

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Thursday, January 10, 2002, the Zoning Administrator approved with conditions a special permit major modification to rebuild and expand the second residential unit on a deep lot for the project known as Z01-182. Findings of Fact and conditions of approval for the project are listed on pages 3-6.

**Project Information**

Request: **Zoning Administrator Special Permit Major Modification** to replace an existing deep lot residential unit with a new and larger 1,280 square foot residence on 0.25± partially developed acres in the Standard Single Family (R-1) zone.

Location: 5710 19th Ave (D5, Area 3)

Assessor's Parcel Number: 021-0213-029

Applicant: Lionel Mertens  
73rd Street  
Sacramento, CA 95820

Property Owner: Robert Garcia  
4540 55<sup>th</sup> Street  
Sacramento, CA 95820

Project Planner: Sandra Yope

General Plan Designation: Low Density Residential (4-15 du/na)  
Existing Land Use of Site: Two Single Family Residences  
Existing Zoning of Site: Standard Single Family (R-1)

Surrounding Land Use and Zoning:	Setbacks	Required	Existing	Proposed
North: R-1; Residential	Front:	25'	55'	35'
South: R-1; Residential	Side(E.):	5'	5'	5'
East: R-1; Residential	Side(W.):	5'	5'	5'
West: R-1; Residential	Rear:	15'	18.5'	18.5'

Property Dimensions: 50 feet x 221 feet  
Property Area: 0.25± acres  
Square Footage of Buildings: Existing Front Unit- 600 square feet  
Existing Back Unit- 1,280 square feet

	Proposed Expanded Front Unit-	1,056 square feet
	Storage Shed-	200 square feet
	Total-	3,136 square feet
Height of Building:	Existing/Proposed First House-	One Story, 25 feet
	Existing Second House-	One Story
Exterior Building Materials:	Proposed Remodeled Unit- Horizontal Lap Siding; Stucco	
Roof Materials:	Proposed Unit Composition Shingles	
Topography:	Flat	
Street Improvements:	Existing	
Utilities:	Existing	

Project Plans: See Exhibits A-E

Previous Files: None

Background Information: The project has an existing unit in the front that is now stripped down to the frame and in a state of extreme disrepair. There is also a unit at the rear of the lot. The two units were constructed prior to the requirement for a Special Permit for Deep Lot Development. Therefore, the units have a deemed Special Permit. The applicant is requesting to remove the front unit and rebuild a larger unit. Although the application initially came in as a minor modification to a "deemed" special permit, the size of the expansion was greater than 10 percent of the total structures on the parcel. Therefore a major modification to a deemed special permit was required.

Additional Information: The applicant is requesting to rebuild a previous 600 square foot residential unit and expand the structure to 1,056 square feet. The house will be on a raised foundation. The applicant also proposes to create a ten foot by twenty foot parking pad behind the proposed house. The proposed unit will have three bedrooms, two bathrooms, a kitchen, dining room, and a living room. The structure is approximately 35 feet from the front property line. The existing driveway to both units is in a partial state of disrepair and is only nine feet wide.

The project was noticed and staff received no calls.

Agency Comments The proposed project has been reviewed by the Departments of Utilities, Public Works and Fire as well as Design Review and the Building Division. The comments received pertaining to the project have been included as conditions.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Sections 15302}.


#### Conditions of Approval

1. The applicant shall obtain all necessary building permits to construct the new unit and obtain a demolition permit for the existing front unit.
2. The applicant shall install addresses on both units that are visible from the street. The addresses shall be internally illuminated or placed below the porch light.

3. The applicant shall make the following changes for the proposed deep lot development and submit the revised plans to Planning for review and approval prior to submission for building permits:
  - a. the driveway shall be paved from the street to the rear unit and expanded to ten feet wide;
  - b. the windows shall be vinyl or wood and single hung (larger windows may be required to meet building code egress requirements, but the required type remains the same);
  - c. the area in front of the front unit shall be landscaped to include sod, trees, shrubs and an automatic sprinkler system;
  - d. there shall be no roof mounted mechanical equipment;
  - e. the roof on the proposed unit shall be 25 year laminated dimensional composition shingles at a minimum (wood shake would be preferable, but not required);
  - f. the exterior of the front unit shall have a minimum of six inch horizontal lap wood siding on the front (north) and side (west) elevations and either siding or stucco on the remaining two sides;
  - g. the front porch railing shall have detail as shown in Staff Exhibit F and a decorative newel post at the end of each stair railing;
  - h. there shall be a change of materials across the gable ends of the house such as fish scale siding or wood shake;
  - i. the windows on all sides shall be trimmed out with 1 inch by six inch wood trim and a window sill;
  - j. there shall be OG gutters and downspouts installed around the exterior of the house;
  - k. the proposed floor plans must match the exterior elevations.
4. The applicant shall repair or replace any existing deteriorated curb, gutter and sidewalk to City Standards to the satisfaction of the Department of Public Works.
5. The applicant shall contact Planning prior to Final Inspection to ensure all conditions are met.
6. Any other changes, additions, or modifications to the site or structures will require Planning review and approval.
7. The applicant shall consult with Preservation staff to obtain approval of the demolition for the front unit.

Findings of Fact-Special Permit:

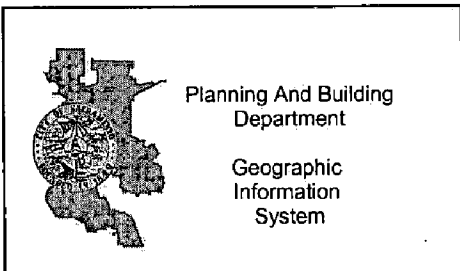
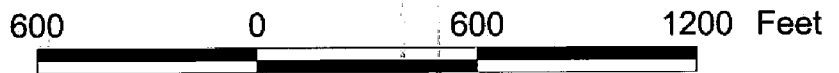
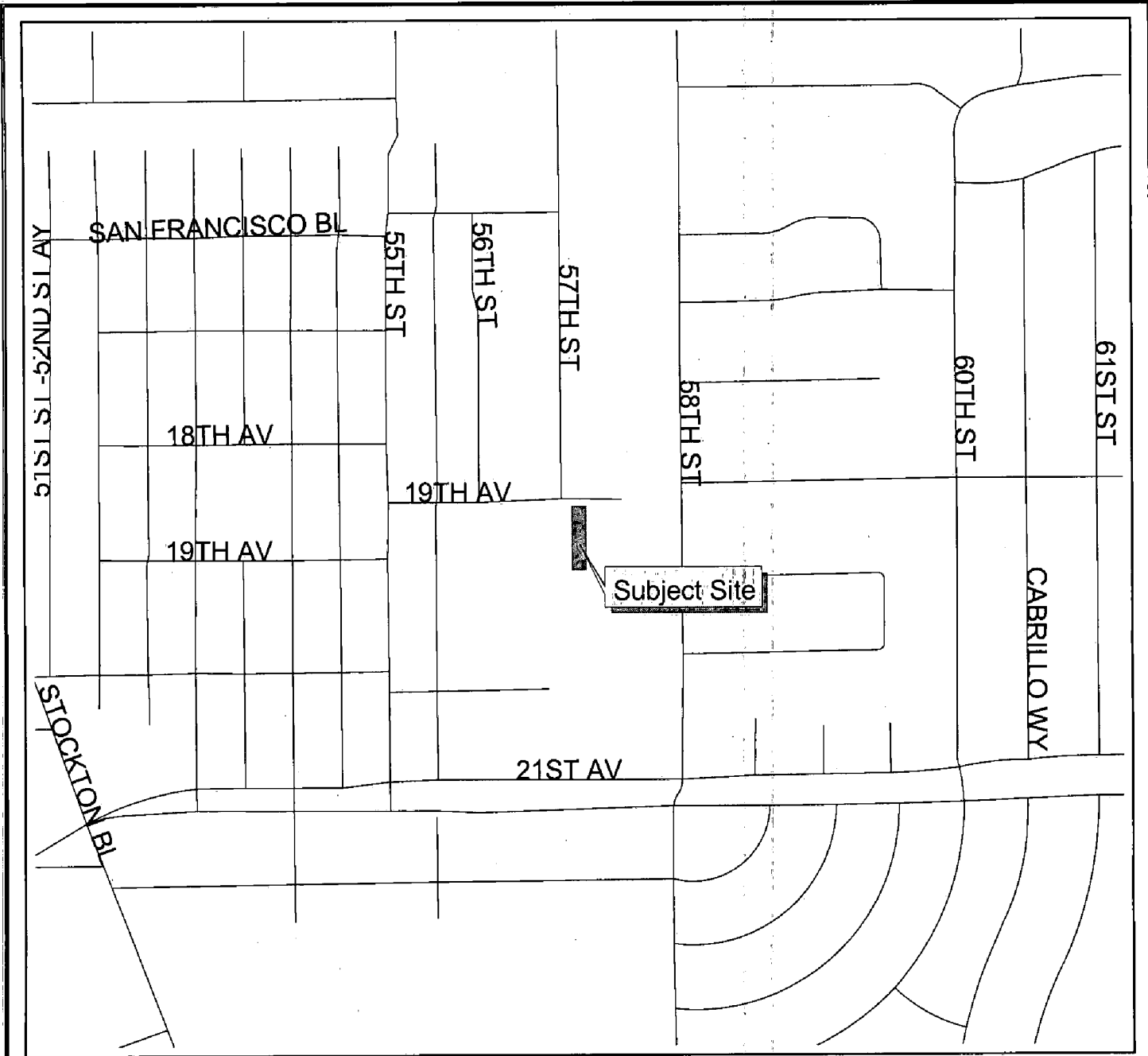
1. The proposed project, as conditioned, is based upon sound principles of land use in that:
  - a. the rebuilt residential unit will not substantially alter the characteristics of the surrounding neighborhood;
  - b. the rebuilt unit will replace the current unit that is stripped down to the frame; and
  - c. the proposed second dwelling unit meet the requirements of the Zoning Ordinance for deep lot development.
2. The project will not be detrimental to the public health, safety, or welfare nor result in a nuisance in that:
  - a. there will be adequate yard area;
  - b. there will be adequate setbacks, landscaping, and on-site parking for the second dwelling unit;
  - c. the existing front unit is only a framed structure in a state of disrepair and the proposed project will rebuild and enhance the existing unit; and
  - d. the additional residences will not substantially alter the characteristics of the surrounding neighborhood.
3. The project is consistent with the General Plan which designates the subject site as Low Density Residential (4-15 du/na).

  
Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

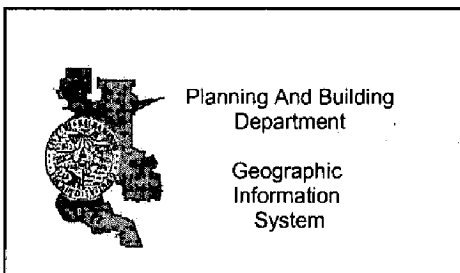
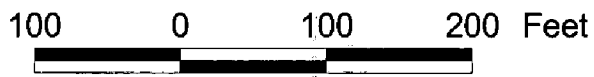
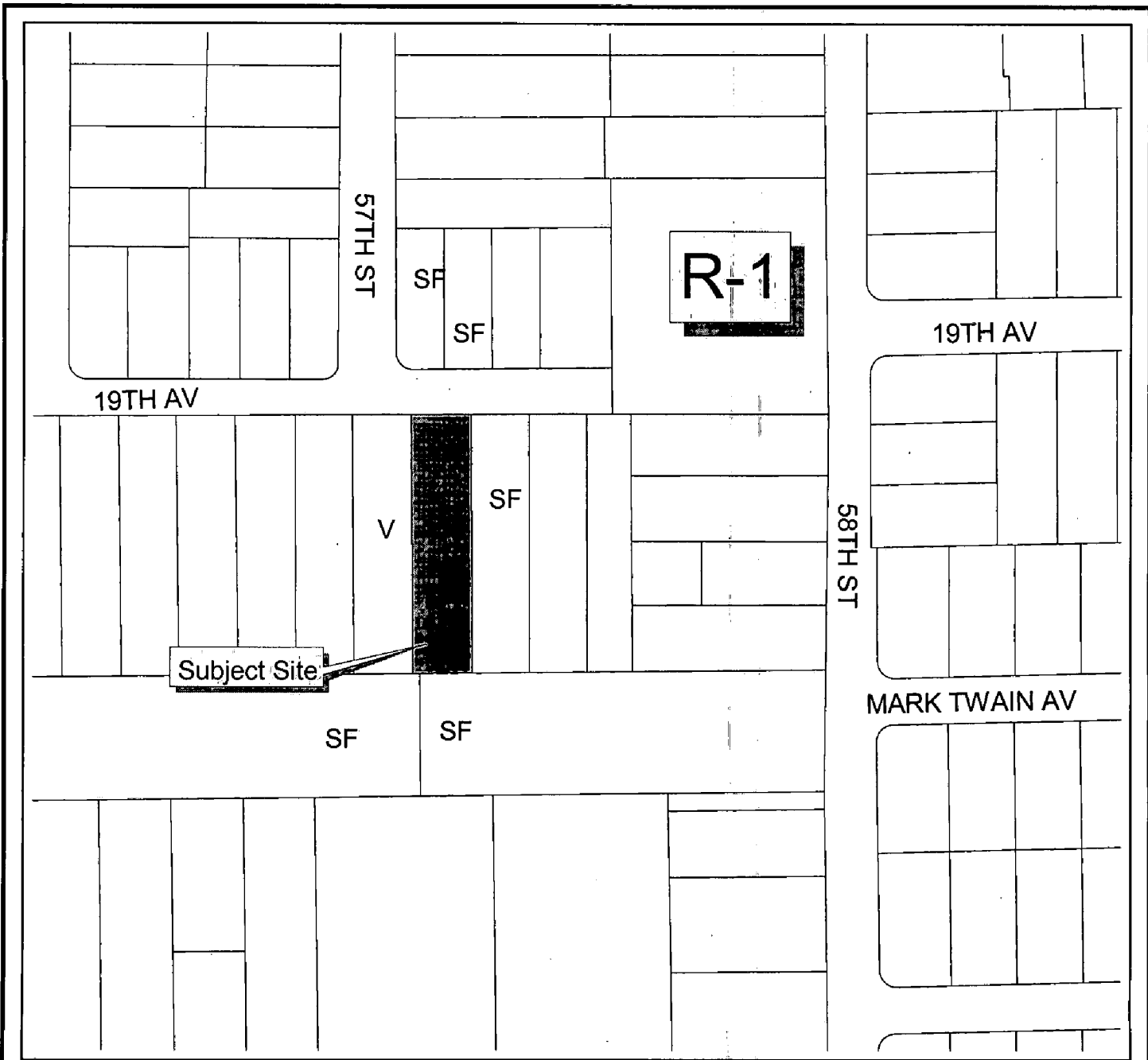
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File  
Applicant  
ZA Log Book



# VICINITY MAP

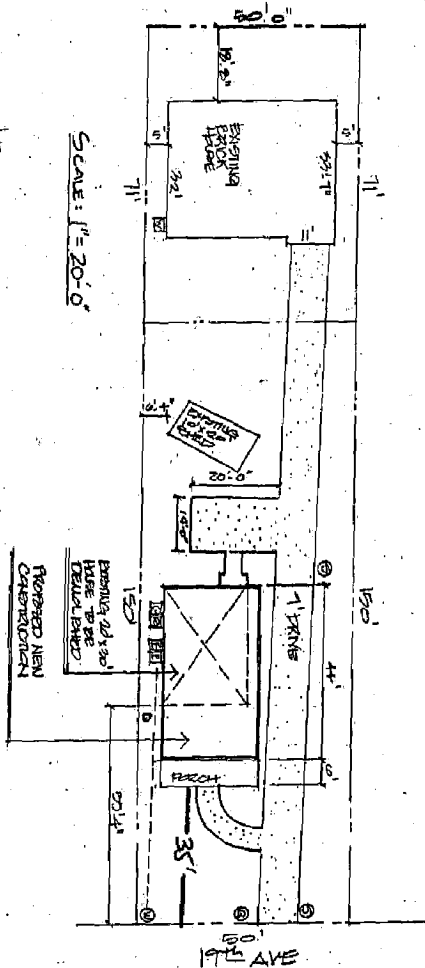




# LAND USE AND ZONING



**EXHIBIT B**



SCALE: 1" = 20'-0"

**LEGEND**

- ① GWO VALVE
- ② SEWER CLEANOUT
- ③ WATER VALVE
- ④ GAS METERS
- ⑤ ELECTRICAL BOX

OWNER: ROBERT M. GARCIA  
 4540 55TH ST.  
 SACRAMENTO, CA 95820  
 PARCEL # 021.0213-029.0000  
 LOT ADDRESS: 5710 17B AVE  
 SACRAMENTO, CA

7 01 18 2  
 REVISED  
 NOV 3

#2 southern yellow pine

floor joist	12' o.c.	16' o.c.	24' o.c.
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	14'-0" 16'-0"	12'-10" 16'-1"
50 psf live load 10 psf dead load (sleeping rooms & L/240)	2x8 2x10	15'-7" 14'-10"	14'-2" 14'-8"
ceiling joist			
20 psf live load 3 psf dead load (gypsum ceiling & L/240)	2x8 2x10	15'-8" 24'-0"	13'-0" 20'-4"
rafters			
20 psf live load 7 psf dead load	2x6 2x8	11'-0" 22'-8"	12'-5" 14'-8"
50 psf live load 7 psf dead load	2x8 2x8	14'-10" 14'-8"	10'-7" 13'-8"
40 psf live load 7 psf dead load (knee over & L/240 knee ceiling & L/180)	2x8 2x8	12'-4" 11'-8"	4'-5" 12'-2"

#2 S-P-F (spruce-pine-fir)

floor joist	12' o.c.	16' o.c.	24' o.c.
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	13'-6" 17'-8"	12'-8" 12'-1"
50 psf live load 10 psf dead load (sleeping rooms & L/240)	2x8 2x10	14'-11" 14'-0"	11'-6" 14'-1"
ceiling joist			
20 psf live load 5 psf dead load (gypsum ceiling & L/240)	2x6 2x10	14'-4" 22'-11"	12'-10" 14'-5"
rafters			
20 psf live load 7 psf dead load	2x6 2x8	16'-9" 21'-9"	11'-10" 15'-0"
50 psf live load 7 psf dead load	2x8 2x8	14'-5" 18'-2"	10'-11" 12'-10"
40 psf live load 7 psf dead load (knee over & L/240 knee ceiling & L/180)	2x8 2x8	12'-8" 16'-11"	4'-0" 11'-8"

abbreviations

- cj ceiling joist
- cg ceiling
- CMU concrete masonry unit
- CO cased opening
- conc. concrete
- CT ceramic tile
- dbl double
- dj double joist
- ew each way
- fj floor joist
- fg footing
- HVAC heating/ventilating/air conditioning
- jl joist
- lin. linet
- mech. mechanical
- ml .001 inch
- min. minimum
- N.T.S. not to scale
- oc on center
- pc pull cord
- pt. pressure treated
- psf pounds per square foot
- R/A return air
- reqd. required
- rein. reinforcing
- RM. room
- ro. rough opening
- sq. ft. square feet
- sy. southern yellow pine
- sh. shower
- T&G tongue and groove
- WH water heater
- WM welded wire mesh
- w. with
- yp yellow pine

Thank you for your purchase of these house plans. These were drawn to meet the conditions in Atlanta, GA at the time they were drawn. Code requirements, as well as specific Building Department regulations, vary from area to area. Therefore it is impossible to warrant compliance to your specific location. While this is rarely an issue, you should consult with your building official to determine the suitability of these plans for your specific site and application. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of your locale.

Structural Notes

These plans were drawn for a roof load of 20'psf live load and 7'psf dead load. The chart below can be used to adjust for different requirements. All accumulated loads transferred onto beams must be sized for local conditions. Most suppliers can do this free of charge. Contact your local lumber company or call Trus Joist MacMillan 1-800-628-3997.

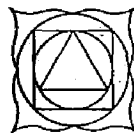
General Notes

- Square footages are for heated floor area. This does not include fireplace projection or vaulted space or narrow roof dormers. Stairs are counted on the main floor only.
- Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present.
- All footings shall be on firm undisturbed soil of no less than 2500 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions. Verify design with a local engineer.
- HVAC design to be engineered according to the local climate conditions including compass direction.

Energy Notes

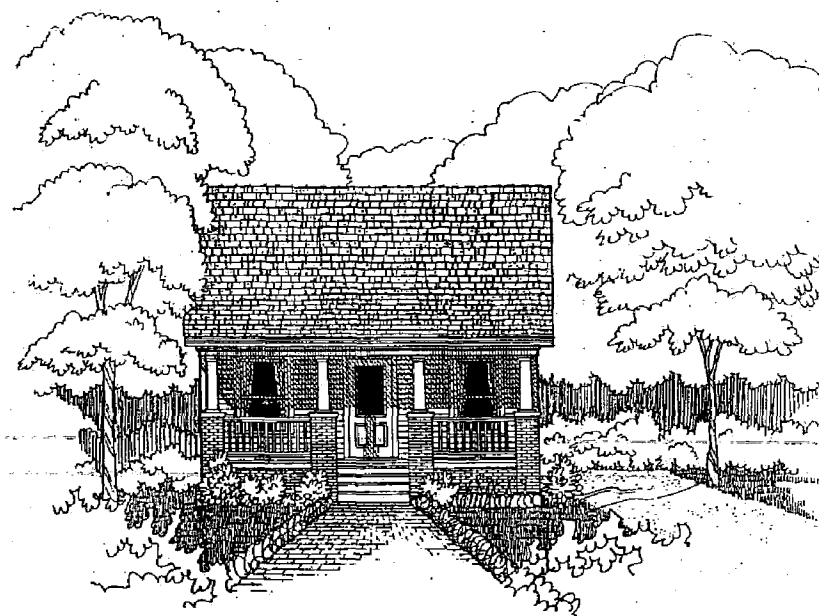
- Caulk all exterior toe plates with latex caulk
  - Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.
  - Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.
  - Seal all joints in HVAC ducts, with leakage no more than 3%. 3" fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.
  - Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam (X R-Grace / poly-cell one or equal)
  - Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vent.
  - Insulate all hot water pipes.
  - Install wrap kit on water heater.
- If you build your home using this one book as a guide, the owner will reap great savings on their energy bills. It is \$45 and worth much more. Exemplary Home Builder's Field Guide by The Alternative Energy Corporation. Call 919-857-9000 or send payment to Advanced Energy, 409 Capability Drive, Suite 2100, Raleigh, NC 27606.

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P O Box 160  
Lake Junaluska, NC 27845  
828-627-1479



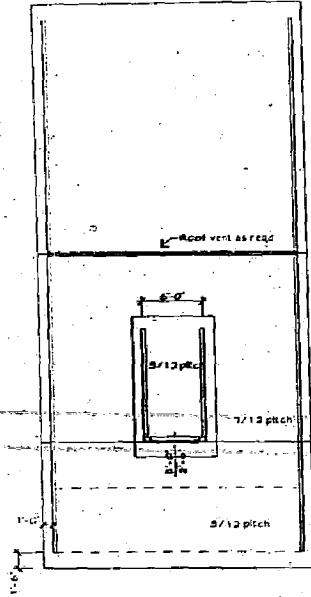
plan 1007B

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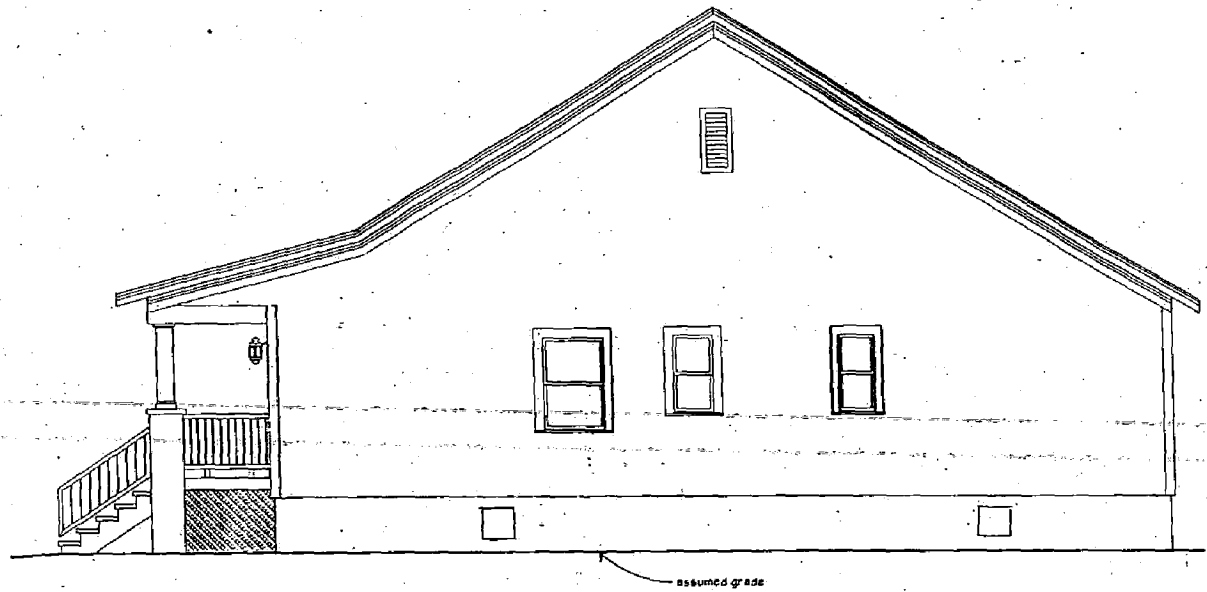
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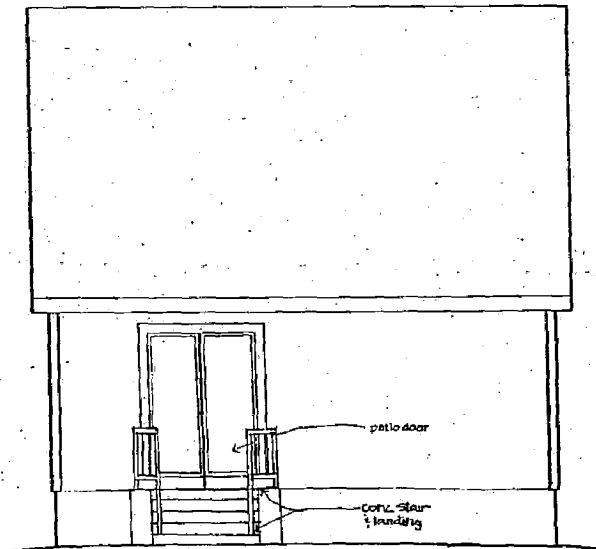
EXHIBIT D



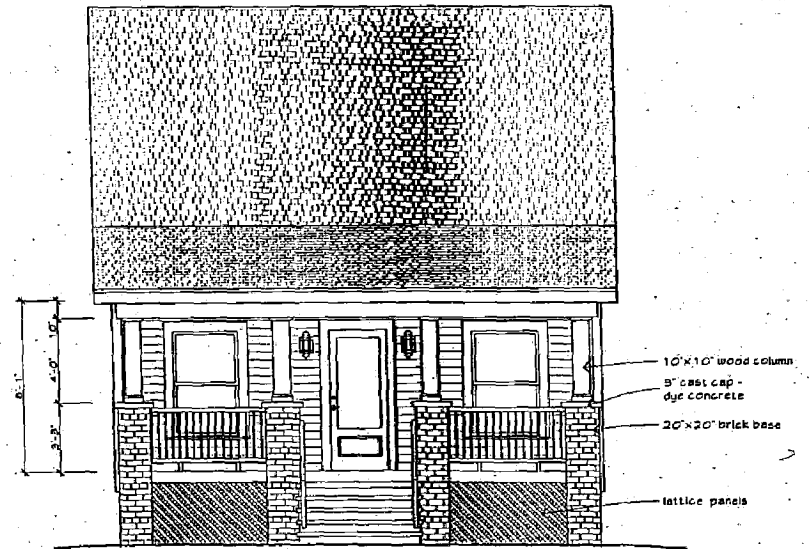
Roof plan  
scale 1/8" = 1'-0"



Right Side Elevation  
scale 1/4" = 1'-0"



Rear Elevation  
scale 1/4" = 1'-0"



Front Elevation  
scale 1/4" = 1'-0"

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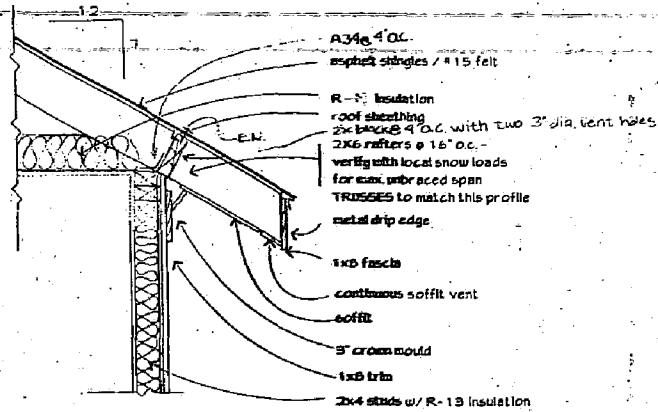
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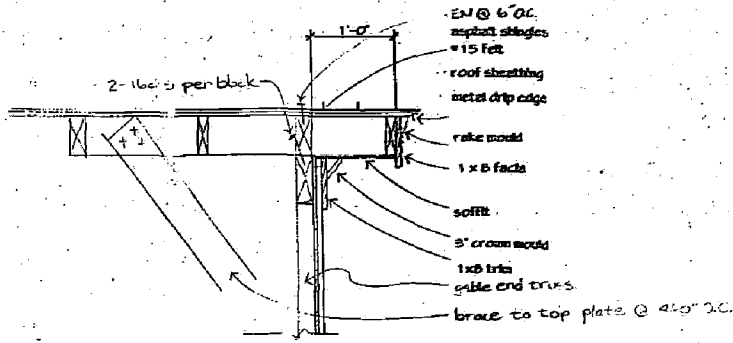
SHEAR WALL SCHEDULE

TYPE	SHEATHING	BLOCKING	EN	FR	SILL BOLTS
A	1/2" GYP BR.	NO	54'S @ 7' O.C.	54'S @ 7' O.C.	15 4x8 @ 15' O.C.
B	3/8" OSB	YES	84'S @ 6" O.C.	84'S @ 12' O.C.	15 4x8 @ 8' O.C.

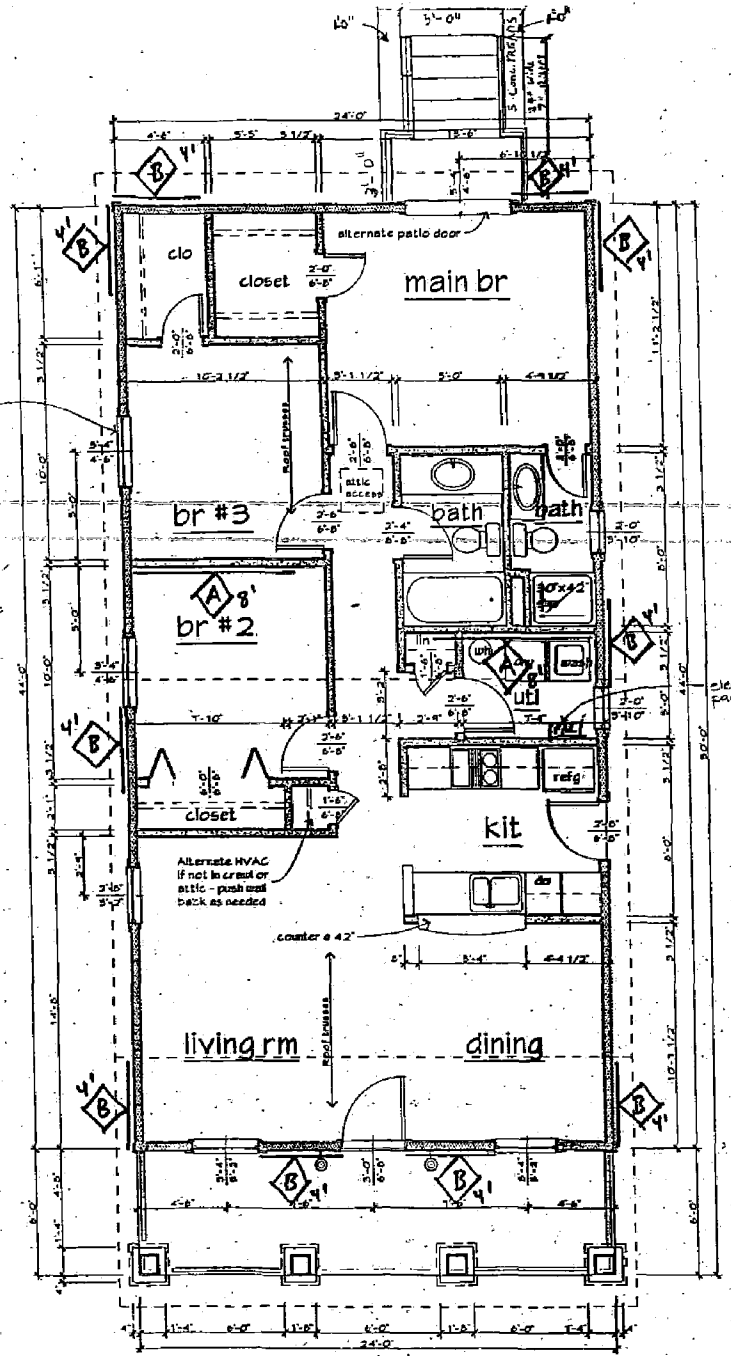
NOTE: ALL SILL BOLTS TO RECEIVE R 3/16" X 1/2" WASHERS



E3 Typical eave detail  
SCALE 1" = 1'-0"



E4 Typical rake detail  
SCALE 1" = 1'-0"

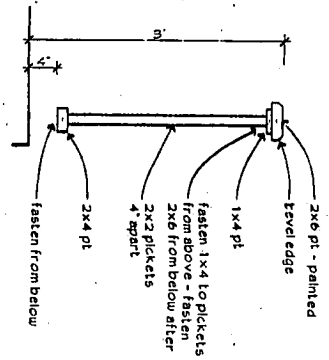


Floor 1 plan  
scale 1/4" = 1'-0" 1056 sq.ft.

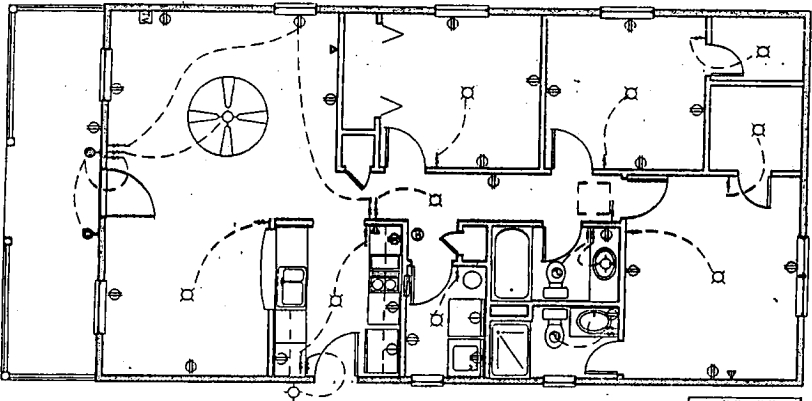
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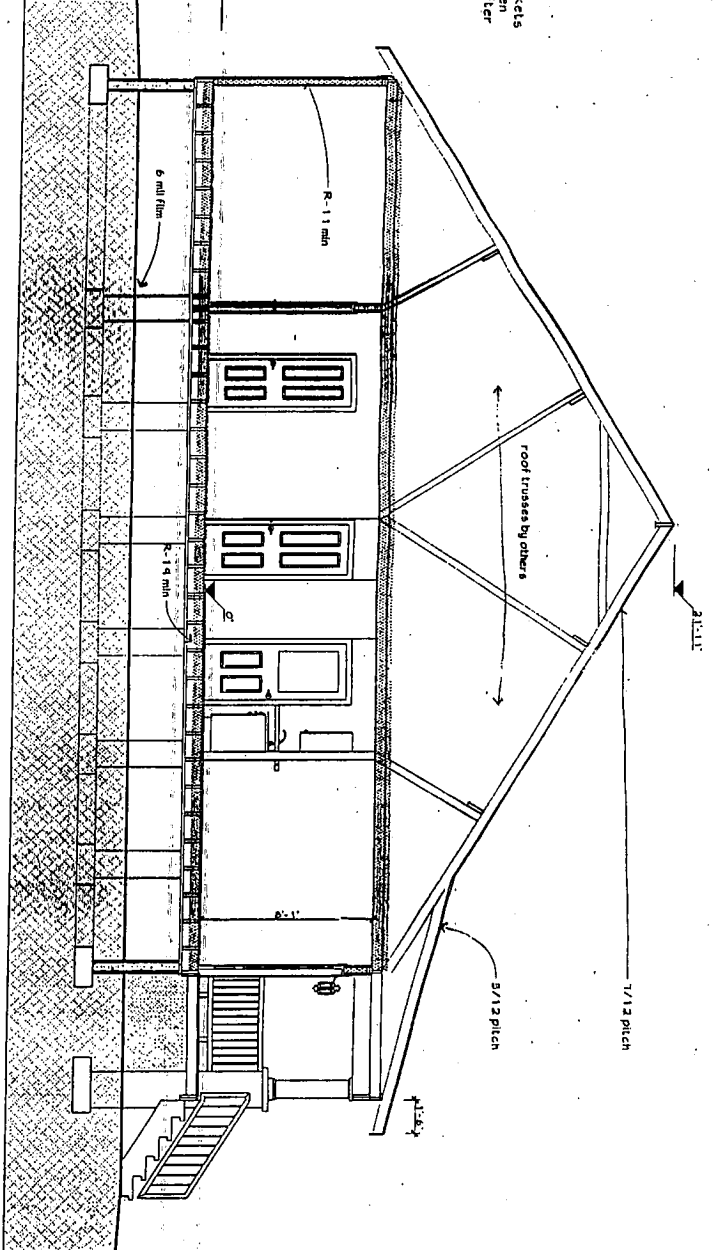
**EXHIBIT E**



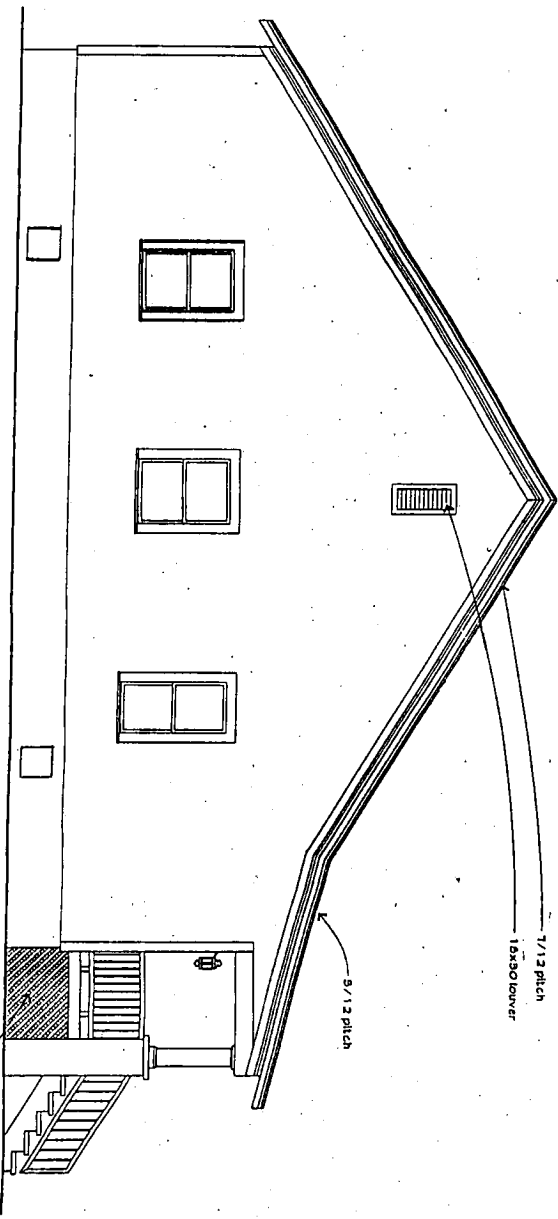
**R1**  
Rail detail  
SCALE 1" = 1'-0"



Electrical - Floor 1 Plan  
Scale 3/16" = 1'-0"



Building Section  
Scale 1/4" = 1'-0"



Left Side Elevation  
Scale 1/4" = 1'-0"

sheet	date
4	revisions
of	

**Rick Thompson**  
www.thompsonplans.com  
revised by Maurice Mead for Robert Garcia 8/28/01  
Architect  
January 10, 2002

plan number  
**1007B**

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All Federal, State and local codes shall be considered as part of these documents, and shall take preference over anything shown or implied if differences exist.

**REVISED**  
Z01-182

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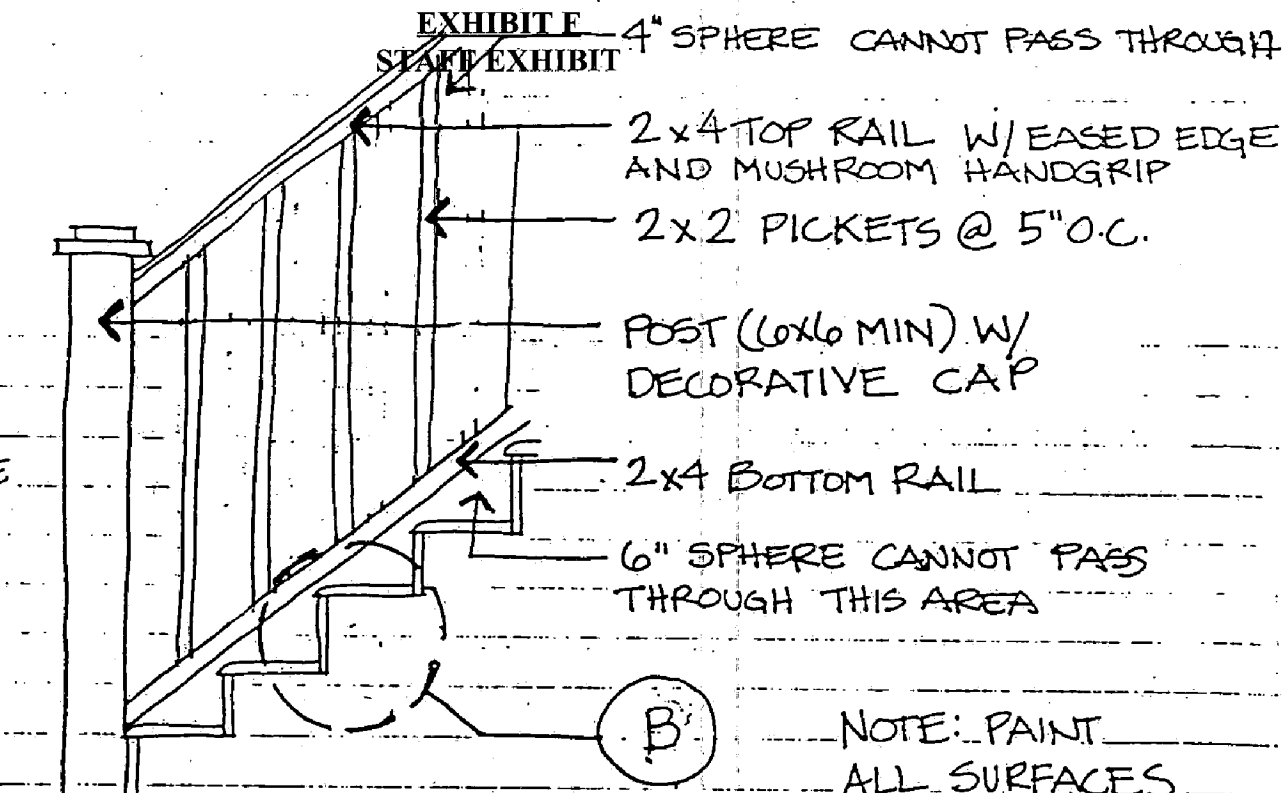
**ITEM 2**

EXHIBIT F  
STAIR EXHIBIT

4" SPHERE CANNOT PASS THROUGH

MIN. STAIR  
WIDTH = 36"

LANDINGS  
MUST BE AT  
LEAST AS  
WIDE AS THE  
STAIRS



2x4 TOP RAIL W/ EASED EDGE  
AND MUSHROOM HANDGRIP

2x2 PICKETS @ 5" O.C.

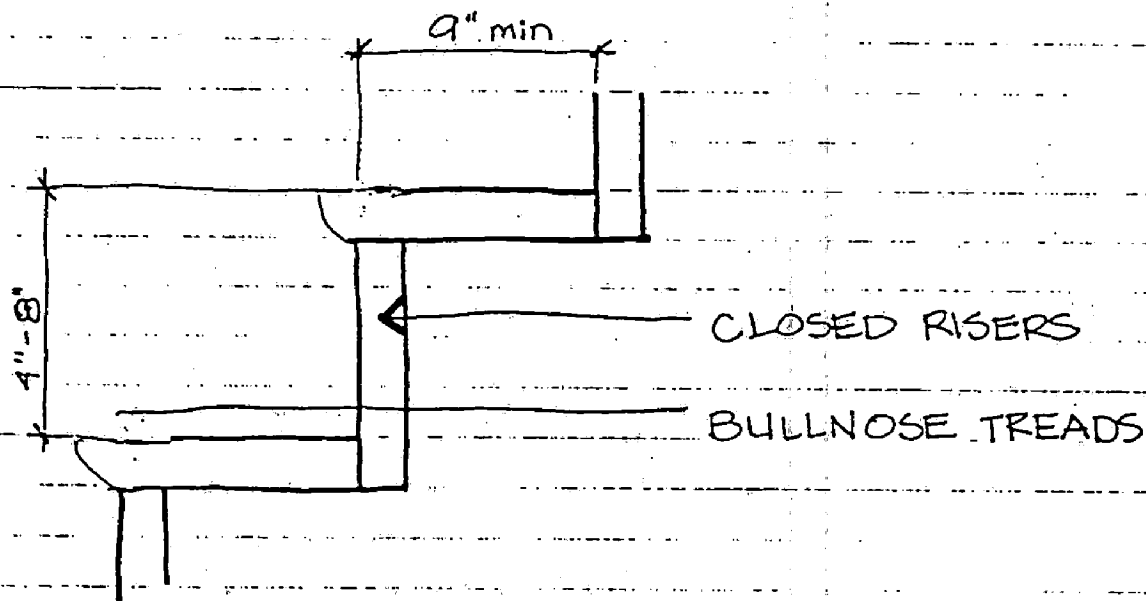
POST (6x6 MIN) W/  
DECORATIVE CAP

2x4 BOTTOM RAIL

6" SPHERE CANNOT PASS  
THROUGH THIS AREA

NOTE: PAINT  
ALL SURFACES

**A** STAIRWAY  
NOT TO SCALE



CLOSED RISERS

BULLNOSE TREADS

**B** RISER/TREAD  
NOT TO SCALE

34"-38"  
Above  
tread

