

AMENDED BY STAFF 3-14-91
CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Allied-Langdon Eng. P.O. Box 2077 Citrus Heights CA. 95611				
OWNER	Patrick K. Willis P.O. Box 1144 Sacto. CA. 95812				
PLANS BY	Allied-Langdon Engineering P.O. Box 2077 Citrus Heights CA. 95611				
FILING DATE	9-6-90	ENVIR. DET.	Neg. Dec.	REPORT BY	bw
ASSESSOR'S PCL. NO.	023-0163-012				

APPLICATION:

- A. Negative Declaration
- B. Rezone 0.97± vacant acres from Standard Single Family (R-1) to Single Family Alternative (R-1A) zone.
- C. Tentative Map to subdivide 0.97± vacant acres into 7 single family lots in the R-1A zone.
- D. Special Permit to develop 6 single family homes on 6 lots and temporary guest parking on the remaining lot in the R-1A zone.

LOCATION: 5391 64th Street

PROPOSAL: The applicant is requesting the necessary entitlements to subdivide one lot into seven lots for single family development in the R-1A zone.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
Existing Zoning of Site:	R-1
Existing Land Use of Site:	vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Residential; R-1	Front:	Determined	21'
South: Residential; R-1	Side(Int):	by the	5'
East: Residential; R-1		Commission	
West: Residential; R-1	Rear:		12'-22'

Parking Required:	6 spaces
Parking Provided:	12 spaces
Property Dimensions:	Irregular
Property Area:	0.97±
Density of Development:	7.6 du/na
Building Square Footage:	3 units - 1,260 sq.ft.
	3 units - 1,331 sq.ft.

Height of Buildings:	One and two story units
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Material:	Horizontal Wood Siding
Roof Materials:	Wood Shake
Exterior Building Colors:	Earth Tones

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On February 13, 1991, by a vote of six ayes and three absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to conditions which are noted below.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of one vacant parcel on 0.97± acres in the Standard Single Family (R-1) zone. The General Plan designates the site for Low Density Residential (4-18 du/na). The subject property is also located in a designated infill area in the General Plan. The site is surrounded on the the north, south and west by single family residential and 65th Expressway to the east. The property is surrounded by R-1 zoning.

B. Applicant's Proposal

The applicant is requesting a rezone of the subject property from Standard Single Family (R-1) to Single Family Alternative zone. The applicant is also proposing to subdivide the subject lot into six single family lots with access easements and one lot for temporary visitor parking. The remaining lot seven, used for parking, will be developed at a later date. Lastly, a special permit is required to develop with a single family residence in the Single Family Alternative (R-1A) zone.

C. Tentative Map Design

The submitted tentative map indicates a proposed access and public utility easement along the north property line. This road will have access from 64th Street and will link to a newly created street to be known as Willis Way (see Exhibits A and B). Willis Way is located along the east portion of the property and will be developed as a 44 foot wide north/south public street. The City's Traffic Engineering Department is requiring that Willis Way be developed to meet City improvement standards. The proposed access/utility easement road will be a temporary road until a public street is established to provide alternative access to lots 4, 5, 6 and 7. Once a connection has been established to connect with Willis Way, a dwelling will be constructed on lot 5 and the access/utility easement will become a private driveway. Both access roads (access/utility road and Willis Way) are required by the City's Traffic Engineering Department. The applicant has indicated to staff that a Homeowner's Association will be established to maintain the access/utility easement, temporary parking lot and a landscape area

on lot 5 until future development occurs (see Exhibit B). The Homeowner's Association will own lot 5 until Willis Way is connected to a public street.

The proposed tentative map is located on an R-1A zoned lot which offers flexible lot sizes, street patterns and design than what a typical single family (R-1) zoned subdivision would propose. Staff finds the proposed concept to be an innovative and attractive feature for an infill lot which offers viable and affordable single family housing. Development on the proposed lot will also eliminate a vacant interior lot in a well established neighborhood.

D. Special Permit

The submitted site plan indicates three temporary guest parking spaces and a landscape area on lot 5 (see Exhibit B). As previously noted, the temporary parking lot and landscape feature will exist on the site until future development can occur on lot 5. A landscape and irrigation plan for the landscape feature shall be submitted to staff for review and approval prior to issuance of building permits. The submitted tentative map indicates a total of seven lots to be developed with single family detached homes. The proposed lots are slightly smaller than the minimum required 52' x 100' size lot. The average lot sizes are 5,000 square feet. The single family units will have variable front yard setbacks ranging from 21 feet to 25 feet and rear yard setbacks ranging from 15 feet to 17 feet. The plan indicates standard 5 foot side yard building setbacks. The proposed setbacks are compatible with the surrounding single family development in the area and will provide adequate setback relief.

The applicant is proposing two different house plans to be constructed on the single family lots. Unit sizes will consist of 1,331 square feet and 1,260 square feet with two car garages. The exterior building materials are wood siding, stucco and brick trim with wood shake shingle roofs. All of the units will be two story. Staff reviewed the proposed exterior elevations and finds the over design to be acceptable and an architectural enhancement to the neighborhood. It is recommended that the proposed dwelling to be located on lot 5 be submitted to staff for review and approval prior to issuance of building permits. As a mitigation measure a masonry wall ranging in height from eight to ten feet is required to be constructed along the east property line that borders 65th Expressway (see Exhibit B). The submitted site plan does not depict any fences to be located between the individual lots. A Planning Director's Variance shall be obtained to construct the required masonry wall prior to final map recordation. It is also recommended that the wall's design be reviewed and approved by staff prior to final map recordation. Staff recommends that wood fencing be located between each lot and that a fencing plan be submitted to staff prior to issuance of building permits. Staff has no objections to the proposed unit design, lot sizes or site layout of the project and, therefore, recommends approval of the special permit.

E. Rezone

The current R-1 zoning on the subject site allows for a low density development (7 units per acre) with single family individually owned detached residences. The proposed rezone from R-1 to R-1A will not be an increase in density and will be consistent with the General Plan land use designation (Low Density Residential 4-15 du/na). The applicant is requesting a rezone of the subject site to allow smaller size lots for detached individually owned single family dwellings and to allow an alternative vehicle access arrangement to standard public streets until surrounding vacant land is developed. The proposed lot sizes (average 5,000 sq.ft.) will be not significantly impact the single family neighborhood. Allowing an R-1A zoning on the subject site will provide flexible setbacks and lot sizes and will encourage development on a designated infill lot. Staff, therefore, is not opposed to the proposed rezone.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant impact on the environment; therefore a Negative Declaration has been prepared. Mandatory mitigation measures shall be incorporated into the project to reduce potential environmental impacts to below a level of significance. The mandatory mitigation measures are listed below.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the Rezone of 0.97± vacant acres from Standard Single Family (R-1) to Single Family Alternative (R-1A) zone and forward to City Council.
- C. Recommend approval of the Tentative Map subject to conditions which follow and forward to City Council.
- D. Approve the Special Permit to develop 6 single family homes on 6 lots and temporary guest parking on the remaining lot in the R-1A zone subject to conditions and based on findings of fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements on Willis Way with a driveway at the access and P.U.E. pursuant to Section 40.811 of the City Code; Provide a driveway on 64th Street at the access and P.U.E.;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;

3. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
4. Meet all County Sanitation District requirements;
5. Soils testing by a registered engineer for street design will be required;
6. Provide a turn-around on Willis Way for solid waste removal trucks to the satisfaction of the Traffic Engineer and the solid waste supervisor;
7. Show reciprocal access easements on final map;
8. Show reciprocal ingress, egress and parking easements on final map;
9. Dedicate and construct Willis Way to a City standard 44 feet right-of-way street;
10. Provide City standard driveway section on 64th Street and on Willis Way;
11. A sewer and drainage study shall be prepared. Utilities on Willis Way shall be designed for the interim P.U.E. in the driveway as well as the ultimate Willis Way extension;
12. A 22 foot wide P.U.E. shall be provided for utilities serving lots four through seven;
13. A Homeowner's Association shall be formed and incorporated and C.C & R's shall be approved by the City assuring maintenance of a private driveway connecting 64th Street with Willis Way. Lot 5 and the landscaping feature shall be owned and maintained by the Homeowner's Association until such time Willis Way is connected to a public street which will provide access to lots four through seven and a single family residence is constructed on the lot. Record C.C. & R's';
14. No access will be allowed to lots six and seven off of 65th Street Expressway;
15. City shall maintain sewer, water, and drainage within P.U.E. until they are relocated in Willis Way extension to the satisfaction of the Public Works Department;
18. Provide 12.5 foot standard public utility easements along all public streets;
19. Provide a 22 foot wide paved driveway on the access and P.U.E.;

20. The applicant shall obtain a Planning Director's Variance to construct a solid masonry wall ranging in heights of 8 feet to 10 feet per Mitigation Measure # 3 listed below. (Amended by staff)
21. The masonry wall's design and materials shall be reviewed and approved by staff prior to final map recordation. (Amended by staff)

Conditions - Special Permit

1. Site plan, floor plans and elevations are approved as submitted. The project shall be constructed per the submitted plans including the variable setbacks.
2. The exterior building materials shall conform to the submitted elevations which consist of wood siding, stucco and brick trim.
3. The proposed dwelling to be located on lot 5 shall be submitted to staff for review and approval prior to issuance of building permits.
4. The applicant shall obtain a Planning Director's Variance to construct a solid masonry wall ranging in heights of 8 feet to 10 feet per Mitigation Measure # 3 listed below.
7. Parking stalls on lot 5 shall conform to City standards and provide a minimum of 26 feet clearance for maneuvering.
8. A landscape and irrigation plan for the landscape feature on lot 5 shall be submitted to staff for review and approval prior to issuance of building permits.
9. The masonry wall's design and materials shall be reviewed and approved by staff prior to final map recordation.
10. Wood fencing shall be located between each lot and a fencing plan shall be submitted to staff prior to issuance of building permits.

Mandatory Mitigation Measures

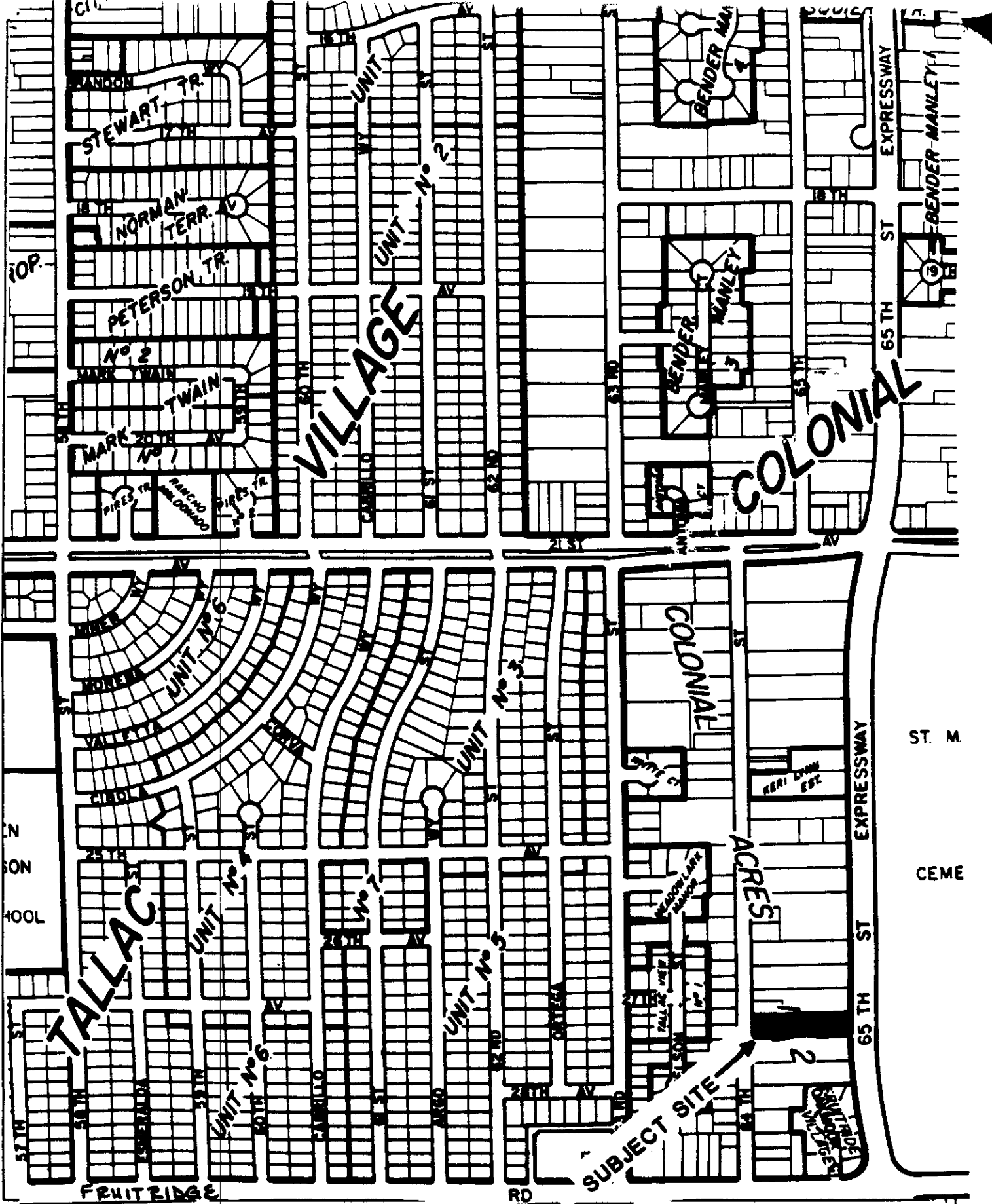
1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 (suspended particulate matter - pollutant) levels in the vicinity of construction zones. Elements of this program should include the following:
 - a) Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50%.
 - b) Cover stockpiles of sand, soil, and similar materials with a tarp.

- c) Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
 - d) Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
 - e) Increase the frequency of city street cleaning along streets in the vicinity of construction site.
 - f) Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. If the 16 inch sycamore is to be removed, it must be replaced with a 24 inch box tree to be planted on the site.
 3. The project sponsor will construct a 10 foot high masonry wall along the east property line that borders the 65th Street Expressway, the sponsor will extend the 10 foot high masonry wall along the north and south property lines for 10 feet on each side. The masonry wall will be continued at a reduced height of 8 feet to the end of the interior living area of the proposed residential units on lots 6 and 7. The barrier constructed must have a minimum surface weight of 3.75 to 4 lbs/square foot, and no gaps permitted along the barrier or at the bottom of the wall.
 4. All joints in exterior walls shall be grouted or caulked airtight.
 5. Window and through the wall, ventilation or air conditioning units shall not be permitted.
 6. All penetration of exterior walls shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, nonhardening caulk or mastic.
 7. Windows facing the noise source (only lots 6 and 7) must have a minimum STC rating of 29 or better. Windows facing the noise source (lots 6,7) should compromise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin.ft. when tested with a 25 mile an hour wind per ASTM standards.
 8. Sliding glass doors must carry an STC rating of 30 or better (only lots 6 and 7). They should be double glazed and they must meet or exceed the window air infiltration rating given above.
 9. Exterior entrance doors should have a minimum STC rating of

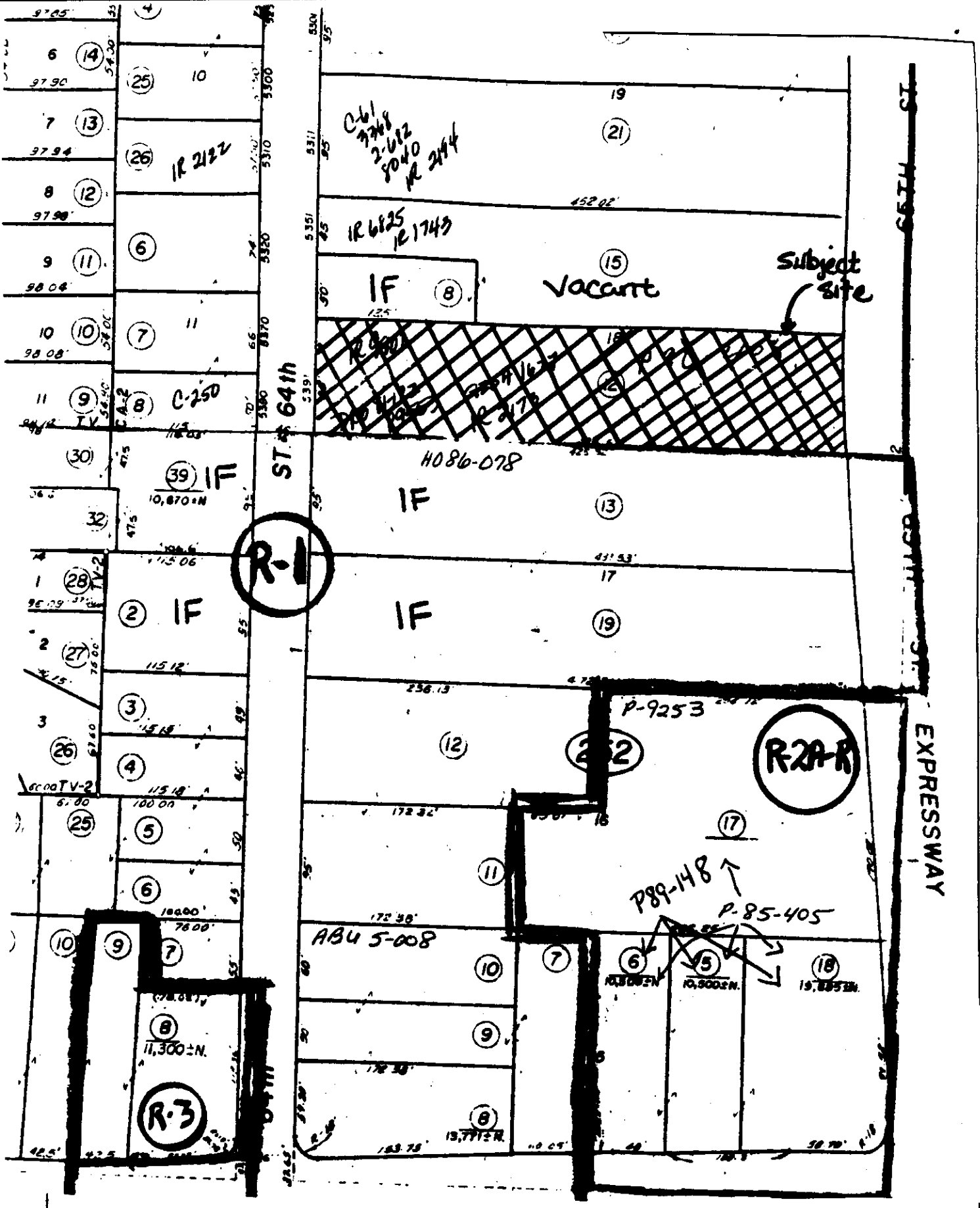
30. They must include complete door seals.
10. Standard street lighting will be installed which must meet City standards and not generate light or glare within the subdivision or onto surrounding property.

Findings of Fact - Special Permit

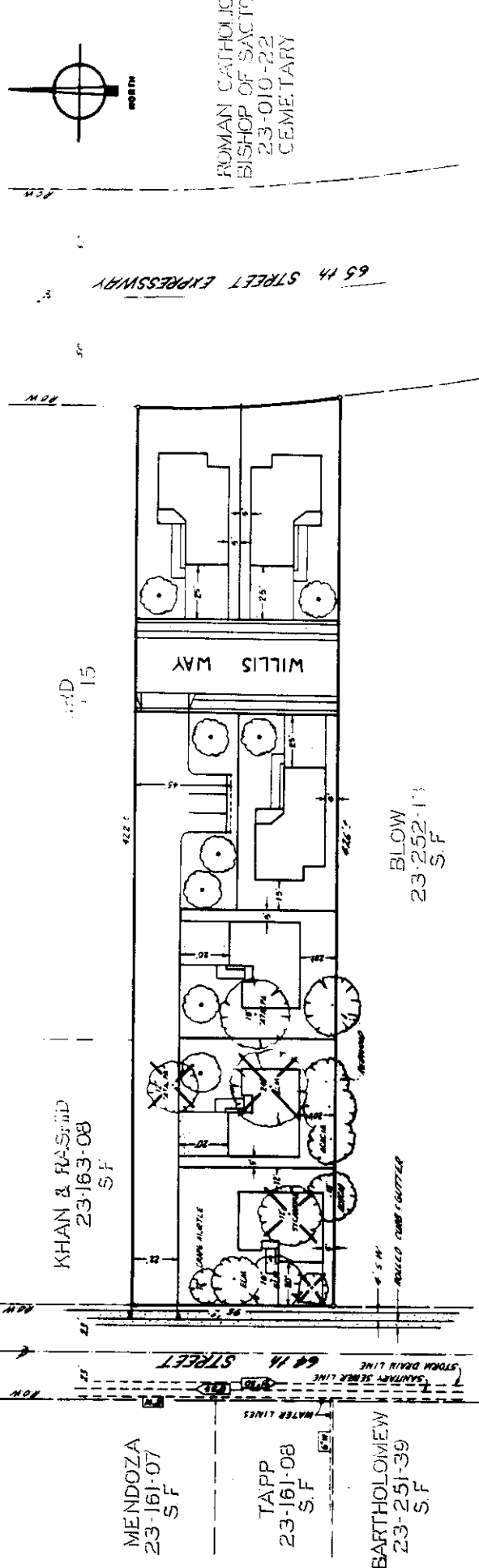
1. The special permit, as conditioned, is based upon sound principles of land use in that the proposed density is compatible with the existing and proposed residential development.
2. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that:
 - a. the project provides two building elevations;
 - b. the lot sizes will allow for adequate setbacks and usable yard area; and
 - c. the lot layout will not impact the surrounding single family lots and the building design will be an architectural enhancement in the area.
3. The project is compatible with the policies in the General Plan in that single family development is encouraged on designated infill lots and the proposed density is consistent with the General Plan designation which designates the site for Low Density Residential (4-15 du/na).



VICINITY MAP



LAND USE & ZONING MAP



ELEVATION NOTE
 EMPIRE SITE 15.47 APPROX
 ELEV. 32 (USGS DATUM)

AND 15

BLOW
 23-252-11
 S.F.

MENDOZA
 23-161-07
 S.F.

TAPP
 23-161-08
 S.F.

BARTHOLOMEW
 23-251-39
 S.F.



OWNER: PATRICK E. WILLIS & CO.
 P. O. BOX 1144
 SACRAMENTO, CA 95806
 (916) 391-3115

ENGINEER: ALLIED-LANGDON ENGINEERING
 P. O. BOX 2077
 CITRUS HEIGHTS, CA 95611
 (916) 949-7331

APN: 23-163-12

GROSS AREA: 40,280 SQ. FT.

EXIST. ZONING: R-1

PROP. ZONING: R-1-A

EXISTING USE: VACANT

PROPOSED USE: CONDOS - 6 SINGLE FAMILY

WATER: CITY OF SACRAMENTO

SEWER: CITY OF SACRAMENTO

FIRE DIST.: CITY OF SACRAMENTO

PARK DIST.: CITY OF SACRAMENTO

SCHOOL DIST.: SACRAMENTO CITY UNIFIED

DEVELOPEMENT PLAN

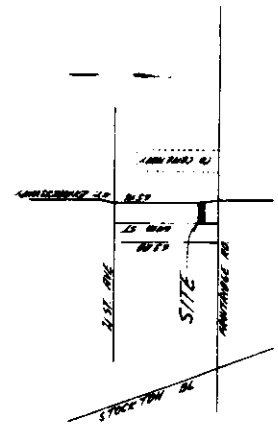
"FRUITRIDGE ESTATE"

A PORTION OF THE S 1/2 OF LOT 18, "COLONIAL ACRES
 NO. 2", 15 84 12, CITY OF SACRAMENTO, CALIFORNIA
 AUGUST, 1989

SCALE 1" = 20'



ALLIED LANGDON ENGINEERING
 4071 ARROYO BLVD. SUITE 200, CITRUS HEIGHTS
 SACRAMENTO, CA 95610-1200



VICINITY MAP
 AS SHOWN

EXHIBIT 3

MODEL 1260

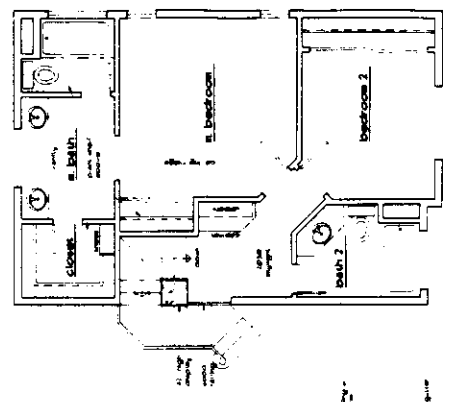
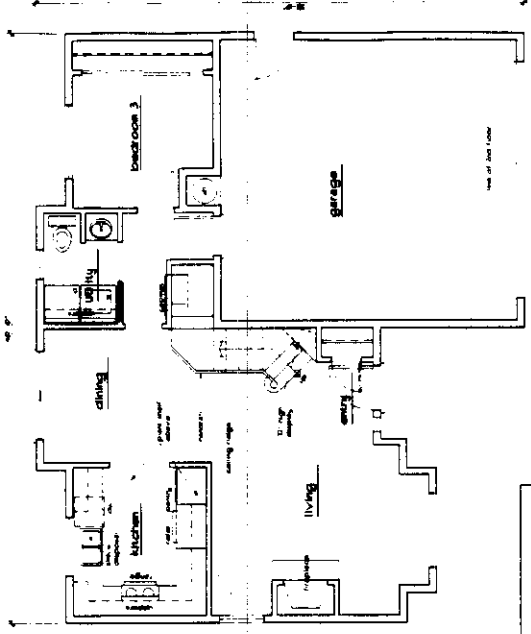
Sacramento, CA 95812

EUGENE A. HAYES
REGISTERED ARCHITECT
1200 J STREET, SUITE 100
SACRAMENTO, CALIFORNIA 95811
916-483-4285

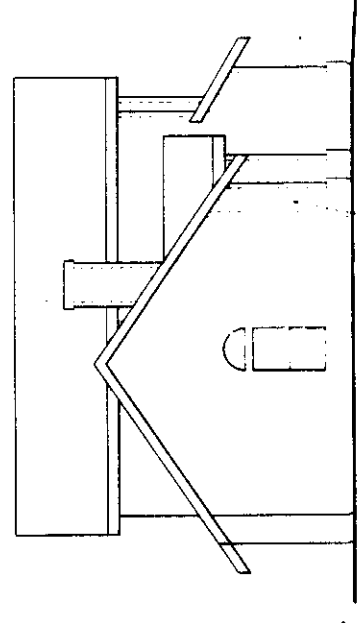
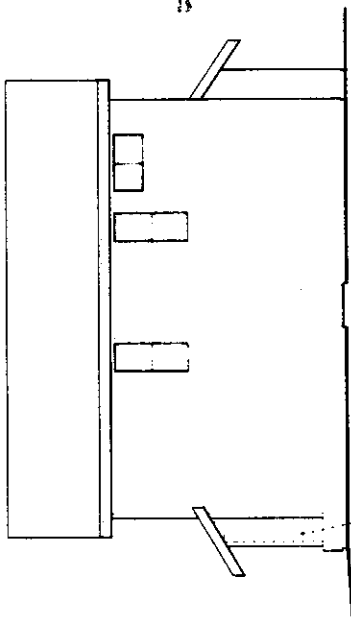
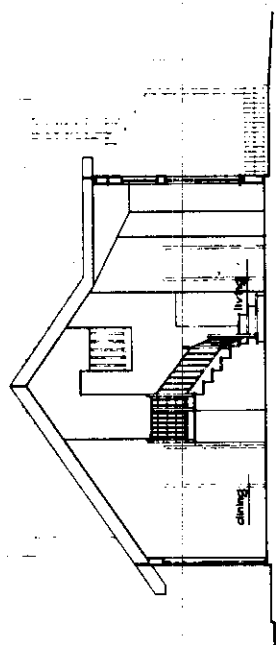
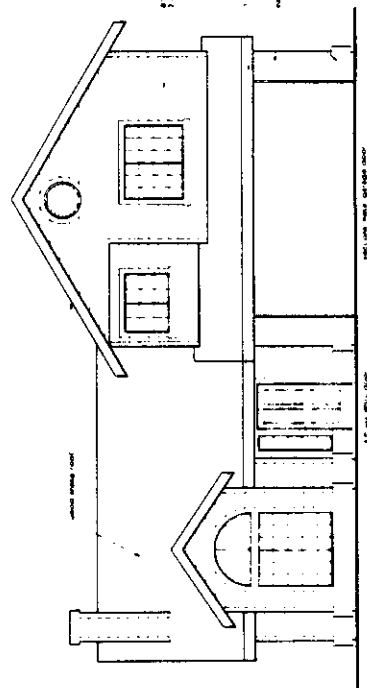
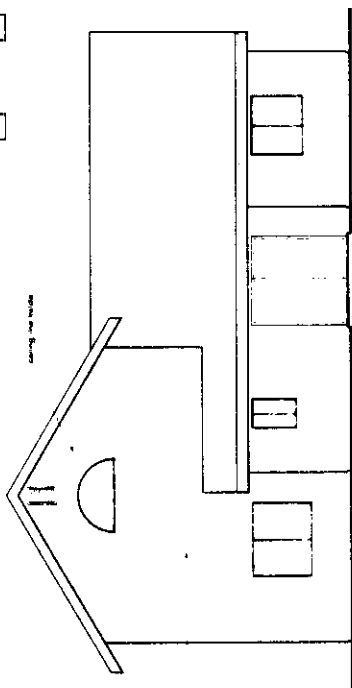
Patrick K. Willis and Company Inc.
P.O. Box 1144
Sacramento, CA 95812

FRUITRIDGE ESTATE

DATE	
BY	
REVISIONS	
NO.	
DATE	
DESCRIPTION	



first floor	705#
second floor	555#
total	1260#
garage	45#



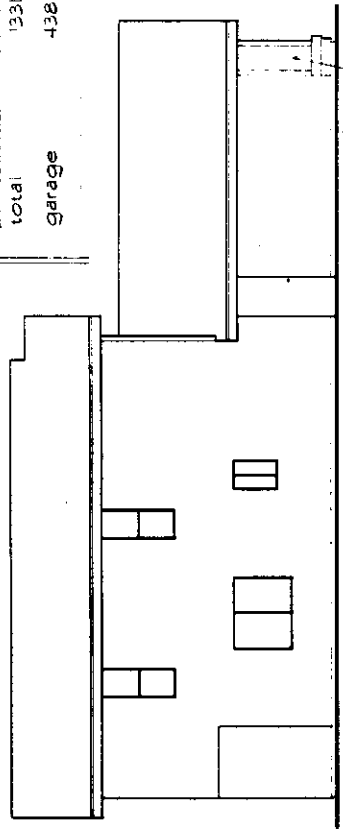
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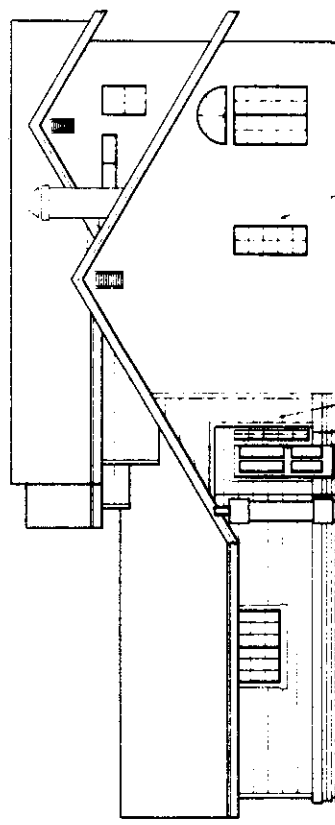
Item 17

floor plan data

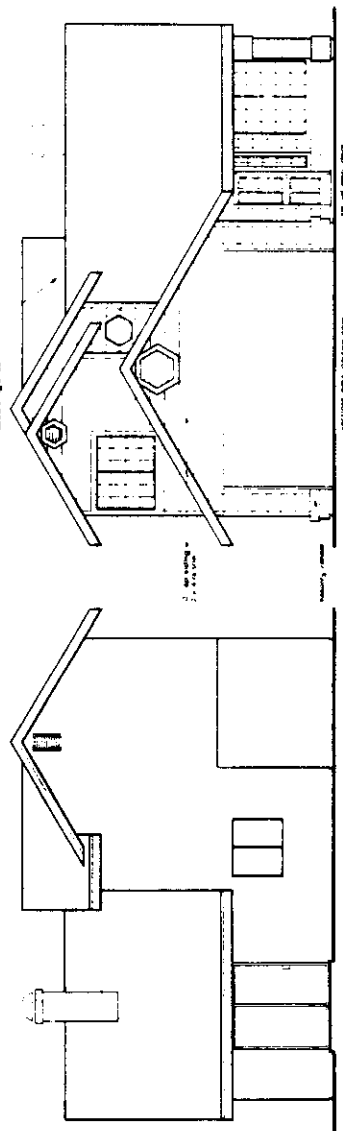
first floor	866*
second floor	465*
total	1331*
garage	438*



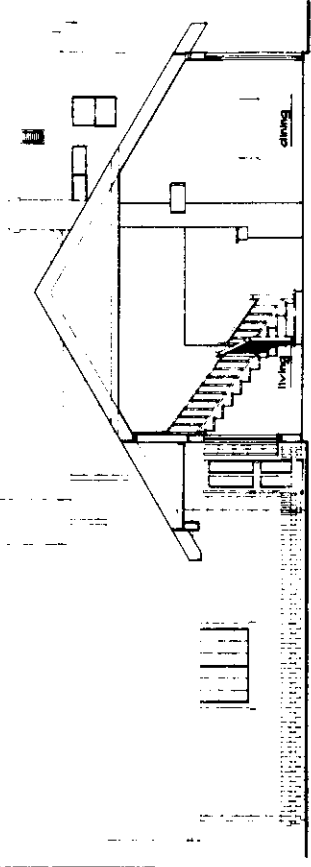
left side elevation



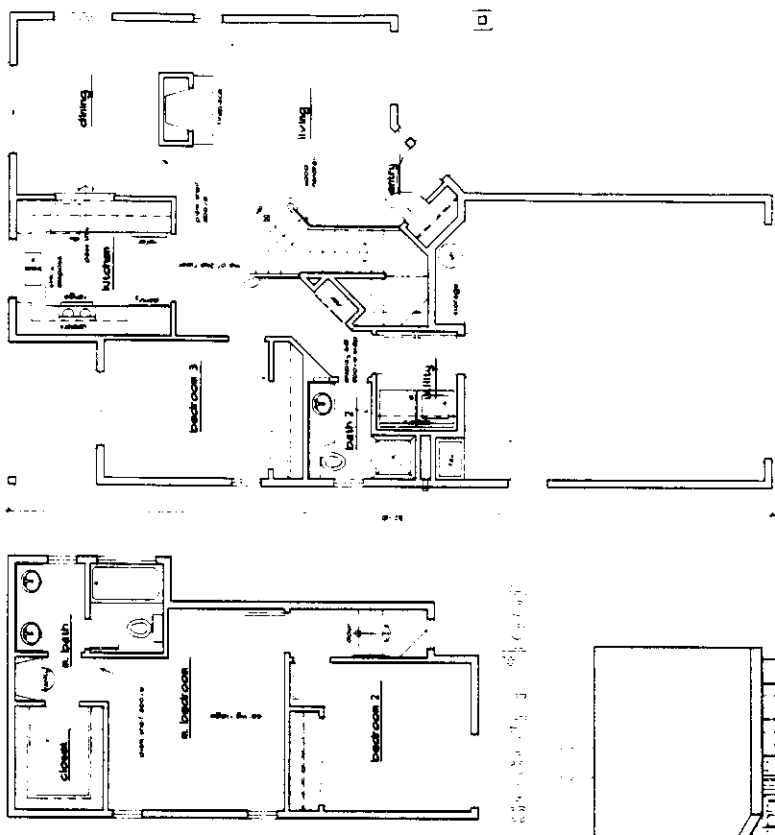
right side elevation



rear elevation



front elevation



FRUITRIDGE ESTATE
MODEL 1331
 Patrick K. Willie and Company Inc.
 P.O. Box 1144
 Sacramento, CA 95812

D L 1911K3

DATE	NO.	BY	REV.

EUGENE A. HAYES
 ARCHITECT
 910 4th Street
 Sacramento, CA 95812
 916-443-4222

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- A. Ratify the Negative Declaration;
- B. Recommend approval of the Rezone of 0.97± vacant acres from Standard Single Family (R-1) to Single Family Alternative (R-1A) zone and forward to City Council.
- C. Recommend approval of the Tentative Map subject to conditions which follow and forward to City Council.
- D. Approve the Special Permit to develop 6 single family homes on 6 lots and temporary guest parking on the remaining lot in the R-1A zone subject to conditions and based on findings of fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements on Willis Way with a driveway at the access and P.U.E. pursuant to Section 40.811 of the City Code; Provide a driveway on 64th Street at the access and P.U.E.;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;

3. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
4. Meet all County Sanitation District requirements;
5. Soils testing by a registered engineer for street design will be required;
6. Provide a turn-around on Willis Way for solid waste removal trucks to the satisfaction of the Traffic Engineer and the solid waste supervisor;
7. Show reciprocal access easements on final map;
8. Show reciprocal ingress, egress and parking easements on final map;
9. Dedicate and construct Willis Way to a City standard 44 feet right-of-way street;
10. Provide City standard driveway section on 64th Street and on Willis Way;
11. A sewer and drainage study shall be prepared. Utilities on Willis Way shall be designed for the interim P.U.E. in the driveway as well as the ultimate Willis Way extension;
12. A 22 foot wide P.U.E. shall be provided for utilities serving lots four through seven;
13. A Homeowner's Association shall be formed and incorporated and C.C & R's shall be approved by the City assuring maintenance of a private driveway connecting 64th Street with Willis Way. Lot 5 and the landscaping feature shall be owned and maintained by the Homeowner's Association until such time Willis Way is connected to a public street which will provide access to lots four through seven and a single family residence is constructed on the lot. Record C.C. & R's';
14. No access will be allowed to lots six and seven off of 65th Street Expressway;
15. City shall maintain sewer, water, and drainage within P.U.E. until they are relocated in Willis Way extension to the satisfaction of the Public Works Department;
18. Provide 12.5 foot standard public utility easements along all public streets;
19. Provide a 22 foot wide paved driveway on the access and P.U.E.;

Conditions - Special Permit

1. Site plan, floor plans and elevations are approved as submitted. The project shall be constructed per the submitted plans including the variable setbacks.
2. The exterior building materials shall conform to the submitted elevations which consist of wood siding, stucco and brick trim.
3. The proposed dwelling to be located on lot 5 shall be submitted to staff for review and approval prior to issuance of building permits.
4. The applicant shall obtain a Planning Director's Variance to construct a solid masonry wall ranging in heights of 8 feet to 10 feet per Mitigation Measure # 2 listed below.
7. Parking stalls on lot 5 shall conform to City standards and provide a minimum of 26 feet clearance for maneuvering.
8. A landscape and irrigation plan for the landscape feature on lot 5 shall be submitted to staff for review and approval prior to issuance of building permits.
9. The masonry wall's design and materials shall be reviewed and approved by staff prior to final map recordation.
10. Wood fencing shall be located between each lot and a fencing plan shall be submitted to staff prior to issuance of building permits.

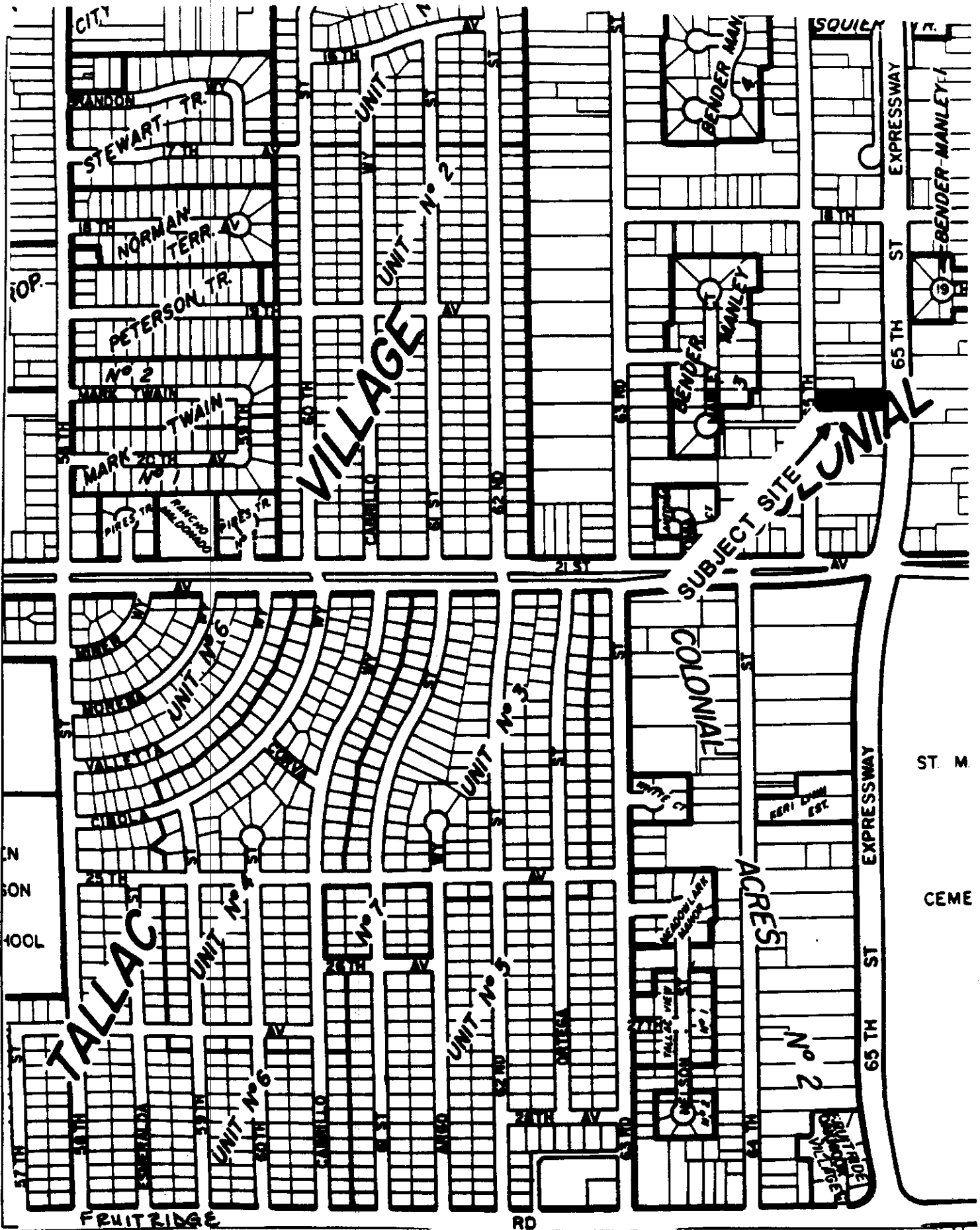
Mandatory Mitigation Measures

1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 (suspended particulate matter - pollutant) levels in the vicinity of construction zones. Elements of this program should include the following:
 - a) Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50%.
 - b) Cover stockpiles of sand, soil, and similar materials with a tarp.
 - c) Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
 - d) Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.

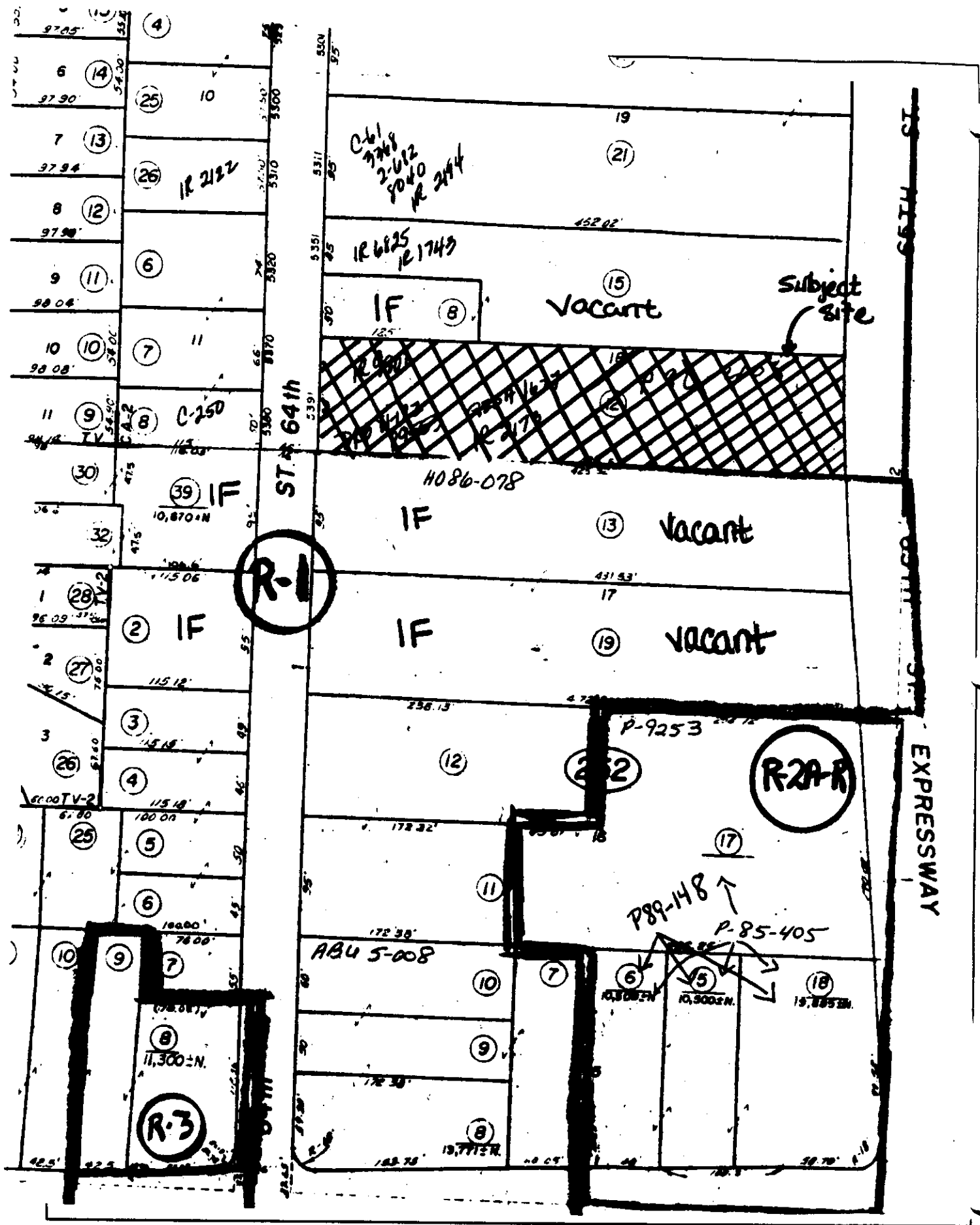
- e) Increase the frequency of city street cleaning along streets in the vicinity of construction site.
 - f) Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. If the 16 inch sycamore is to be removed, it must be replaced with a 24 inch box tree to be planted on the site.
 3. The project sponsor will construct a 10 foot high masonry wall along the east property line that borders the 65th Street Expressway, the sponsor will extend the 10 foot high masonry wall along the north and south property lines for 10 feet on each side. The masonry wall will be continued at a reduced height of 8 feet to the end of the interior living area of the proposed residential units on lots 5 and 6. The barrier constructed must have a minimum surface weight of 3.75 to 4 lbs/square foot, and no gaps permitted along the barrier or at the bottom of the wall.
 4. All joints in exterior walls shall be grouted or caulked airtight.
 5. Window and through the wall, ventilation or air conditioning units shall not be permitted.
 6. All penetration of exterior walls shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, nonhardening caulk or mastic.
 7. Windows facing the noise source (only lots 5 and 6) must have a minimum STC rating of 29 or better. Windows facing the noise source (lots 5,6) should compromise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin.ft. when tested with a 25 mile an hour wind per ASTM standards.
 8. Sliding glass doors must carry an STC rating of 30 or better (only lots 5 and 6). They should be double glazed and they must meet or exceed the window air infiltration rating given above.
 9. Exterior entrance doors should have a minimum STC rating of 30. They must include complete door seals.
 10. Standard street lighting will be installed which must meet City standards and not generate light or glare within the subdivision or onto surrounding property.

Findings of Fact - Special Permit

1. The special permit, as conditioned, is based upon sound principles of land use in that the proposed density is compatible with the existing and proposed residential development.
2. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that:
 - a. the project provides two building elevations;
 - b. the lot sizes will allow for adequate setbacks and usable yard area; and
 - c. the lot layout will not impact the surrounding single family lots and the building design will be an architectural enhancement in the area.
3. The project is compatible with the policies in the General Plan in that single family development is encouraged on designated infill lots and the proposed density is consistent with the General Plan designation which designates the site for Low Density Residential (4-15 du/na).

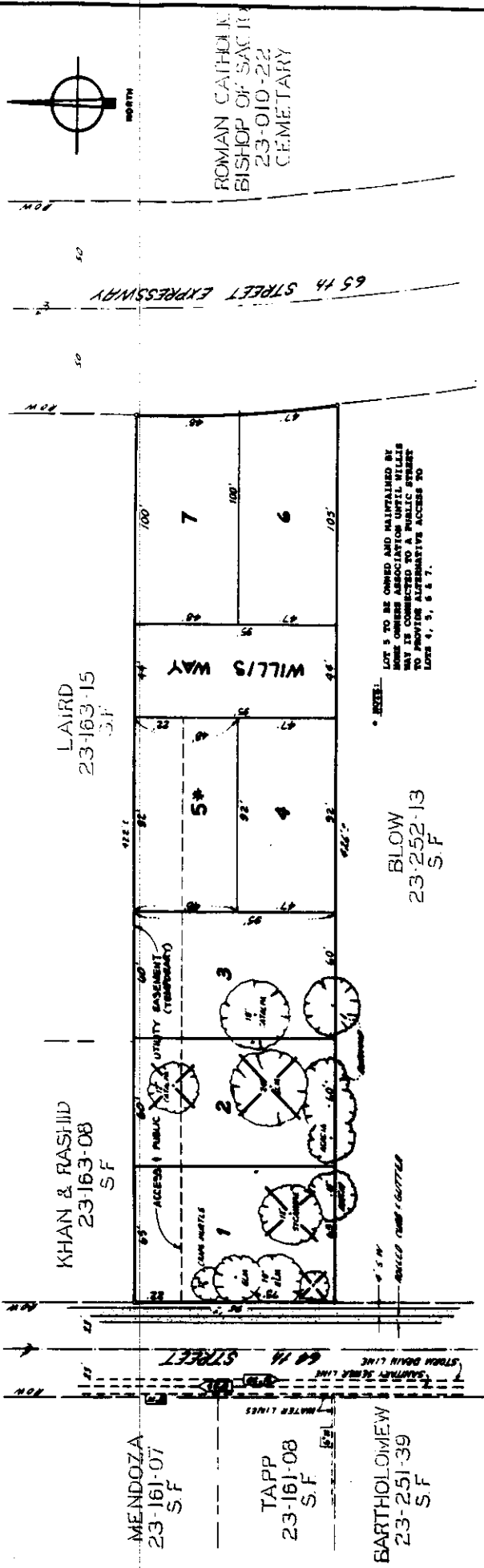


VICINITY MAP



LAND USE & ZONING MAP

ELEVATION NOTE
ENTIRE SITE IS AT APPROX
ELEV 32 (USGS DATUM)



NOTES:
LOT 5 TO BE OWNED AND MAINTAINED BY
HOME OWNERS ASSOCIATION UNTIL WILLIS
IS CONVEYED TO A PUBLIC STREET
TO PROVIDE ALTERNATE ACCESS TO
LOTS 4, 5, 6 & 7.



TENTATIVE SUBDIVISION MAP
"FRUITRIDGE ESTATE"

A PORTION OF THE S 1/2 OF LOT 18, COLONIAL ACRES
NO. 2, 15 8M 22, CITY OF SACRAMENTO, CALIFORNIA
AUGUST, 1989



OWNER: PATRICK K. WILLIS & CO.
P. O. BOX 1144
SACRAMENTO, CA 95806
(916) 391-5115

ENGINEER: ALLIED-LANGDON ENGINEERING
P.O. BOX 2077
CITRUS HEIGHTS, CA 95611
(916) 948-7533

APN: 23-163-11

GROSS AREA: 40,280 SQ. FT.

ZONING: R-1

PROP. ZONING: R-1-A

EXISTING USE: VACANT

PROPOSED USE: CONDOS - 6 SINGLE FAMILY

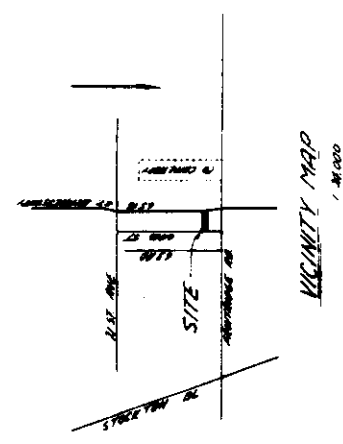
WATER: CITY OF SACRAMENTO

SEWER: CITY OF SACRAMENTO

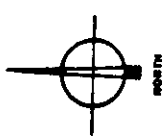
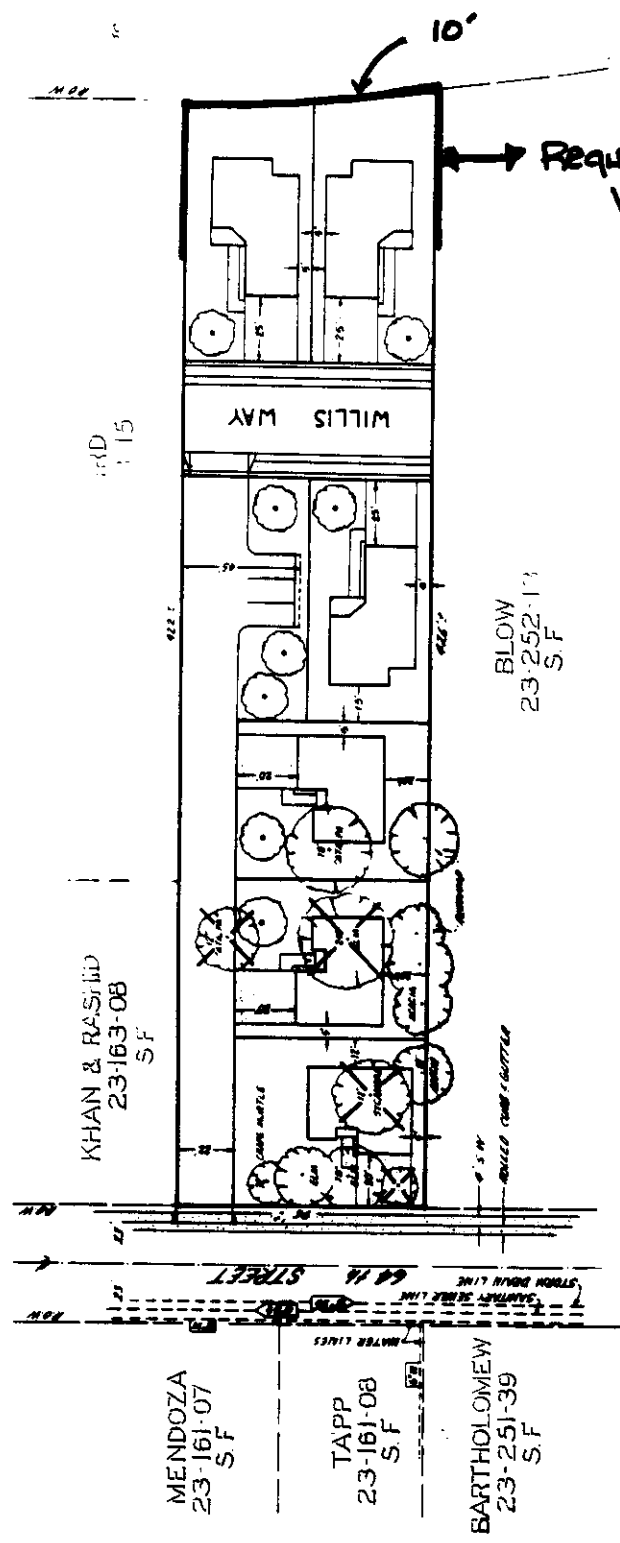
FIRE DIST.: CITY OF SACRAMENTO

PARK DIST.: CITY OF SACRAMENTO

SCHOOL DIST.: SACRAMENTO CITY UNIFIED



ELEVATION, NOIZ
ENTIRE SITE IS AT APPROX
ELEV 32 (USGS DATUM)



DEVELOPEMENT PLAN

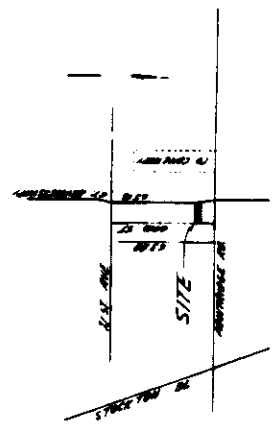
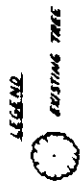
"FRUITRIDGE ESTATE"

A PORTION OF THE S 1/4 OF LOT 18, COLONIAL ACRES
NO 2, 15 8M 22, CITY OF SACRAMENTO, CALIFORNIA
AUGUST, 1989

SCALE 1" = 20'

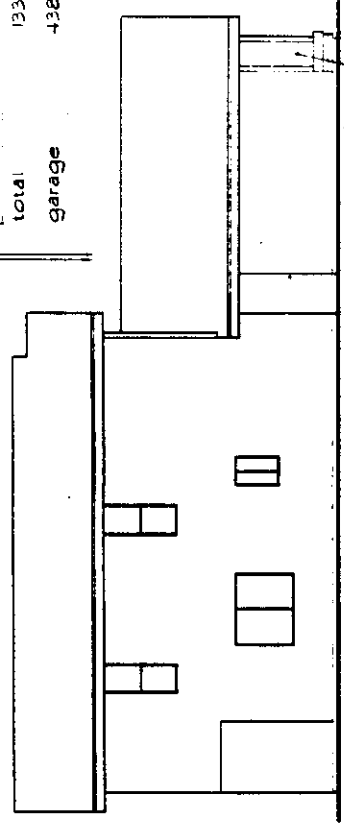
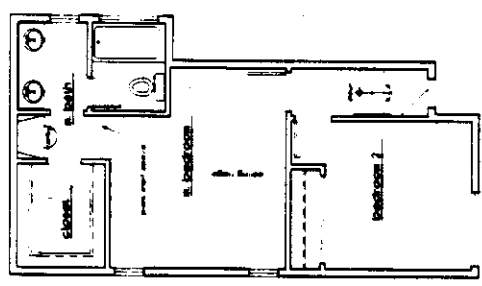
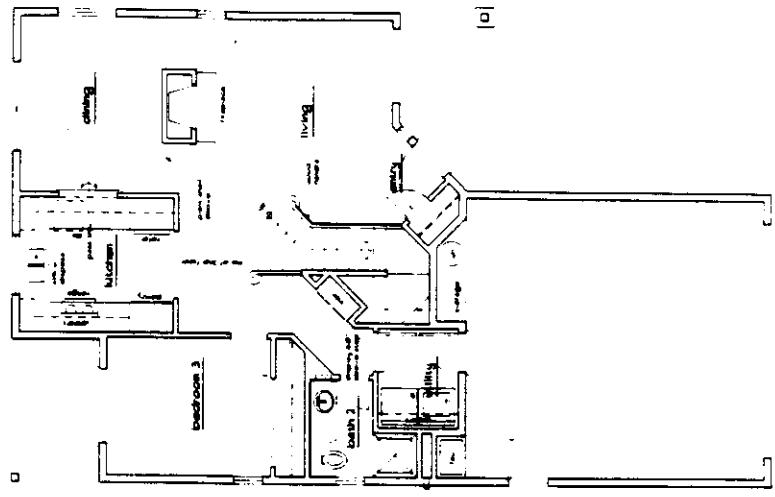
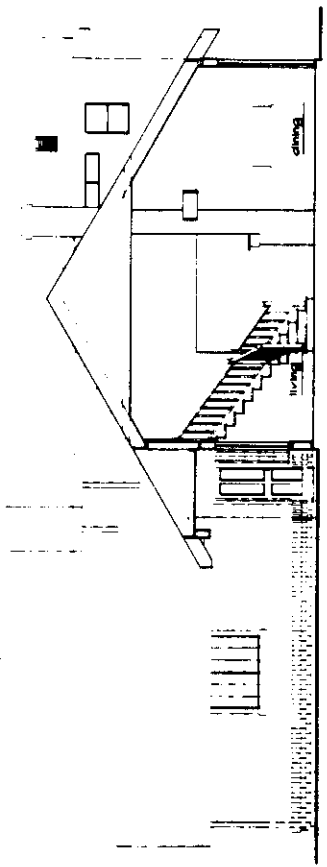


- OWNER: PATRICK K. WILLIS & CO.
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SACRAMENTO, CA 95804
(916) 391-5115
- ENGINEER: ALLIED-LANDON ENGINEERING
P. O. BOX 2077
CITRUS HEIGHTS, CA 95611
(916) 969-7933
- ADMT: 23-163-12
- GROSS AREA: 40,280 SQ. FT.
- BLEST. ZONING: B-1
- PROP. ZONING: B-1-A
- EXISTING USE: VACANT
- PROPOSED USE: COMBOS - 6 SINGLE FAMILY
- WATER: CITY OF SACRAMENTO
- SEWER: CITY OF SACRAMENTO
- FIRE DIST.: CITY OF SACRAMENTO
- PARK DIST.: CITY OF SACRAMENTO
- SCHOOL DIST.: SACRAMENTO CITY UNIFIED

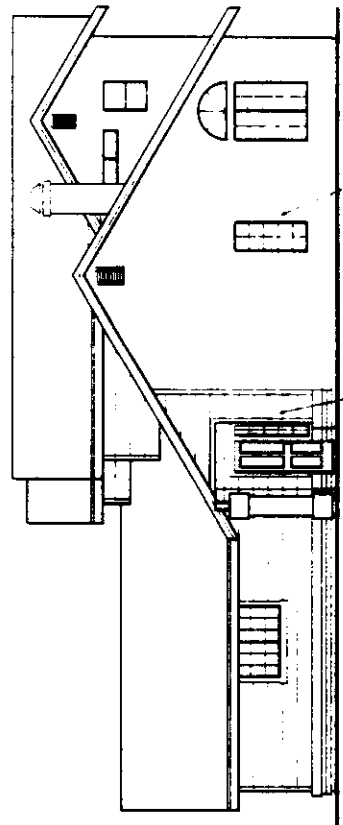


floor plan data

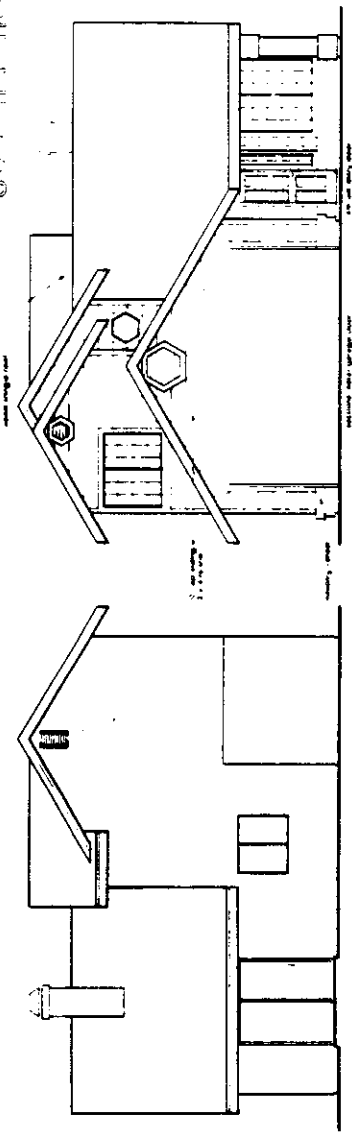
first floor	866*
second floor	465*
total	1331*
garage	438*



left side elevation



right side elevation



rear elevation