

STAFF REPORT AMENDED 1-13-83
CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Westwood Co., 7844 Madison Avenue, #199, Fair Oaks, CA 95628				
OWNER	Cupler Forest Products, P.O. Box 998, North Highlands, CA 95660				
PLANS BY	Spink Corporation, P.O. Box 2511, Sacramento, CA 95814				
FILING DATE	12-10-82	50 DAY CPC ACTION DATE		REPORT BY:	SD:bw
NEGATIVE DEC.	1-3-83	EIR		ASSESSOR'S PCL. NO.	038-011-28

- APPLICATION:
1. Environmental Determination
 2. Rezone 8± ac. from Single Family (R-1) to Townhouse (R-1A) (Sec. 2-13-3)
 3. Tentative Map (Subdiv. Ord. Ch. 40)
 4. Special Permit for zero-lot line development (Sec. 7-C)
 5. Variance to reduce the rear yard setback from 15 ft. to nine ft. (WITHDRAWN)

LOCATION: North side of Lemon Hill Road, 2000± ft. east of Stockton Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to divide 8± acres into 59 single family lots to be developed with a mixture of standard single family and zero lot line units.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 Colonial Community Plan Designation: Light Density Residential
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Residential; R-1
South: Residential and Commercial; R-1 and C-2
East: Swim Club; R-1
West: Commercial; C-2

Parking Required: 59 spaces
Parking Provided: 167 spaces
Parking Ratio: 2.8 spaces per unit
Property Dimensions: Irregular
Property Area: 8± acres
Density of Development: 7.3 units per gross acre
Square Footage of Building: 980 to 1,284
Significant Feature of Site: Elimination of 55th Street
Topography: Flat
Street Improvements/Utilities: To be provided
Exterior Building Colors: Earth tones
Exterior Building Materials: Wood and stucco
Height of Structures: 1 story - 16 feet
2 story 0 20 feet
South Wall Access: 56 percent
North/south lot Orientation: 14 percent
70 percent

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SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On December 22, 1982, by a vote of five ayes and four absent, the Subdivision Review Committee voted to recommend denial of the tentative map. Recommendations for denial were based upon inadequate access to service the site and the proposed stub termination of 55th Street.

BACKGROUND INFORMATION: The subject site is a portion of a tentative subdivision map that was reviewed by the Subdivision Review Committee in August 1978. The application was not pursued due to problems relating to right-of-way for 55th Street. On April 24, 1979, the Council approved a request to rezone that site from R-3 to R-1 and to subdivide two parcels with existing structures, leaving the subject site for future development.

STAFF EVALUATION: Staff has the following concerns and comments with regard to this project:

1. Termination of 55th Street has been the major obstacle in the development of the subject site. The applicant proposes to stub 55th Street at the northern property line. An improved 20-foot wide emergency access easement is proposed to connect with the private interior street. This proposal is unacceptable to the City Engineer and the City Traffic Engineer. Both of these divisions have indicated support of the request if the applicant will provide a cul-de-sac to terminate 55th Street. Standard subdivision improvements are necessary for the cul-de-sac. Driveways from the cul-de-sac should serve the subject site and the adjacent commercial property. This cul-de-sac will necessitate a minor redesign of the tentative map.
2. It is necessary to obtain off-site right-of-way for the cul-de-sac. The City Engineer has indicated that the City will use its condemnation powers to obtain off-site right-of-way at the owner's expense if an agreement cannot be reached with the adjoining property owner.
3. The applicant is requesting a rezoning to R-1A, a special permit for zero lot line development and a tentative map to subdivide the property to develop 59 units. Zero lot line refers to the location of the structure on one side property line. That side of the structure has a solid wall to maintain privacy of the adjacent unit. A five-foot easement should be provided on the final map for maintenance of the solid wall. Situating units on one side of the property allows for a moderate increase in density without appearing to squeeze structures together. The proposed density of 7.3 units per acre is well within the limits of the R-1A zoning classification.
4. Only three exterior elevations are provided. Ordinarily staff would recommend additional elevations. However, the applicant is attempting to avoid a cluttered appearance by the use of many elevations. A varied and interesting streetscape will be achieved by emphasizing heavily landscaped front yards, various courtyard treatments and carefully selected colors, textures and materials.
5. Only 70 percent of the units have adequate solar orientation. Shadowing caused by the two-story unit, No. 3, can be eliminated by shifting the structures on Lots 15, 16, 20, 27 and 28 to the north and obtaining a standard five-foot northern side yard setback (see Exhibit D). Units on lots 36 and 37 should be reversed (See Exhibit D). This will provide 80 percent of the units with adequate solar access.

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6. Commonly owned landscaped areas should be designated Lot A, and the private street designated Lot B on the final map. These areas are to be owned and improved by a homeowners' association. Conditions, covenants and restrictions of the association should be subject to review by the City Attorney prior to final map recordation.
7. Landscaping along the street side of the structures should be designed to soften the appearance of unbroken walls. Planting material should consist of one to five-gallon shrubs, five to 15 gallon trees and ground cover. Landscaping and shading plans will be subject to approval prior to issuance of building permits. Staff requests that the street be 30 feet wide along the entry road from Lemon Hill Avenue. This additional footage should be landscaped (See Exhibit D).
8. The Sewer and Water and Fire Departments have suggested on-site fire hydrants and provision of a second source of water. This is to assure adequate fire protection and availability of domestic water.
9. Street lights are required on Lemon Hill Avenue. Staff recommends an interior street lighting system for security. Plans should be approved by the City Electrical Engineer prior to final map recordation.
10. The Planning and Community Services Departments have determined that 0.660 acres of land are required for parkland dedication purposes and that fees will be charged in-lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. Such appraisal shall be dated and submitted no more than 90 days prior to filing of the final map. Fees are to be paid prior to filing the final map.
11. A variance was requested to reduce a rear yard setback to nine feet. This was withdrawn since setbacks are variable in the R-1A zoning designation.
12. In order to buffer the proposed residences from the noise of adjacent commercial uses, staff requests a solid six-foot wall be erected along the west and south property lines abutting commercial uses. (See Exhibit D.)

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning from R-1 to R-1A;
3. Approval of the Special Permit subject to conditions and based on Findings of Fact to follow;
4. Approval of the Tentative Map subject to the following conditions:

Conditions - Tentative Map

The applicant shall complete each of the following conditions prior to filing the final map unless another time for compliance is specifically stated:

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code along Lemon Hill Avenue;

- b. Provide a 40-foot radius cul-de-sac, improved to the satisfaction of the City Engineer and City Traffic Engineer, to terminate 55th Street. Will require off-site right-of-way dedication (City will condemn at the property owner's expense); (CPC amended to: ...cul-de-sac or such other design improved to...)
- c. Designate common landscaping areas as Lot A on the final map;
- d. Designate private roadways and parking area as Lot B on the final map;
- e. Language satisfactory to the City Attorney shall be included in the covenants, conditions and restrictions for all parcels: 1) requiring periodic contributions to a homeowners' association which shall be exclusively responsible for the maintenance of the aforementioned landscaped areas and roadways; and 2) conferring to the City the power to enforce said maintenance obligation and recover City overhead and legal costs incurred for any enforcement action(s);
- f. Any amendments to the covenants, conditions and restrictions shall require the consent of the City;
- g. The applicant shall redesign the map to reflect: 1) the cul-de-sac to terminate 55th Street; 2) widen the entry roadway from Lemon Hill Avenue to 30 feet wide; (CPC amended to: 1) the cul-de-sac or other approved design that will terminate...)
- h. Prepare a sewer and drainage study for the review and approval of the City Engineer;
- i. Name the streets to the satisfaction of the Planning Director;
- j. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
- k. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.

Conditions - Special Permit

- a. Lots A and B shall be improved to the satisfaction of the City ~~Engineer~~ ^{Planning Director} and Director of the Department of Community Services prior to issuance of ~~building~~ ^{occupancy} permits; (CPC amended to: ...of occupancy permits;)
- b. Provide an interior private street lighting system, subject to the approval of the City Electrical Engineer, prior to issuance of building permits;
- c. There shall be a five-foot northern side yard setback for Lots 15,16, 17,20,27 and 28 shown on the site plan that is provided for building permit approval. (See Exhibit D.)

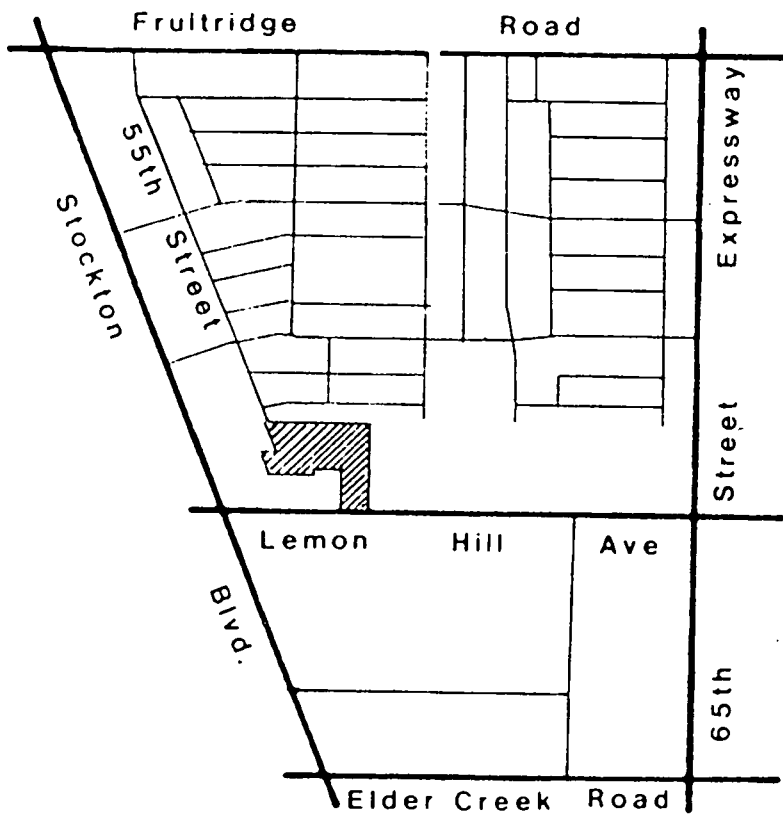
- d. The site plan shall indicate a unit 2 located on Lot 37 and a unit 3 on Lot 36;
- e. The applicant shall construct a six-foot high wall of masonry or similar material along the property line adjacent to commercial uses or zoning. Design of the wall shall be approved by the Planning Director prior to issuance of building permits;
- f. Landscaping, irrigation and shading plans shall be subject to review and approval by the Planning Director prior to issuance of building permits. The landscaping shall consist of a variety of planting material that includes one to five-gallon shrubs, five to 15 gallon trees and ground cover.

Findings of Fact - Special Permit

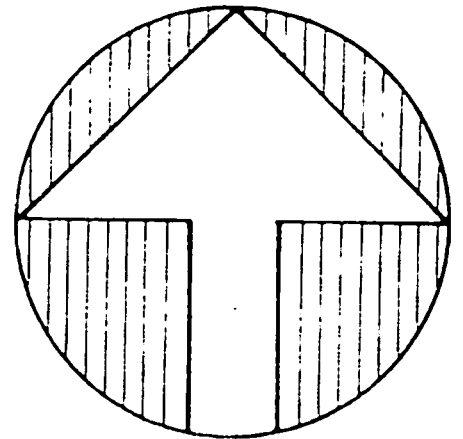
- a. The project, as conditioned, is based on sound principles of land use in that:
 - 1) an alternative type of housing is being provided;
 - 2) the project provides for passive solar energy access.
- b. The project, as conditioned, will not be injurious to the surrounding properties in that it will not significantly alter the characteristics of the area which consist of residential and commercial uses;
- c. The project, as conditioned, is consistent with the goals of the Housing Element of the 1974 General Plan which state:
 - 1) "Encourage increased residential densities and thus, housing supplies, near employment centers, along major transportation corridors within areas designated for urbanization..." and;
 - 2) "Promote the construction and maintenance of affordable, durable quality housing which efficiently uses land and natural resources."
- d. The project is consistent with the 1965 Colonial Community Plan which designates the site Light Density Residential.

LOCATION

MAP



SITE LOCATION



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P. 82294

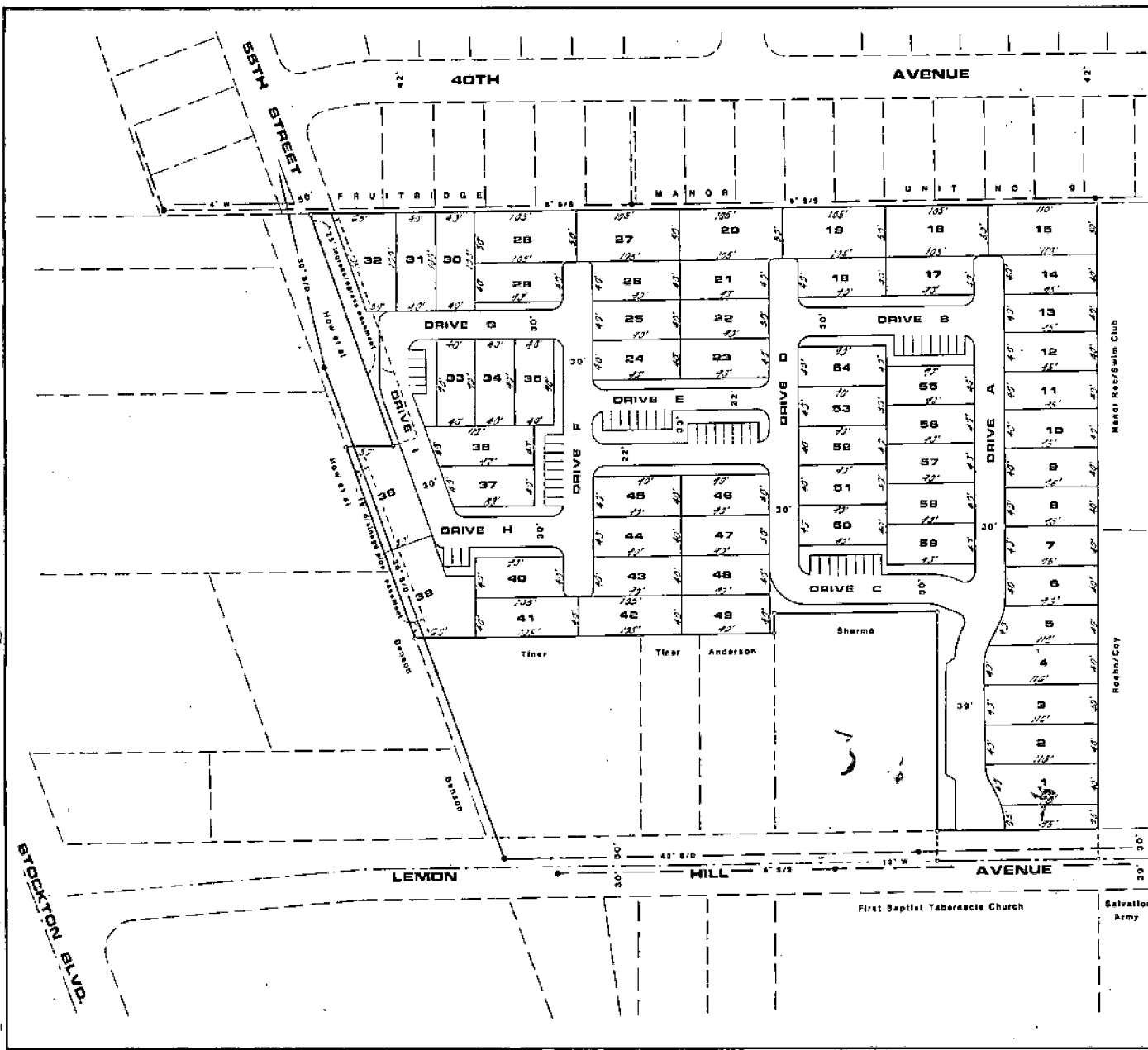
JAN. 13, 1983 16

No. 22

P82-294

1-13-83 10

No. 22



TENTATIVE MAP
LEMON HILL ESTATES
 CITY OF SACRAMENTO
 DECEMBER, 1982

RECORD OWNER:
 CUPLER FOREST PRODUCTS
 PO BOX 998
 NORTH HIGHLANDS, CA 95660

ENGINEER:
 THE SPINK CORPORATION
 PO BOX 2511
 SACRAMENTO, CA 95611

SCHOOL DISTRICT:
 SACRAMENTO CITY UNIFIED

SEWER:
 CITY OF SACRAMENTO

DRAINAGE:
 CITY OF SACRAMENTO

WATER:
 CITY OF SACRAMENTO

EXISTING ZONING:
 R-1

PROPOSED ZONING:
 R-1A

SUBDIVIDER:
 THE WESTWOOD COMPANY
 7844 MADISON AVE. SUITE 100
 FAIR OAKS, CA 95628

ASSESSOR PARCEL NO.:
 38-011-28

LEGAL DESCRIPTION:
 PARCEL 1, 50-P.M.-30

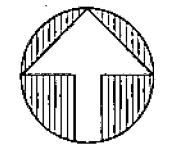
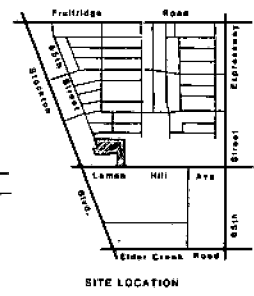
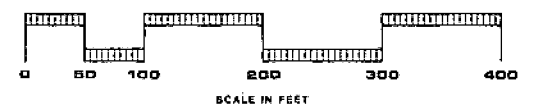
AREA:
 6.191 ACRES GROSS
 6.077 ACRES NET

EXISTING USE:
 VACANT

PROPOSED USE:
 59 SINGLE FAMILY LOTS
 1 COMMON LOT

TYPICAL SIZE:
 40' X 90' - 3,600 SQ. FT.

NOTE:
 ALL COMMON AREA WILL BE
 LOT A



Calvin A

DECEMBER, 1982 9417-011

THE SPINK CORPORATION
 ENVIRONMENTAL PLANNING · ENGINEERING
 ARCHITECTURE · SURVEYING · MAPPING · SYSTEMS
 100 F STREET · SACRAMENTO, CALIFORNIA 95811 · PHONE 941-8700

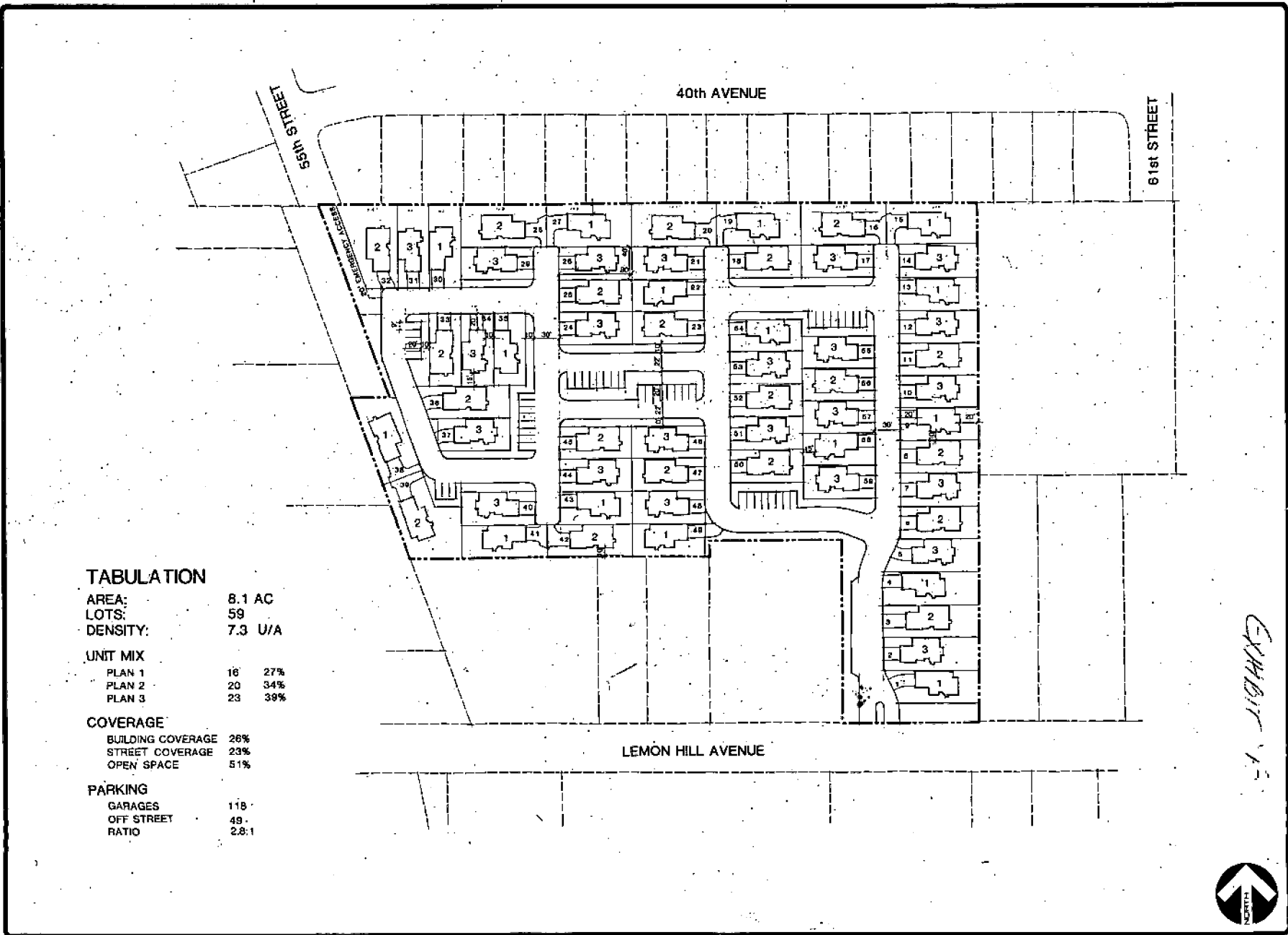
LEMON HILL ESTATES TENTATIVE MAP

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1-13-82 17

No. 23



TABULATION

AREA: 8.1 AC
 LOTS: 59
 DENSITY: 7.3 U/A

UNIT MIX

PLAN 1	16	27%
PLAN 2	20	34%
PLAN 3	23	39%

COVERAGE

BUILDING COVERAGE	26%
STREET COVERAGE	23%
OPEN SPACE	51%

PARKING

GARAGES	118
OFF STREET RATIO	49:1
	2.8:1



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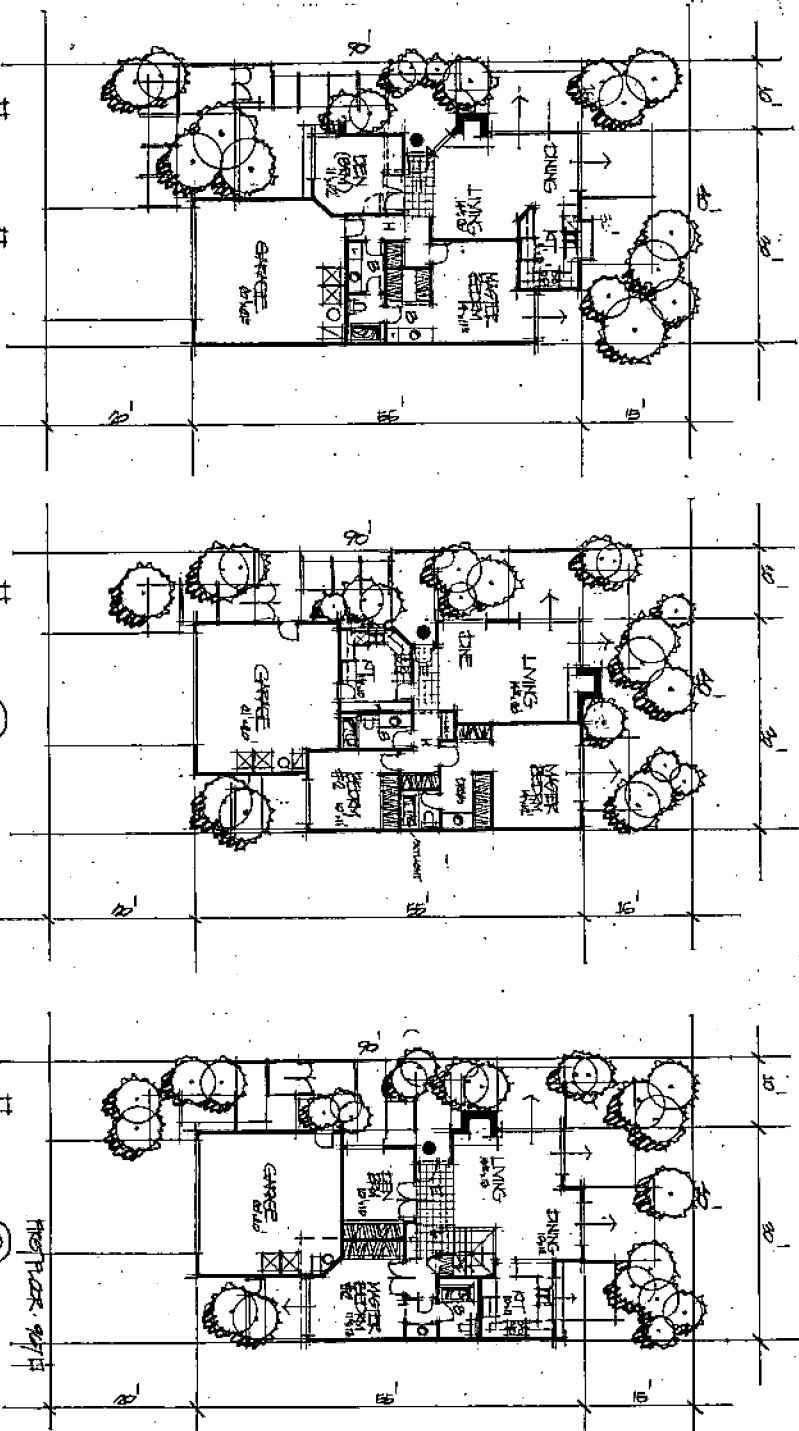
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EXHIBIT 'C'

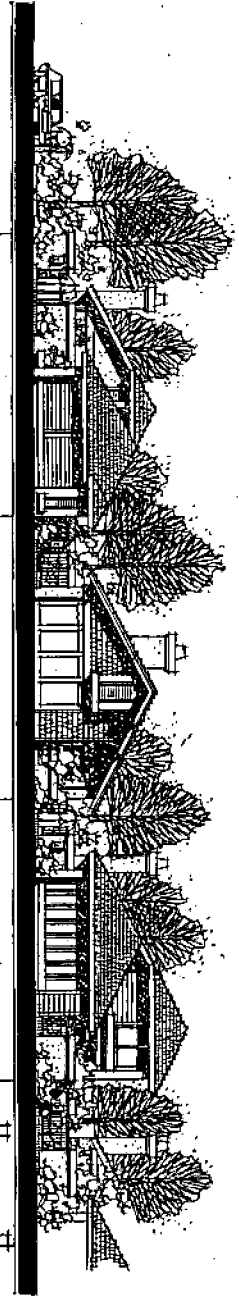
Plan #1
1 BEDROOM + DEN + 4 1/2 BATH
900 SQ. FT.

Plan #2
2 BEDROOM + 2 BATH
1045 SQ. FT.

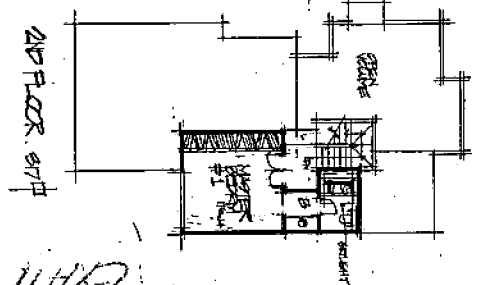
Plan #3
2 MASTER BEDROOM + DEN / BATH
1004 SQ. FT.




1 2 3



Street Elevation



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 0217B W.
 10/12/82

 WESTWOOD HOMES INC.
 sacramento, california.


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