

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Wednesday, May 12, 1999, the Zoning Administrator approved with conditions a variance to allow a second floor room projection into the substituted rear yard setback for an existing house and for an existing trellis to partially remain in the street side yard setback for the project known as Z99-017. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

**Project Information**

- Request:     1.     Zoning Administrator Variance to reduce the required 15 foot rear yard setback (substituted area) to 11 feet for a second floor room projection for a single family residence on 0.20± developed acres in the Standard Single Family (R-1) zone.
2.     Zoning Administrator Variance to reduce the required 12.5 foot street side yard setback to 6.25 feet for an existing deck with a trellis roof.

Location:     2081 66th Avenue (D8, Area 2)

Assessor's Parcel Number: 047-0183-015

Applicant:    Patricia Cotton Griffin  
                  3053 Freeport Boulevard #271  
                  Sacramento, CA 95818

Property Owner:     Same as applicant

Project Planner:     Sandra Yope

General Plan Designation:     Low Density Residential (4-15 du/na)

Airport Meadowview

Community Plan Designation:     Residential (4-8 du/na)

Existing Land Use of Site:     Single Family Residence

Existing Zoning of Site:     Standard Single Family (R-1)

Surrounding Land Use and Zoning:	Setbacks	Required	Proposed
North: R-1; Single Family Residence	Front:	25'	25.5'
South: R-1; Single Family Residence	Side(W.):	5'	13'
East: R-1; Single Family Residence	Side(S.):	12.5'	5'
West: R-1; Single Family Residence	Rear (N):	15'	11'

Property Dimensions:	81' x 107'
Property Area:	0.2± acres
Square Footage of Building:	4,958 square feet
Exterior Building Materials:	Stucco
Roof Materials:	Composition Shingles
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Project Plans: See Exhibit A

Previous Files: None

Additional Information: The applicant is requesting a variance to allow an existing partially constructed second floor projection into the substituted rear yard setback area to remain. The second floor projects four feet into the rear yard setback and totals 116 square feet. The house is on a corner lot and has used the rear yard substitution for a previous addition. The new rear yard area along the north side of the property required a 14.7 foot setback be maintained. The projection is for additional bedroom and bathroom area. Staff questioned the large number of bedrooms and bathrooms proposed and the potential use of these areas as some form of care facility or group home. The applicant has indicated the structure is a single family residence for only her family's use. The Zoning Ordinance requires a 15 foot rear yard setback or the same equivalent area in a rectangular shape for rear yard substitution. The applicant is requesting a variance to the requirement.

Staff noticed a trellis structure in the street side yard setback area upon a site visit. The project was noticed for a variance to allow for a portion of the trellis to remain in the street side yard setback area. The deck area is 25.5 feet long and extends from the house out to the property line. The deck is raised approximately 20 inches with a railing and bench seating along the perimeter. Approximately five feet from the property line is a trellis structure that arches towards the house. There is a six foot chain link fence with slats that also is along the street side property line. The Zoning Ordinance requires a 12.5 foot street side yard setback and a fence no higher than four feet (as of May 19, 1999) within the first five feet of the street side yard setback area. The fence was constructed in 1979 (before 1980), and is considered a legal non-conforming use and is permitted to remain. The applicant is requesting a variance to allow the structure to remain in the setback.

The site is located within the Meadowview Development Committee area. The project plans were reviewed by the association. Staff received no comments. The project has been noticed and staff received a few calls more concerned with the future use of the house as a care facility or group home.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Sections 15305(a)}.

Conditions of Approval

1. The existing deck and trellis structure located in the southwest portion of the property shall be modified as follows:
  - a. The supports for the deck (such as piers) shall be a minimum of five feet from the west property line and 6.25 feet from the south property line.
  - b. The trellis structure on the deck shall be a minimum of five feet from the west property line and 6.25 feet from the south property line.
  - c. The deck shall be a minimum of five feet from the west property line and five feet from the south property line.

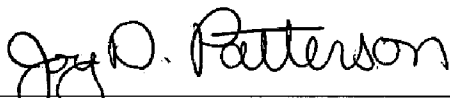
The applicant shall obtain a building permit for the structure (or final the existing permit for the structure that was taken out and a correction noticed prepared). The structure must meet building code requirements. The building permit for the deck and trellis must meet building code requirements. The building permit for the deck and trellis structure shall be finalized prior to or at the same time as the final on the main residence.

2. There shall be no further expansion of the house, porch, deck/trellis or any other structure into the substituted rear yard setback area (north side of house) or in the street side yard setback area (southern 12.5 feet of lot).
3. Size and location of the building shall conform to the plans submitted.
4. The applicant shall obtain all necessary building permits to legalize existing and future construction.
5. The house on this property is not licensed nor has permits to operate a group home or any type of care facility at this time. If the property is proposed to be utilized for any of these uses in the future, all necessary city, county and state permits must be applied for and obtained prior to operation.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that the proposed room projection will not substantially alter the characteristics of the site or the surrounding neighborhood.
2. Granting the variance does not constitute a special privilege extended to an individual applicant in that a variance would be and has been granted to other property owners facing similar circumstances.
3. Granting the variance request does not constitute a use variance in that the single family dwelling is residential use that is permitted in the Standard Single Family (R-1) zone.

4. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
  - a. there is adequate available yard area;
  - b. a five foot setback area will remain clear along the south and west property line; and
  - b. the proposed room projection will not substantially alter the characteristics of the site or the surrounding neighborhood.
5. The project is consistent with the General Plan and the Airport Meadowview Community Plan which designates the subject site as Low Density Residential (4-15 du/na) and Residential (4-8 du/na).

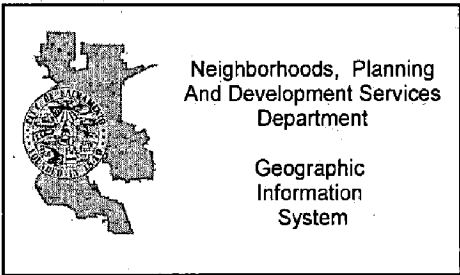
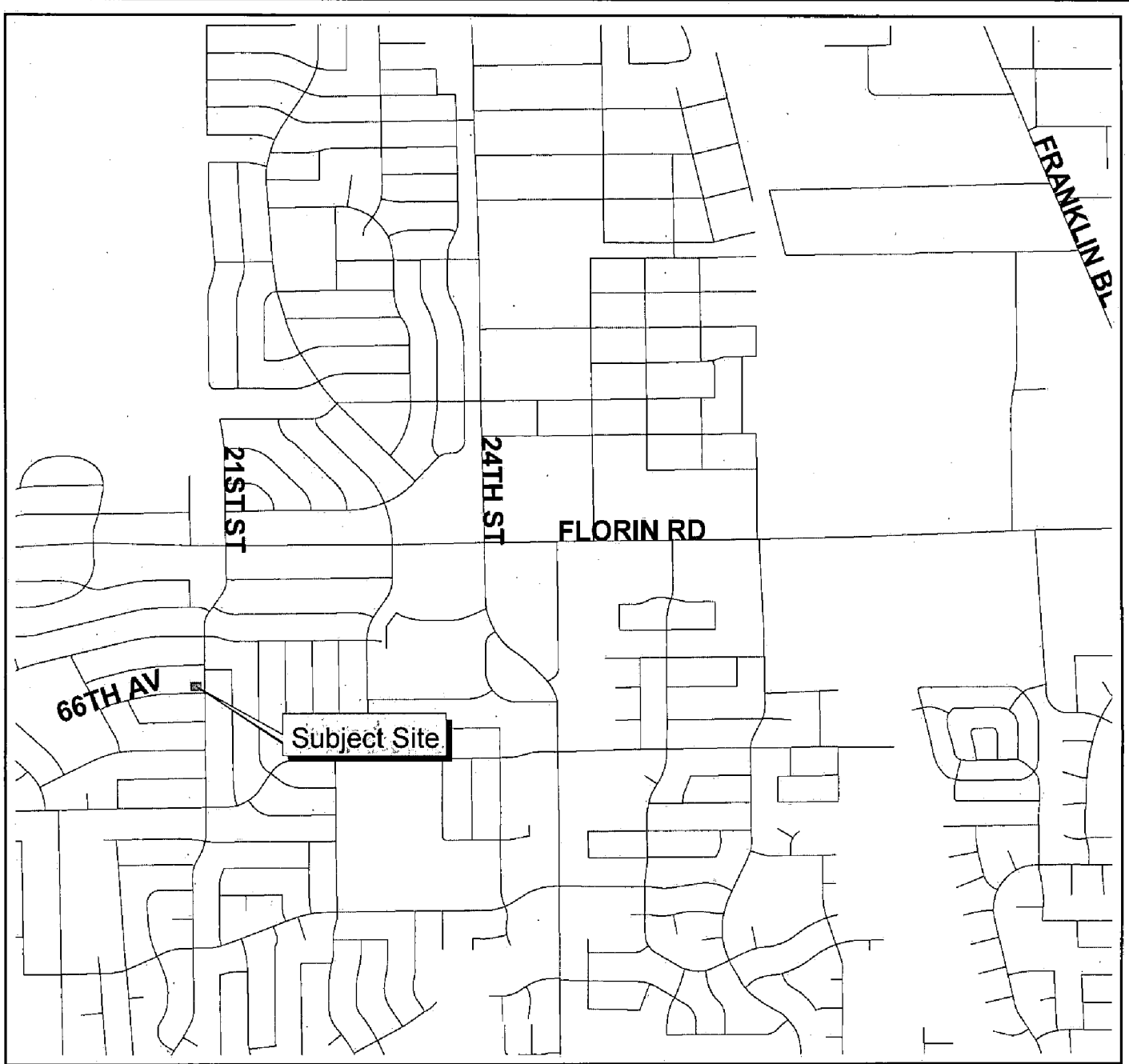


Joy D. Patterson  
Zoning Administrator

A use for which a Variance is granted must be established within two years after such permit is approved. If such use is not so established the Variance shall be deemed to have expired and shall be null and void. A Variance which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File  
Applicant  
ZA Log Book

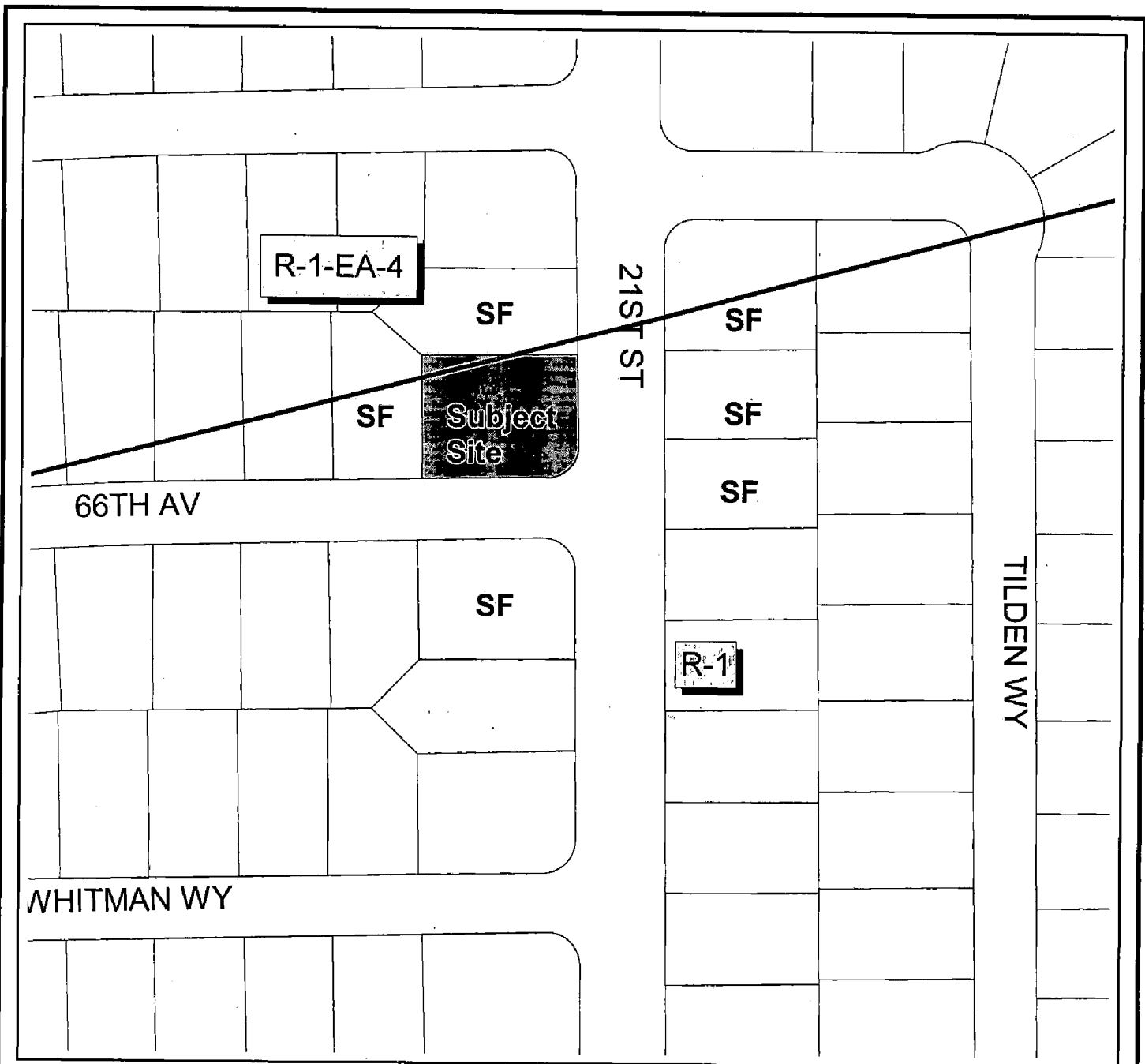


# VICINITY MAP

May 12  
April 14, 1999

Item 1

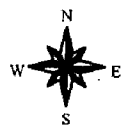
Z99-017



Neighborhoods, Planning  
And Development Services  
Department

Geographic  
Information  
System

# LAND USE AND ZONING



Z99-017

MAY 12  
APRIL 14, 1999

ITEM 1

WILLIAM A. REID, AIA  
ARCHITECTS

WILLIAM A. REID, AIA  
ARCHITECTS

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ARCHITECTS

4670 Rockwood Ave., Sacramento, CA 95841  
916.485.4898 Fax: 916.485.2386

**BUILDING DATA**  
ZONE R-1  
OCCUPANCY R-3  
TYPE V - N  
1994 CBC

**BUILDING AREA**  
EXISTING RESIDENCE  
FIRST FLOOR (INCLUDES)  
SECOND FLOOR (PARTIAL REBUILD) 2281 S.F.  
916 S.F.  
NEW CONSTRUCTION  
FIRST FLOOR 221 S.F.  
SECOND FLOOR 1537 S.F.  
TOTAL AREA 4958 S.F.

Z99-017  
rcud 3-z

EXHIBIT

Contractor shall verify and be responsible for all dimensions and conditions on the job and use this effort to be included in writing at any variation from the drawings and conditions shown by these drawings. This drawing is not filed for use as a construction permit since by the architect/owner.

No. Revision Date  
Owner

**PATRICIA GRIFFIN**  
Project  
REBUILD RESIDENCE  
SACRAMENTO, CA

Sheet Title  
SITE/FOUNDATIONS/  
FIRST FLOOR FRAMING  
DETAILS

WARA Job No. 98160  
Scale AS NOTED Dwg. No.  
Date 10.29.98 **A-1**

SHEARWALL SCHEDULE						
ANCHOR	RC. TYPE	SYN	MATERIAL	ATTACHMENT	ANCHOR BOLTS	NOTES
			1/2" APA RATED CDX SHEATHING (OSB OR 5/8" PLY) 1/2" MIN. JOIST OR SOLID BLOCKING BELOW OR HAVE A FOUNDATION BELOW.	18" @ 16" O.C. AT EDGES, 24" @ 16" O.C. FIELD	1/2" DIA. A107 A.B. @ 48" O.C. MIN. 2 PER PANEL	CONNECT TOP PLATE TO FLOOR JOIST, RM. JOIST, OR BLOCKING WITH SIMPSON HL-435F OR LEPH (AS APPLICABLE) @ 18" O.C.
			1/2" GYPSUM BOARD	36" COOLER NAILS OR WALLBOARD NAILS @ 24" O.C. @ MIN. PANEL LENGTH IF ONE SIDE OF PANEL LENGTH IF BOTH SIDES		
			5/8" APA RATED CDX SHEATHING (OSB OR 5/8" PLY) 1/2" MIN. JOIST OR SOLID BLOCKING BELOW OR HAVE A FOUNDATION BELOW.	18" @ 16" O.C. AT EDGES, 24" @ 16" O.C. FIELD	1/2" DIA. A107 A.B. @ 48" O.C. MIN. 2 PER PANEL	AT UPPER STORY OR LOWER STORY: 4" MIN. PANEL LENGTH WITHOUT TS-1 OR HD-1, 2" @ 16" MIN. PANEL LENGTH WITH TS-1 (UPPER STORY OF TWO STORY) OR HD-1 (AT ONE STORY PORTION)
			1/2" GYPSUM BOARD	36" COOLER NAILS OR WALLBOARD NAILS @ 24" O.C. @ MIN. PANEL LENGTH IF ONE SIDE OF PANEL LENGTH IF BOTH SIDES		AT LOWER STORY OF TWO STORY PORTION: IF LESS THAN 4" PANEL LENGTH - SHEAR BOTH SIDES OF WALL AND PLACE HD-1 AT EACH END @ 2" @ 16" MIN. PANEL LENGTH

**NOTES**

1. ALL BRICK WALL PANELS TO HAVE A DOUBLE FLOOR JOIST OR SOLID BLOCKING BELOW OR HAVE A FOUNDATION BELOW.

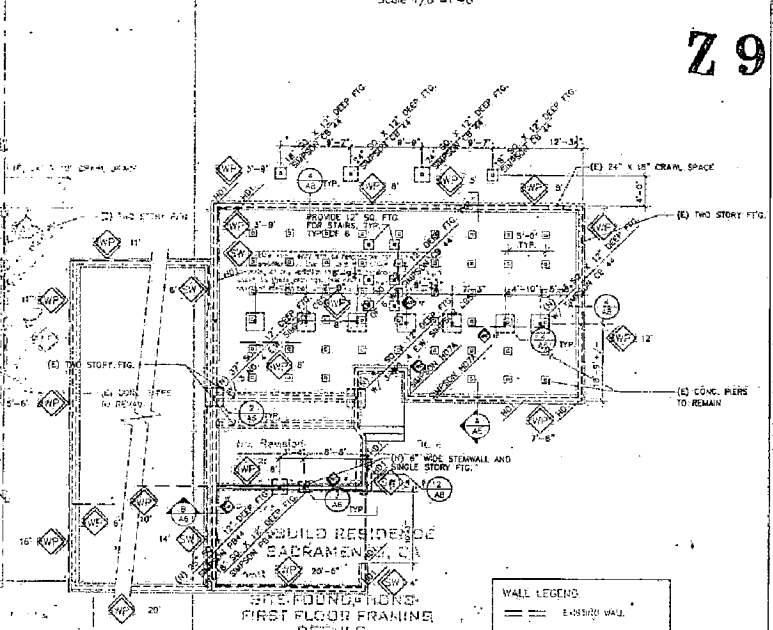
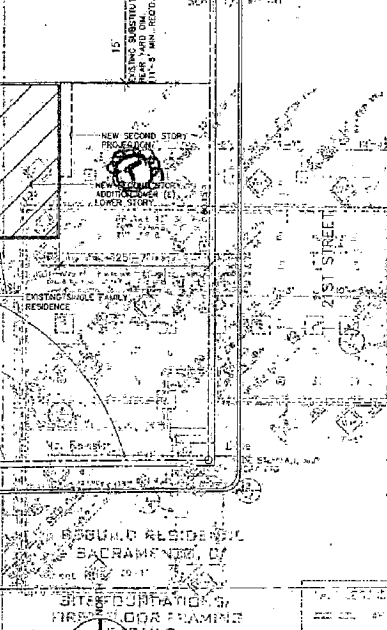
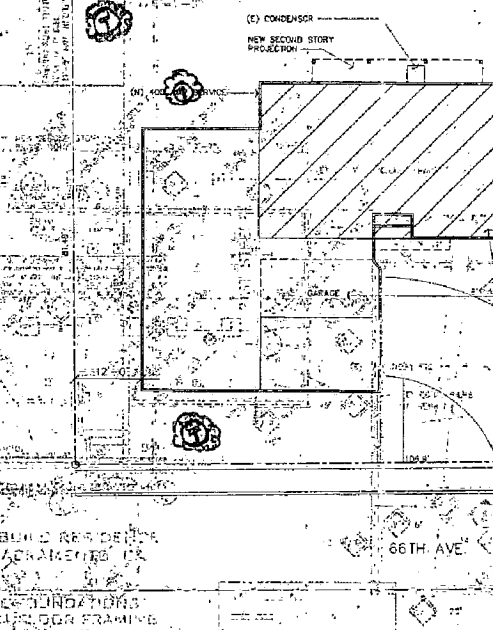
2. SPECIAL INSPECTION WILL BE REQUIRED FOR THE PLACEMENT OF THE EPOXY SET ANCHORS PER THE REQUIREMENTS OF IBCO 4945.

3. IF EXISTING ANCHOR BOLT SPACING DOES NOT MEET THE REQUIREMENTS OF THE SHEAR WALL SCHEDULE OR THE REQUIREMENTS OF 1994 UBC 2205.11 FOR BRICK WALL PANELS THEN EPOXY SET SIMPSON ANCHOR X TO ANCHOR BOLTS A MINIMUM OF 12" INTO THE EXISTING CONCRETE WITH SIMPSON ET EPOXY SUCH THAT THE SPACING REQUIREMENTS ARE MET.

NEW FIRST FLOOR FRAMING PLAN

NEW FIRST FLOOR FRAMING PLAN

NEW FIRST FLOOR FRAMING PLAN



REBUILD RESIDENCE SACRAMENTO, CA  
SITE FOUNDATIONS/  
FIRST FLOOR FRAMING  
DETAILS  
Scale 1"=10'-0"

REBUILD RESIDENCE SACRAMENTO, CA  
SITE FOUNDATIONS/  
FIRST FLOOR FRAMING  
DETAILS  
Scale 1"=10'-0"

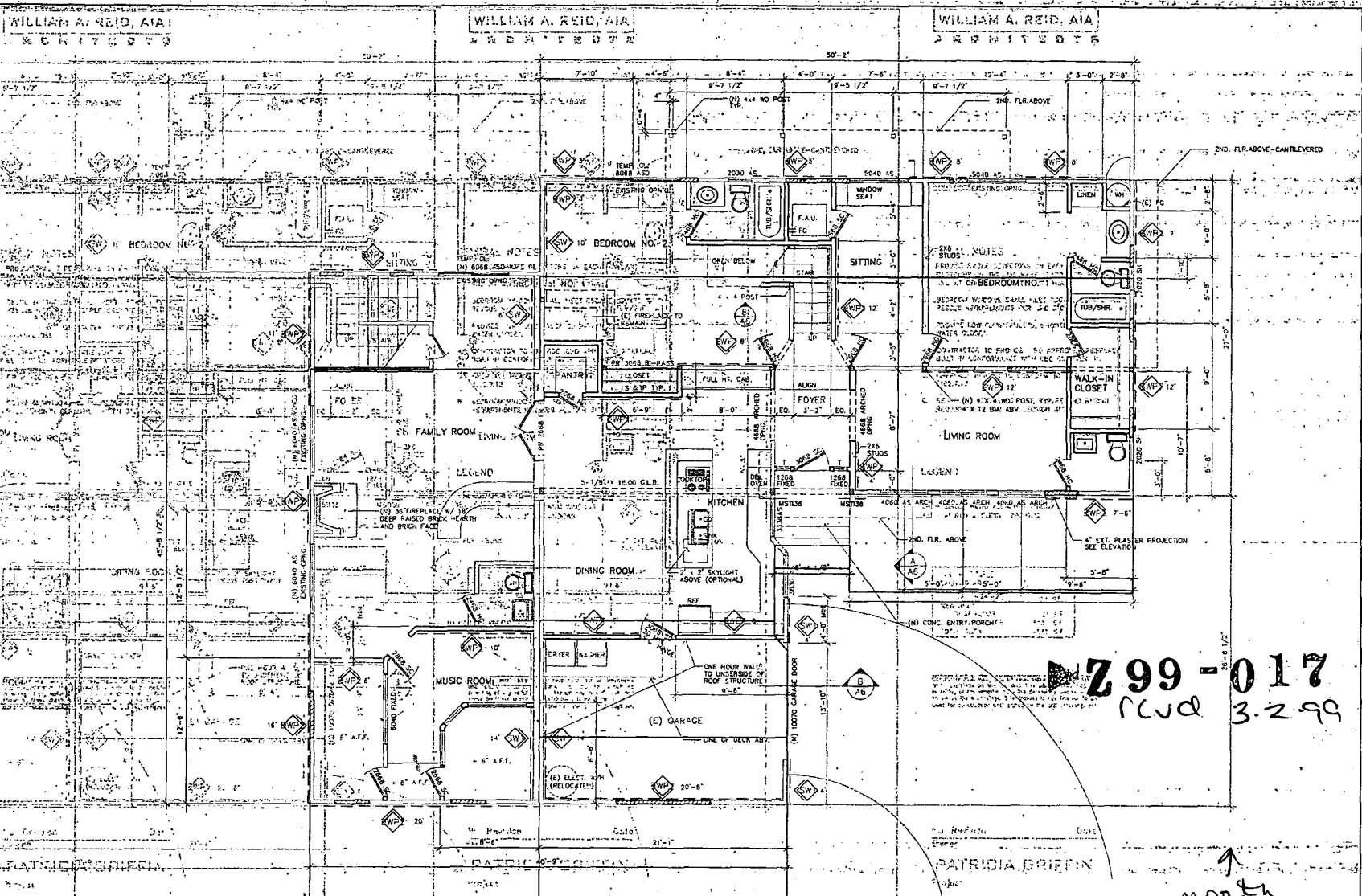
REBUILD RESIDENCE SACRAMENTO, CA  
SITE FOUNDATIONS/  
FIRST FLOOR FRAMING  
DETAILS  
Scale 1/8"=1'-0"

WALL LEGEND  
--- EXISTING WALL

Z99-017

MAY 11  
APRIL 14, 1999

ITEM 1



WILLIAM A. REID, AIA  
ARCHITECTS

4879 Pasadena Ave., Sacramento, CA 95841  
916.485.4809 Fax 916.485.2386

GENERAL NOTES

1. PROVIDE SMOKE DETECTORS ON EACH LEVEL IN ALL BEDROOMS, IN THE HALLWAYS LEADING TO BEDROOM AND AT CEILING ABOVE THE STAIRWAY.
2. BEDROOM WINDOWS SHALL MEET ESCAPE & RESCUE REQUIREMENTS PER CBC SECTION 310.4.
3. PROVIDE LOW FLOW FAUCETS, SHOWER HEADS AND WATER CLOSET.
4. CONTRACTOR TO PROVIDE ICBO APPROVED FIREPLAC BUILT IN CONFORMANCE WITH CBC CHAPTER 31.
5. FIREPLACE HEARTH TO CONFORM TO CBC SECTION 3102.7.12.
6. BEDROOM WINDOWS TO MEET ESCAPE AND RESCUE REQUIREMENTS PER CBC SECTION 310.4.

LEGEND

- T - TEMPERED GLASS REQUIRED
- SH - SINGLE HUNG ALUMINUM WINDOWS
- AS - ALUMINUM SLIDING WINDOWS

AREA TABLE	
EXISTING AREA	
FIRST FLOOR	2286 S.F.
SECOND FLOOR	914 S.F.
NEW AREA	
FIRST FLOOR	221 S.F.
SECOND FLOOR	1837 S.F.
TOTAL AREA	4856 S.F.

Contractor shall verify and be responsible for all dimensions and conditions on the job site prior to the start of construction. If any discrepancy is found, the contractor shall notify the architect immediately. This drawing is not to be used for construction until signed by the architect/engineer.

No. Revision Date  
Owner

**PATRICIA GRIFFIN**  
Project

REBUILD RESIDENCE  
SACRAMENTO, CA

Sheet Title  
**NEW FLOOR PLAN  
FIRST FLOOR**

WARA Job No. 98160  
Scale 1/4" = 1'-0"  
Dwg. No.

Date 10.29.98  
**A3**

NEW FLOOR PLAN  
FIRST FLOOR  
10.29.98 **A3**

NEW FLOOR PLAN  
FIRST FLOOR  
10.29.98 **A3**

NEW FLOOR PLAN  
FIRST FLOOR  
10.29.98 **A3**

WALL LEGEND	
	EXISTING WALL
	WALL TO BE REMOVED
	NEW 2 X 4 STUD WALL

EXHIBIT B

**Z99-017**  
Rev'd 3.2.99

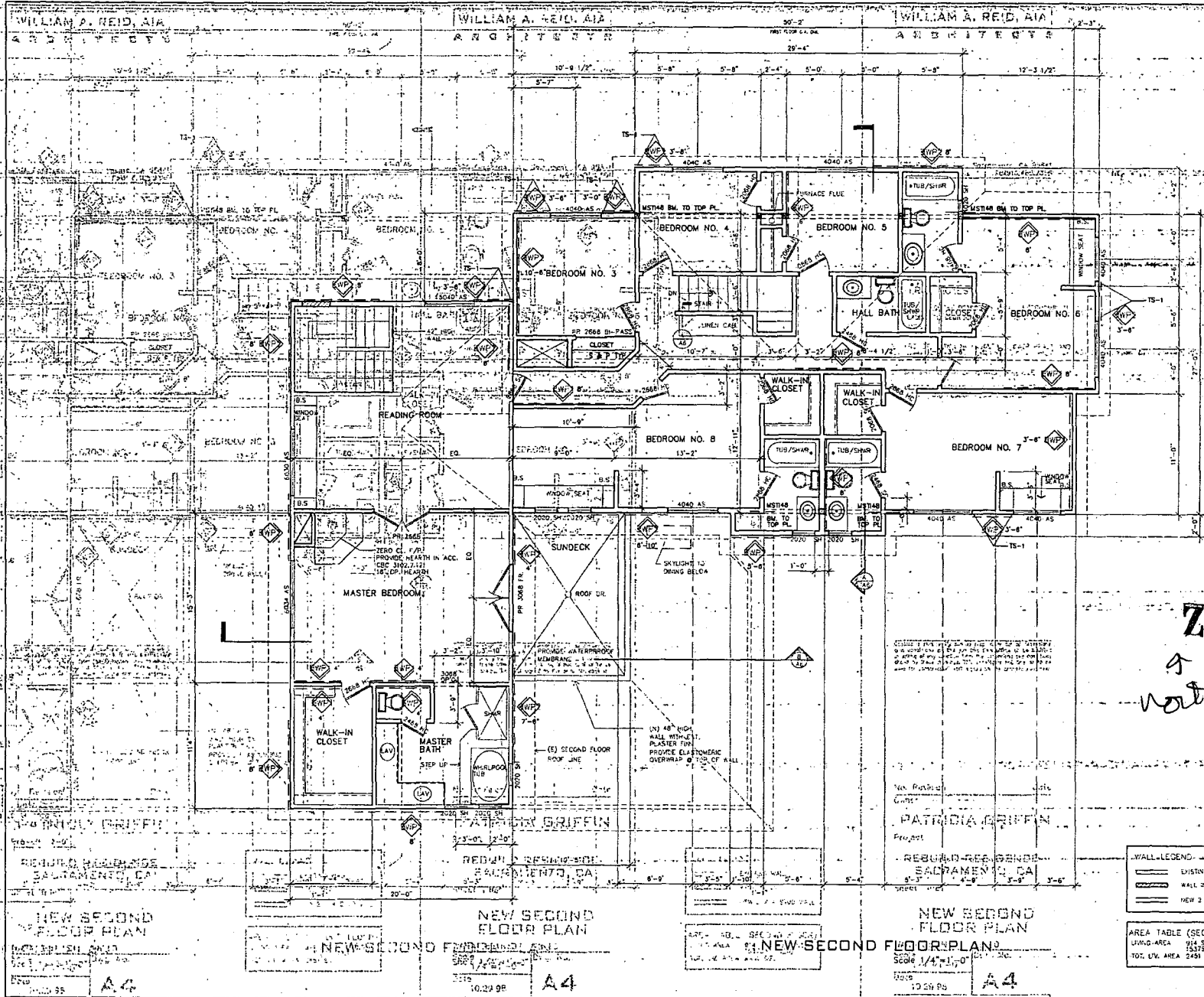
north ↑



Z99-017

MAY 12  
APRIL 14 1999

ITEM 1



WILLIAM A. REID, AIA  
ARCHITECTS

4679 Posadero Ave., Sacramento, CA 95841  
916-485-4898 FAX 916-485-2186

- GENERAL NOTES:
1. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS LEADING TO BEDROOMS AND ABOVE STAIR LANDING.
  2. PROVIDE ELLOW LOW FAUCETS, SHOWER HEADS, WATER CLOSET.
  3. SEE SHIT AN FOR SHEET/WALL SCHEDULE.
  4. BEDROOM WINDOWS SHALL MEET THE SCATE AN ESCAPE AND RESCUE REQUIREMENTS PER CBC.

EXHIBIT C

rcvd 3-2-99  
**Z99-017**  
↑  
North

No. Revision Date  
Owner  
**PATRICIA GRIFFIN**  
Project  
REBUILD RESIDENCE  
SACRAMENTO, CA  
Sheet Title

WALL LEGEND

(Solid line)	EXISTING WALL
(Dashed line)	WALL INFILL
(Line with dashes)	NEW 2 X 4 STUD WALL

AREA TABLE (SECOND FLOOR)

UNFIN. AREA	15,175 S.F.
FIN. AREA (EXISTING)	15,175 S.F.
TOT. LV. AREA	2451 S.F.

**NEW SECOND FLOOR PLAN**  
WARA Job No. 92160  
Scale 1/4" = 1'-0"  
Date 10.29.98  
Dwg. No. **A4**

NEW SECOND FLOOR PLAN  
A4

NEW SECOND FLOOR PLAN  
A4

NEW SECOND FLOOR PLAN  
A4

PATRICIA GRIFFIN  
PROJECT

REBUILD RESIDENCE  
SACRAMENTO, CA

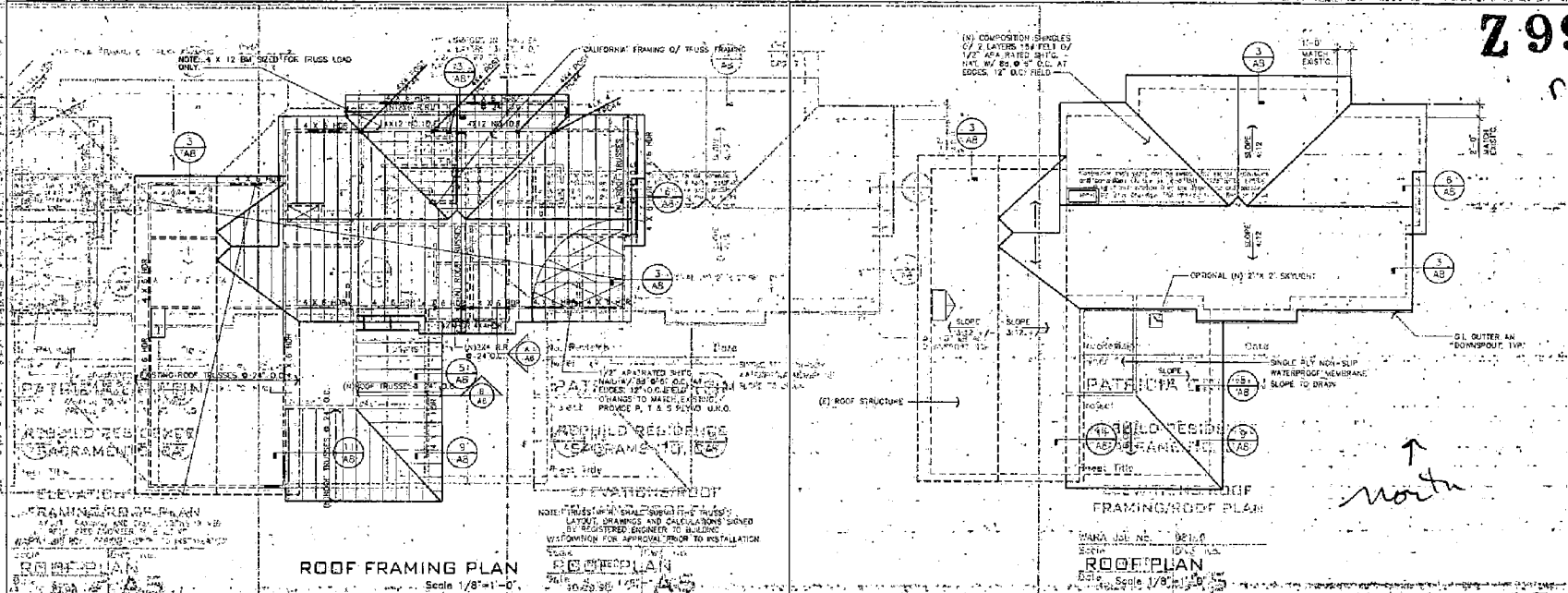
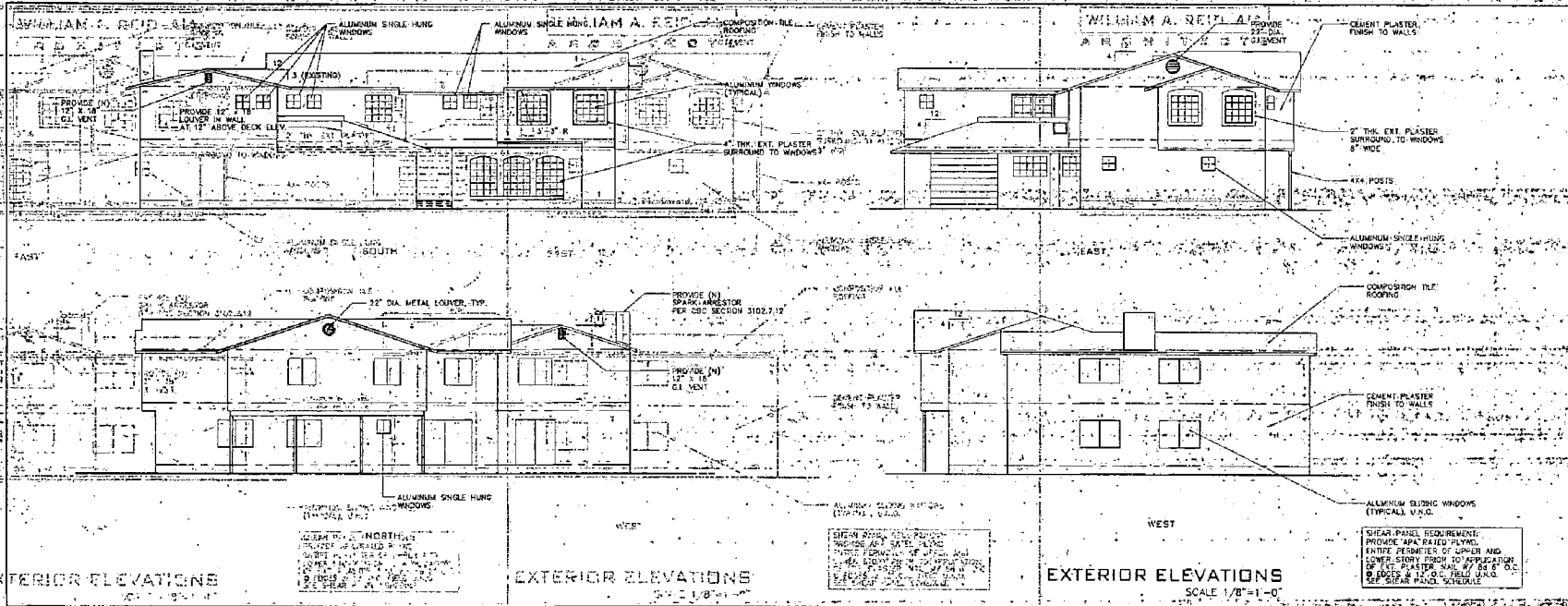
NEW SECOND FLOOR PLAN

Scale 1/4" = 1'-0"  
Date 10.29.98  
A4

Z99-017

MAY 15  
APRIL 14, 1999

ITEM 1



**WILLIAM A. REID, AIA  
ARCHITECTS**

1425 Pasadena Ave., Sacramento, CA 95811  
916 485-4895 Fax: 916 485-2386

**Z99-017**  
Rev 3.2.99

Contractor shall verify and be responsible for all dimensions and conditions of the site prior to the start of the work. A listing of any utilities from the drawings and conditions shown by lower drawings. The drawing is not to be used for construction, unless signed by the architect/engineer.

No. Revision \_\_\_\_\_ Date \_\_\_\_\_  
 Owner: **PATRICIA GRIFFIN**  
 Project: **REBUILD RESIDENCE SACRAMENTO, CA**  
 Sheet Title: **ELEVATIONS/ROOF FRAMING/ROOF PLAN**

WARA Job No.: 98160  
 Scale: **AS NOTED** Dwg. No.: **A5**  
 Date: 10.29.98

EXHIBIT D