy of floor plan for County Assessor
- Grading and Erosion Control Questionnaire     Plan Review Fees

Date: \_\_\_\_\_

Received by: (staff) \_\_\_\_\_





INSULATION CONTRACTORS  
ASSOCIATION  
OF AMERICA

INSULATION  
CERTIFICATE

70178

1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT

1400 Hill 1411 LOT # 1022 TRACT # 6291000

STREET 3612 Linnovator CITY LA JOLLA

EXTERIOR WALLS:

MANUFACTURER 1165 THICKNESS/TYPE 1.5/1 R- VALUE 13

CEILING:

BATTS:

MANUFACTURER 1165 THICKNESS/TYPE 1.5/1 R- VALUE 30

BLOWN IN:

MANUFACTURER 1165 THICKNESS 1.5/1 R- VALUE 30

SQUARE FOOTAGE COVERED 1100 NUMBER OF BAGS USED 13

FLOORS:

MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R- VALUE \_\_\_\_\_

SLAB ON GRADE:

MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R- VALUE \_\_\_\_\_

WIDTH OF INSULATION \_\_\_\_\_ INCHES

FOUNDATION WALLS:

MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R- VALUE \_\_\_\_\_

GENERAL CONTRACTOR \_\_\_\_\_  
CALIFORNIA CONTRACTORS LICENSE # \_\_\_\_\_

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_

INSULATION CONTRACTOR **ARCADE INSULATION**

CALIFORNIA CONTRACTORS LICENSE #263784

5-21-02 DATE

SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_

## INSTALLATION CARD

OMEGA DIAMOND WALL INSULATING ONE COAT SYSTEM  
OMEGA PRODUCTS INTERNATIONAL, INC.

## Job Address:

3612 INNOVATOR DR  
SAC, CA  
KIMBLE HILL HOMES LOT # 183

ICBO Evaluation Service, Inc.  
Report 40045/2/02  
Date of Job Completion

## Plastering Contractor:

Name: Mid Valley Plastering, Inc.  
Address: 4807 S. Airport Way, Unit # D  
Stockton, CA 95206-4924  
Telephone: (209) 234-2571

Approved Contractor Number as  
Issued by the Coating Manufacturer Omega Diamond Wall No. 2315

This is to certify that the exterior system on the building exterior at the above address has been installed in accordance with the evaluation report specified above and the manufacturer's instructions

[Signature]  
Signature of Plastering Contractor

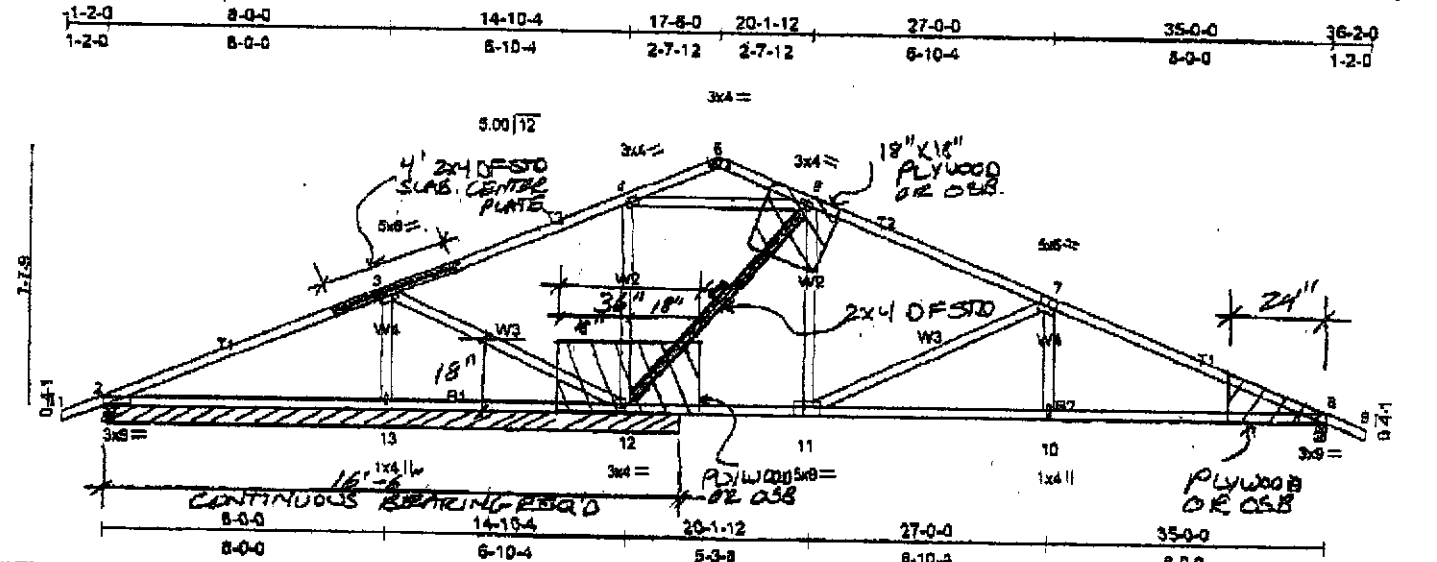
5/6/02  
Date

This installation card must be presented to the building inspector after completion of work and before final inspection

Job	Truss	Truss Type	Qty	Ply	KIMBALL HILL PLAN 1842
KH1842	A	CAL HIP	20	1	

GENERAL TRUSS CO., INC., SACRAMENTO, CA 95828

4.0-22 © Feb 18 1999 MITek Industries, Inc. Fri Mar 22 09:10:24 2002 Page 1



LOADING (psf)	SPACING	CGI	DEFL	PLATES GRIP
TCLL 16.0	2-0-0	TC 0.78	(in) (psf) Vdefl	M20 220/185
TCDL 14.0	Plates Increase 1.00	SC 0.67	Vert(L) -0.31 10-11 >885	
SCLL 9.0	Lumber Increase 1.25	WS 0.78	Vert(TL) -0.47 10-11 >885	
BCDL 7.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.11 9 r/s	
	Code USC97/ANSI95		1st LC LL Min Vdefl = 380	Weight 154 lb

**LUMBER**  
 TOP CHORD 2 X 4 DF No. 188B-G  
 BOT CHORD 2 X 4 DF No. 188B-G  
 WEBS 2 X 4 DF Std-G "Except"  
 W1 2 X 4 DF No. 188B-G

**BRACING**  
 TOP CHORD Sheathing or 3-8-6 on center purlin spacing.  
 BOT CHORD Right calling directly applied or 10-0-0 on center bracing.

**REACTION (kips)** 2=1440/0-3-8, 8=1440/0-3-8

**FORCES (lb)** = First Load Case Only  
 TOP CHORD 1-2=28, 2-3=2912, 3-4=2241, 4-5=80, 5-6=88, 6-7=2230, 7-8=2811, 8-9=28  
 BOT CHORD 2-13=2888, 12-13=2688, 11-12=1888, 10-11=2588, 8-10=2588  
 WEBS 4-9=1987, 3-13=125, 3-12=881, 4-13=452, 6-11=450, 7-11=688, 7-10=127

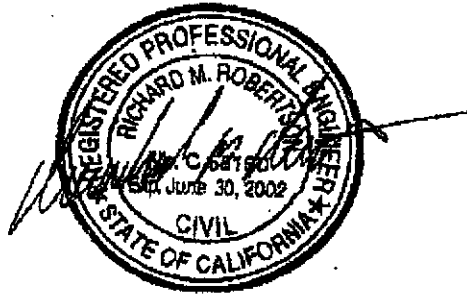
**NOTES**  
 1) This truss has been checked for unbalanced loading conditions.  
 2) All plates are M20 plates unless otherwise indicated.  
 3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, USC-97.  
 4) A plate rating reduction of 20% has been applied for the great lumber members.  
 5) This truss has been designed with ANSVTPI 1-1996 criteria.

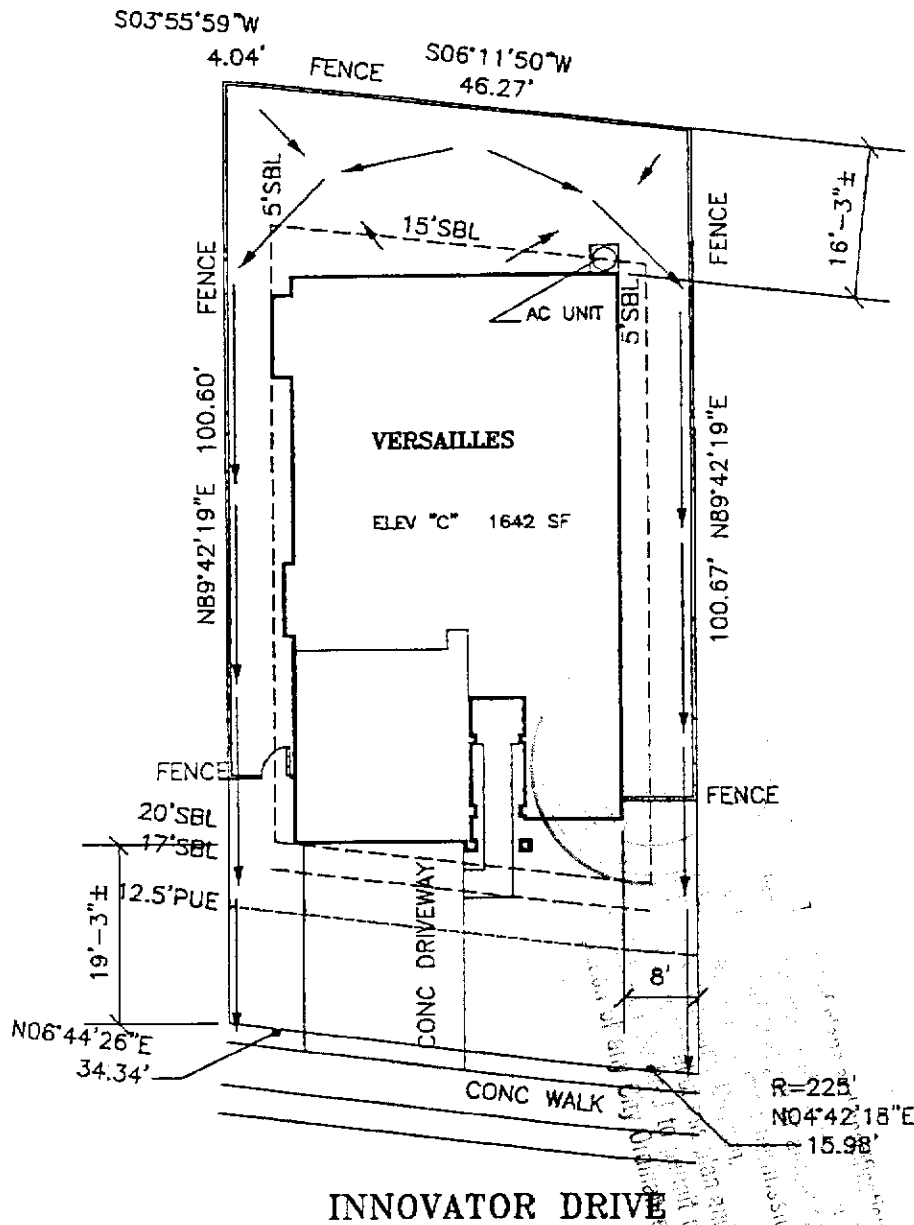
**LOAD CASE(S)** Standard  
 1) Regular: Lumber Increase=1.25, Plate Increase=1.00  
 Uniform Loads (psf)  
 Vert 1-2=80.0, 2-3=80.0, 3-4=80.0, 4-5=80.0, 5-6=80.0, 6-7=80.0, 7-8=80.0, 8-9=80.0, 2-13=14.0, 12-13=14.0, 11-12=44.0, 10-11=14.0, 8-10=14.0

FIELD REPAIR:  
 9200 LB DRAL ADDED TO TRUSS

APR 04 2002

- REPAIR NOTES:
- 1) INSERT 2X4 DF STD WEB AS SHOWN.
  - 2) ATTACH 1/2" LDX DRAL TO EACH FACE OF TRUSS AS SHOWN USING 2 ROWS OF 16d SINKER NAILS @ 6" O.C. STAGGERED IN EACH FACE WITH MIN. NO. OF NAILS AS SHOWN CIRCLED IN EACH FACE.
  - 3) ATTACH 2X4 DF STD. SLAB TO ONE FACE OF TRUSS TOP CHORD AS SHOWN USING 2 ROWS OF 16d SINKER NAILS @ 4" O.C. STAGGERED.



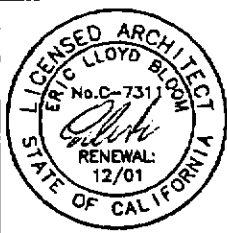


INNOVATOR DRIVE



**BLOOM**  
**Architectural**  
**Developments**  
**Incorporated**  
 4437 Kenneth Avenue  
 Fair Oaks, CA 95828  
 (916)961-1553  
 (916)967-3011 Fax

www.BloomArchitect.com



**Plot Plan Disclosure** This plot plan approximates a general representation of lot dimensions, easements, fence and home placement, etc. This illustration is not a condition of Kimball Hill Homes sales agreement. The actual placement and measurements demonstrated on this diagram are subject to change without notice.

Signature \_\_\_\_\_

**KHH California, Inc.** (916)714-1153  
 10535 E.Stockton Blvd. Ste.K, Elk Grove, CA 95758



**Job#** 164183 **Plan#** 1642  
**Date** Sep 14 01 **Draft** 1  
**Plan** VERSAILLES **Elev** C  
**Project** Natomas Crossing  
**Lot** 83 **Unit** 21  
**Address** 3612 Innovator Dr  
**City** Sacramento **State** CA  
**APN** \_\_\_\_\_ -0000

**PLOT PLAN**  
 Scale 1"=20'