

0611815

City of Sacramento
Development Services Department
PLANNING REVIEW FOR BUILDING PERMIT SUBMITTAL

ADDRESS: 3056 Callecita St		APN: 265-0093-007
DRPB AREA / PUD / SPD: Expanded North Design Review		ZONING: R-1
EXISTING LAND USE: Single Family Residential w/ parking pad no garage		
PROPOSED USE: Parking Pad		
PLANNING STAFF WILL CHECK ONE OR MORE OF THE ITEMS BELOW:		
<input type="checkbox"/>	Planning review is NOT required.	
<input type="checkbox"/>	Use is NOT allowed; applicant CANNOT submit for plan check.	
<input type="checkbox"/>	Requires APPLICATION(s): PC ZA IR ER DR PB	
	Required Planning application must be approved <i>before</i> project can be submitted for plan check	
<input type="checkbox"/>	Application(s) IN PROGRESS: File Number:	
	Application must be approved before project can be submitted for plan check.	
<input checked="" type="checkbox"/>	Application(s) COMPLETED: File Number & approval date: IR05-420	
	Building permit must conform to approved plans and comply with all conditions of approval. Do NOT accept applications for a building permit prior to the end of the 10-day appeal period.	
<input type="checkbox"/>	Plans may be submitted for plan check. Plan checker(s) shall confirm compliance with Zoning Ordinance requirements and all applicable development standards <i>prior to issuance</i> of building permit.	
<input type="checkbox"/>	Meets setback & lot coverage requirements as shown on site plan provided.	
<input checked="" type="checkbox"/>	Plans to be submitted have been stamped/signed by Planning counter staff.	
<input checked="" type="checkbox"/>	Route to SITE for plan check and inspection.	
<input checked="" type="checkbox"/>	Route to SITE for inspection only, plan check not required.	
<input type="checkbox"/>	Preliminary review ONLY; the information on this form must be reviewed again and confirmed at the time of building permit submittal.	
CONDITIONS AND COMMENTS: Plans were previously submitted and approved for SFR permit. Garage has been approved by Preservation for Demo under IR 050420. Applicant has no intention to build a garage, however the required parking has been met due to use of a parking pad located on south side of dwelling. Parking is prohibited in the front setback area. The remaining 28 FEET of concrete is sufficient enough to meet parking requirements for the SFR. No changes to footprint, setbacks, or lot coverage. Any changes require planning approval.		
DATE: 6/26/2006		BY: KIM STEVENSON



CITY OF SACRAMENTO

www.cityofsacramento.org
 Help Line: 1-916-808-5656 OR 1-866-EZ-PERMIT
 Inspection: 1-916-808-7622

New City Hall
 915 I Street, 3rd Floor
 Sacramento, CA 95814

North Permit Center
 2101 Arena Blvd., Suite 200
 Sacramento, CA 95834

WRECKING INSPECTION FORM

Approval by the following City Departments **must be obtained prior to the issuance** of a wrecking permit by the Building & Planning Department. Design Review approval required on all wrecking permits in Central City or Alhambra Blvd. Corridor **prior to sewer disconnect** permit being issued.

Address: 3056 Callecita St 265-0093-007
 Owner: IR05-420

Design Review/Planning 915 I Street, 3 rd Floor 916-808-5656 – Helpline Selection #3 X <u>[Signature]</u>	Housing & Dangerous Buildings (If applicable*) 915 I Street, 3 rd Floor 916-808-5404 X <u>[Signature]</u>
Traffic Engineer (If applicable *) 1000 I Street, Suite 170 916-808-5307 X _____	Fire Department (All) 5770 Freeport Blvd., Suite 200 916-433-1300 or 916-433-1628 X <u>[Signature]</u>
_____	Arborist/Tree Service (If applicable *) Call for Appointment 5730 24 th Street 916-433-6345 X _____

* may or may not apply depending on scope and location of project

1. Route to Planning and Fire
2. Bring Permit (signed off by Plumbing Inspector) back to the Building Dept. to apply for a Wrecking Permit. *Unless City Awarded Contract
 Sewer Disconnect will be called in by Bldg. Tech. - 264-5371 Kill Tap
3. Commercial buildings are required to have an Asbestos Form and are not to be issued before Air Quality Date is on the Asbestos Form (bottom right corner).



Building Demolition & Movement

Form FP-9

<u>Location</u>	<u>Type of Action</u>
Address of Structure: <u>3056 Callecita St.</u>	<input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Move - explain route on back
Demo/Move Contact: <u>Gordon Towns</u>	Time of Demo/Move: <u>complete</u>
Contact Phone: <u>510-691-1751</u>	Date of Demo/Move: <u>1. 11</u>

<u>Building Type</u>
<input type="checkbox"/> Dwelling <input type="checkbox"/> Commercial <input type="checkbox"/> School <input checked="" type="checkbox"/> Other - explain: <u>Garage</u>

<u>Hazard Analysis</u>
Are there any access restrictions to the site? <input type="checkbox"/> Yes - explain: _____ <input checked="" type="checkbox"/> No
Are there underground tanks on the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are there any hazardous materials on the site? (i.e. asbestos, flammable or combustible liquids, etc.) <input type="checkbox"/> Yes - explain: _____ <input checked="" type="checkbox"/> No

Signature: <u><i>Gordon Towns</i></u> <u>Responsible Party</u>
Comments: _____



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PERMIT # 0611815 APPLICATION FOR WRECKING PERMIT

LOCATION
Address: 3056 Callecda St.
Lot: _____ Tract: _____
Lot Depth: _____ Lot Width: _____ Corner Lot: _____ Interior Lot: _____
Owner: _____
Address: _____

BUILDING DATA
Length: _____ Width: _____ First Floor Area: _____ (Sq. Ft.) No. Stories: 1
Use of Building: Garage Construction Type: Ward Frame Height: _____
of Units: 1 Rear Yard: _____ Side Yard: _____ Set Back: _____
City Sewer: _____ Water: _____ Septic: _____ Well: _____

CONTRACTOR INFORMATION
Name: _____ State License No: _____
Address: _____
Phone: _____ Fax: _____
Liability Insurance P.L. _____ P.D. _____ Policy on File: _____

CODE REQUIREMENTS
Notification of Adjacent Property Owners: _____ Date: _____
Copy of Notification on File: _____ Use of Property Required: _____
Pedestrian Protection Required: _____ Requirements Attached: _____
Basement or Other Excavations on Lot: _____ To Be Filled: _____ Fenced: _____

PREPARE PLOT PLAN SHOWING LOCATION OF BUILDING ON LOT. ALSO TYPE AND LOCATION OF BUILDING BARRICADE.

SPECIAL CONDITIONS
I have read the above application and know the contents thereof; the same is true and correct. I further state that I am familiar with the laws governing the demolition of buildings within the City of Sacramento and the State of California and that the above structure will be razed in conformity therewith. I further state that I understand that this permit may be revoked for any violation of the provisions of the Code of the City of Sacramento pertaining to or affected by the demolition procedure to be used on the above building.

No. W _____ Applicant: Gordon Towns
Date: _____ Title: Applicant
Fee: _____ (Applicant/Owner)

PERMIT EXPIRES		
Month /	Day /	Year

Y THIS IS A REVOCABLE PERMIT



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AGREEMENT TO HOLD CITY HARMLESS FROM LIABILITY
BY REASON OF DEMOLITION OF BUILDING

DATED: 8/2 2006

KNOW ALL BY THESE PRESENT:

The undersigned owner of the premises at 3056 Callecita St, Sacramento, CA 95815
pursuant to provisions of the City Code, hereby agrees as follows:

- 1. That the building to be demolished consists of no more than a two (2) story building, garage, and other supplemental buildings to be demolished by owner with personnel employed by him/her.
2. That the structure to be demolished will be so torn down as to complete all operations within the normal setback area from the property line.
3. That in accordance with provisions set forth in Title 15, Sec. 15.44.110 and .120 of the City Building Code, the undersigned shall comply with the following:

“Prior to the start of any demolition work on any building or structure in excess of two (2) stories in height, the permittee shall give written notice to owners or tenants of adjoining property not less than ten (10) days before such demolition is started and shall contemporaneously send a copy of each such notice to the director.

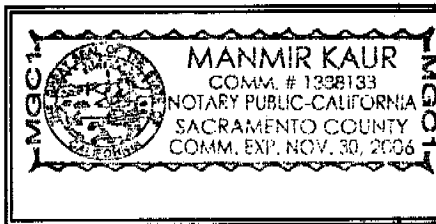
The permittee shall take all necessary precautions to adequately protect adjacent property and its occupants.”

- 4. That in consideration of waiver of insurance as allowed Title 9, Sec. 9.11.427 the undersigned owner hereby agrees to the following:

“indemnify and hold harmless the City of Sacramento, its officers, employees, and agents from and against any and all actions, damages, claims, losses or expenses of every type and description to which they may be subject or put, by reason of or resulting from directly or indirectly, negligent injury to persons or property arising out of the granting of permission by the City to the undersigned to demolish the building and salvage the materials from the premises above named.”

IN WITNESS THEREOF, the undersigned has fully read the Agreement and executed this Agreement the day and year first above written.

Owner: Gordon Towns on behalf of Gavino Zavala Address: 3056 Callecita St. Sacramento CA 95815
Subscribed and sworn to before this 18th day of August 2006



California
County of Sacramento
Subscribed and sworn to before me on this 18th day of Aug. 2006 by Gordon Towns
proven to me on the basis of satisfactory evidence to be the person who appeared before me.
Manmir Kaur
Signature of Notary Public



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DEMOLITION PERMIT NOTIFICATION

WRECKING PERMIT # 0611815

A Demolition Permit for a 1 Garage Only story building at:

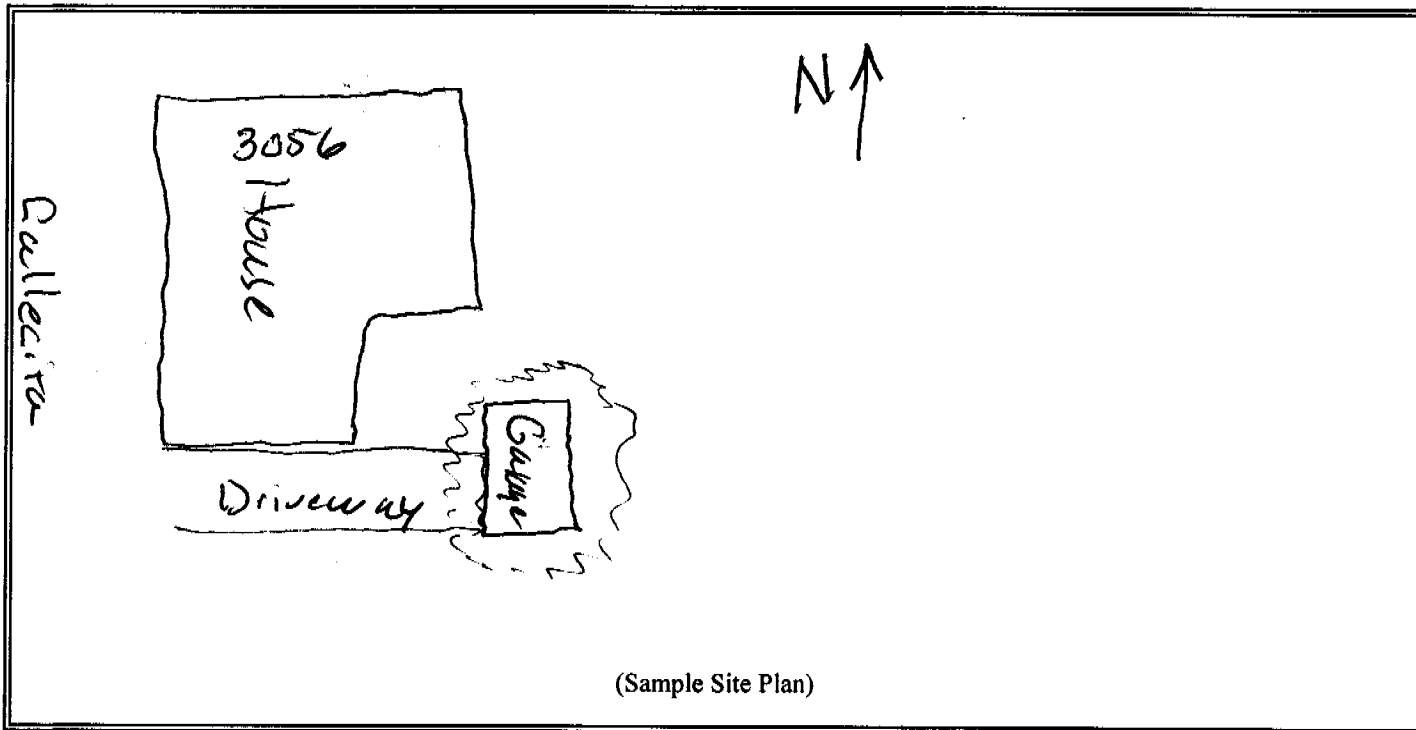
3056 Callecita

(Address)

Parcel No. 265-0093-007 has been issued on 8-21-2006
(Date)

The structure is scheduled for demolition within 30 days.

Please update your service and billing records accordingly.



- cc: P.G. & E (Terry Clark)
- SMUD
- SOLID WASTE (3141)
- UTILITIES (3350)
- UTILBILLING (1125)
- FIRE DEPT. (2510)

Route taken for Moving building (include diagram):

OFFICE USE ONLY	
Intake by: _____	Date: _____ Time: _____
Routing: <input type="checkbox"/> PIO <input type="checkbox"/> CIS	
Date entered into CAD: <u>PIO</u> _____	Date sent to Stations & B/C: <u>CIS</u> _____
End date for CAD: _____	

Gavino Zavala
3056 Callecita St.
Sacramento, CA 95815
916-968-0160

To whom it may concern:

I authorize Gordon Towns to act as my representative in order to file all required permits necessary to resolve any outstanding issues with the previous garage at 3056 Callecita St.

Gavino Zavala

Gavino Zavala

8-10-06

Date