

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0007300**  
**Insp Area: 2**

**Site Address: 2639 17TH ST SAC**  
Parcel No: 009-0304-019

Sub-Type: AGAR  
Housing (Y/N): N

**CONTRACTOR**  
TUFF SHED INC  
3202 ORANGE GROVE  
NORTH HIGHLANDS CA 95660

**OWNER**  
CLAYTON CRAIG/BLANCA G  
9359 FOX RUN WY  
ELK GROVE CA 95758

**ARCHITECT**

**Nature of Work: 12 X 18**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 661664 Date 6/20/00 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 6/28/00 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS INSURANCE Policy Number NP 7110940-6-98 Exp Date 07/01/2000

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 6/28/00 Applicant Signature [Signature]

**WARNING - FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**



**Richard Weingardt Consultants inc**  
Professional Engineers Founded in 1966

1 September, 2000

Tuff Shed Inc.  
3200 Orange Grove  
N. Highlands, CA 95660

Attn: Mr. Matt Lang

Re: 12'X18' Ranch Garage  
PO# 74227



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

Gentlemen:

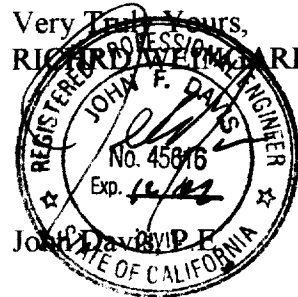
RWC, INC. has reviewed the above referenced project as described to us. Based on the information we have received, RWC, INC. takes no exception to the following:

- The use of 5/8" Simpson SET Epoxy Anchor Bolts in lieu of Simpson SSTB16 Anchor Bolts and (6)- 5/8"x 10" anchor bolts. Installation shall be per manufacturer recommendations.
- The use of 12' trusses with collar tie per our standard ranch shed drawing as a replacement for trusses with bottom chord.

All other construction should be per our standard drawings

Please do not hesitate to contact our office should you have any further questions.

Very Truly Yours,  
RICHARD WEINGARDT CONSULTANTS, INC.



REVIEWED BY  
*[Signature]*  
9/16/00  
D.K.

ISSUED

SEP 15 2000

Sacramento Building Division



CAPITOL ENGINEERING LABORATORIES, INC.

631 Commerce Drive, Suite #200 • Roseville, California 95678 • (916) 786-2488

JOB REPORT

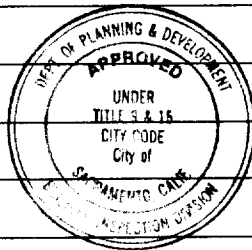
PROJECT NAME: 2637 17th ST
INSPECTOR: Kenneth Cohn
PERSONS CONTACTED: TUFF SIED
REFERENCE DOCUMENTS: ICBO Report #4945
PAGE:
FILE NO. 4781
DATE: 8-25-00
PERMIT #: 007300R
WEATHER: CLEAR
SERVICE PROVIDED: CONCRETE (INSP/SAMPLE ONLY/PU) MASONRY WELDING (SHOP/FIELD) SOILS

OTHER: X WITNESS EPOXY BOOT INSTALLATION & PULL TEST

TUFF SIED -

WITNESS INSTALLATION of 2-5/8" HD BOOTS ON RIGHT SIDE of ENT. DOOR, INSTALLED WITH SIMPSON STRONG TIE EPOXY INTO CLEAN HOLES @ 1-A/B, EPOXY DATED 02/02.

PROOF LOAD 2-5/8" EPOXYED BOOTS ON LEFT SIDE of ENT. DOOR TO 150% of ALLOWABLE PER ICBO REPORT 4945, LOADED TO 6015 lbs WITHOUT MOVEMENT.



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COMPLIANCE OF WORK:

ATTACHMENTS:

ISSUED

EQUIPMENT/SUPPLIES USED:

SEP 06 2000

NEXT VISIT:

Sacramento Building Division

REMARKS:

O.K. TO PROCEED
O.K. TO PROCEED

REVIEWED BY:

Handwritten signatures of reviewers

DATE:

9/6/00
9/6/00

2637 17<sup>TH</sup> ST  
0007300



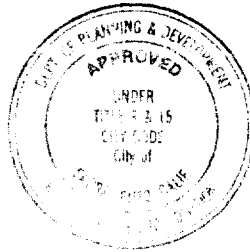
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Professional Engineers  
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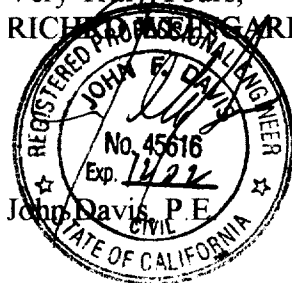
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Very Truly Yours,  
RICHARD WEINGARDT CONSULTANTS, INC.



REVIEWED BY:  
*[Signature]*  
9/16/00  
O.K.

ISSUED

SEP 06 2000

Sacramento Building Division



2637 17th St

CAPITOL ENGINEERING LABORATORIES, INC.

0007300

631 Commerce Drive, Suite #200 • Roseville, California 95678 • (916) 786-2488

#2

JOB REPORT

PROJECT NAME: 2637 17th St PAGE: \_\_\_\_\_  
 INSPECTOR: Kenneth Cohen FILE NO. 4781  
 PERSONS CONTACTED: TUFF SITED DATE: 8-25-00  
 REFERENCE DOCUMENTS: ICBO Report #4945 PERMIT #: 0007300P  
 SERVICE PROVIDED: CONCRETE (INSP/SAMPLE ONLY/PU)  MASONRY  WELDING (SHOP/FIELD)  SOILS

OTHER  WITNESS EPOXY BOAT INSTALLATION & PULL TEST

TUFF SITED -

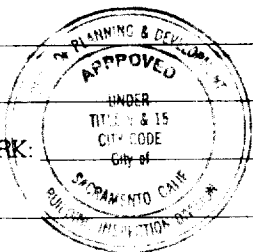
WITNESS INSTALLATION of 2 - 5/8" HD BOOTS ON RIGHT SIDE of ENT. DOOR, INSTALLED WITH SIMPSON STRONG TIE EPOXY INTO CLEAN HOLES @ 1-A/B, EPOXY DATED 02/02.

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ISSUED

EP 06 2000

Sacramento Building Division



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COMPLIANCE OF WORK:

ATTACHMENTS:

EQUIPMENT/SUPPLIES USED:

NEXT VISIT:

REMARKS:

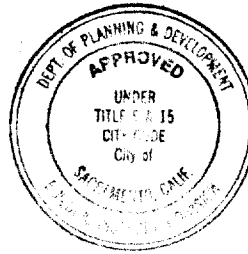
REVIEWED BY:

A.K. TO PROCEED  
[Signature]

DATE:

9/6/00

ERICKSON  
2637 17TH ST  
SAC



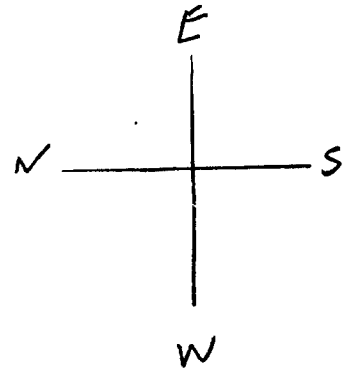
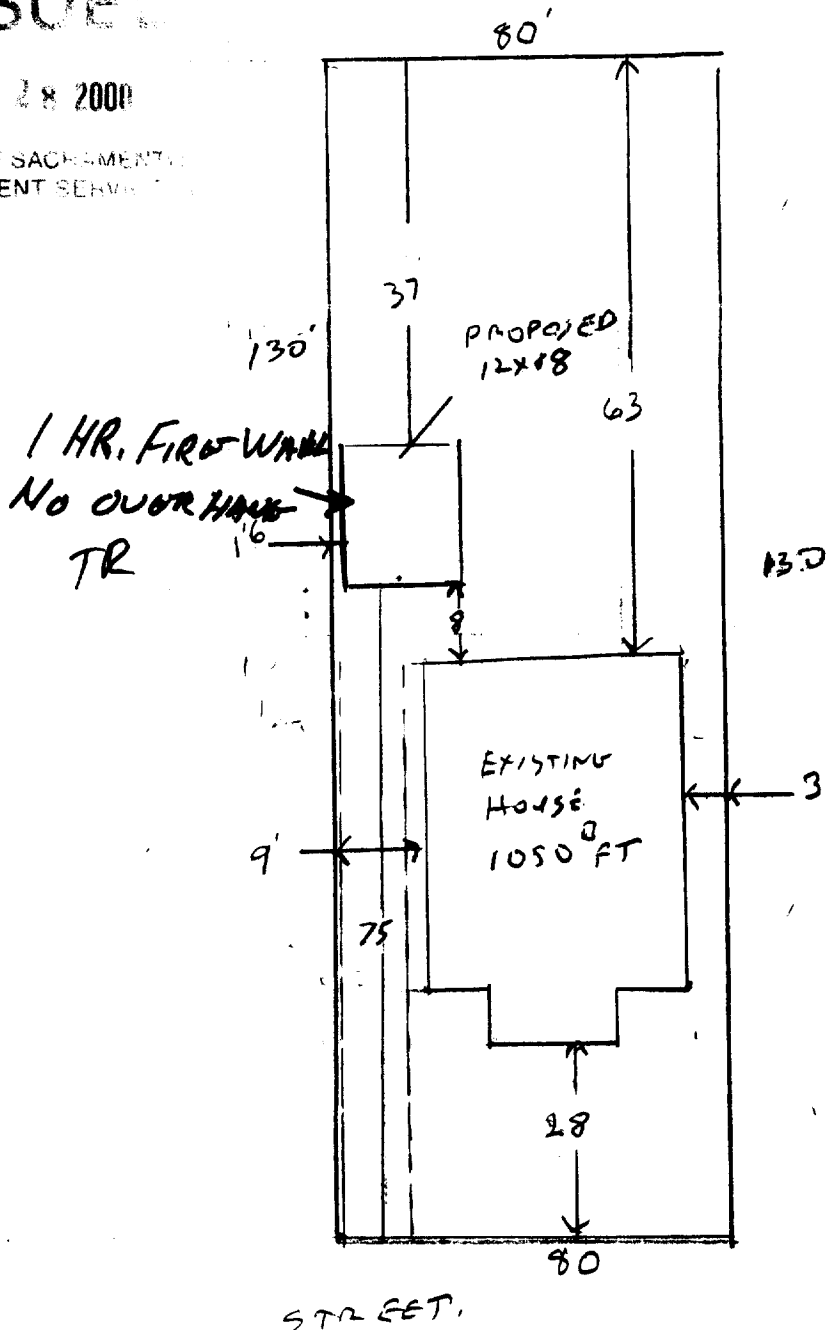
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**ISSUED**

JUN 28 2000

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES



(R-1)  
Site Plan  
Erickson  
S. G. G. G.  
6-28-00

SCALE  
1/4" = 5'

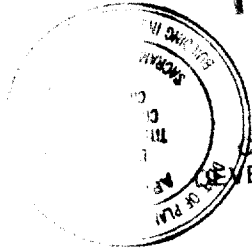
STREET

2637 17TH ST  
SAC

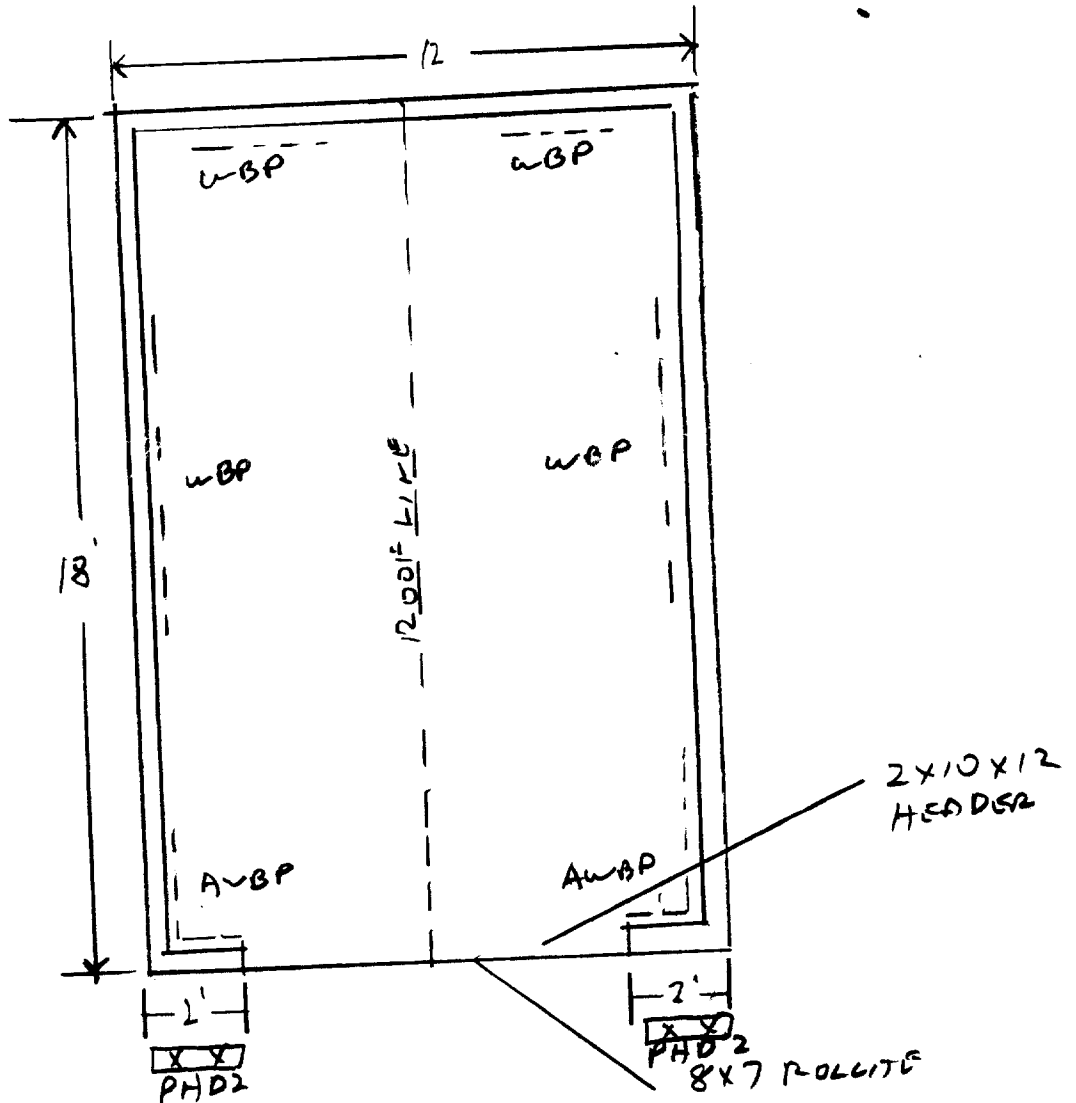
ISSUED

JUN 28 2000

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES



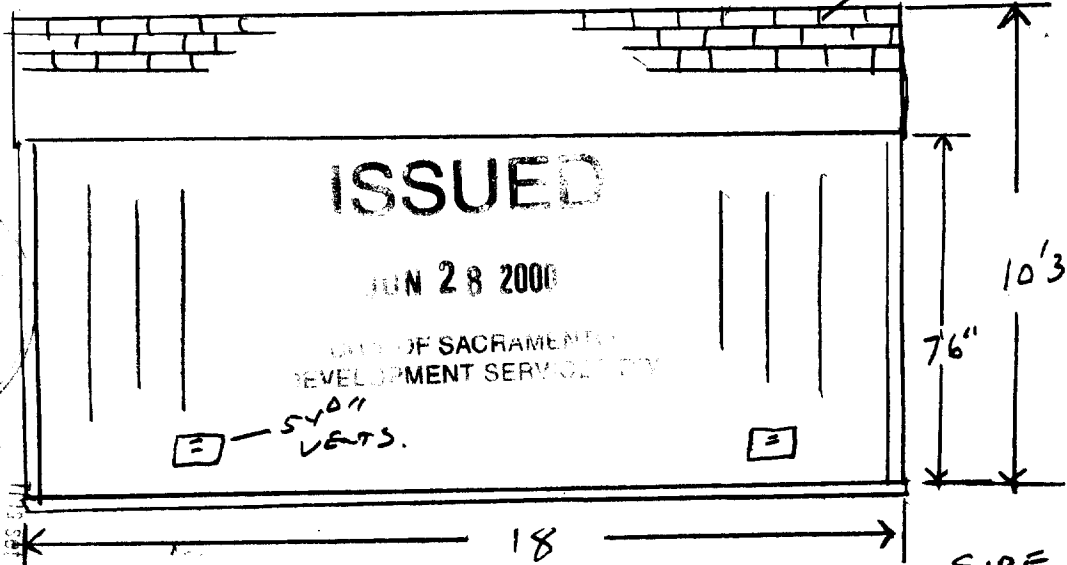
The set of plans and specifications must be  
filed with the job at all times and it is unlawful  
to make any changes or alterations from the  
set of plans without a written permission from the  
City Engineer's Office.  
This approval of this plan and specification  
shall not be held to permit or approve the  
violation of any City Ordinance or State Law.



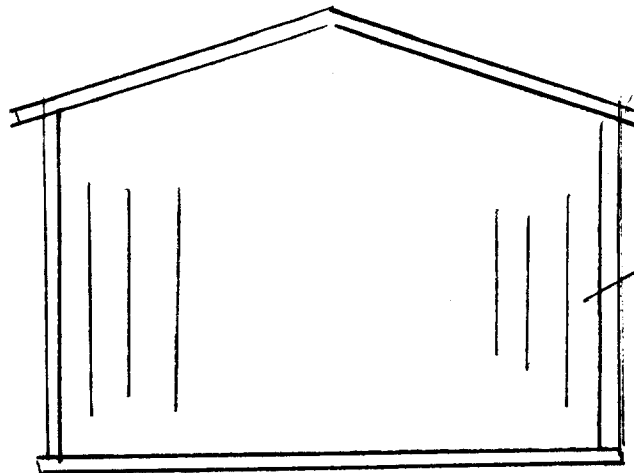
FLOOR PLAN  
SCALE 1/4" = 1'

ERICHSON  
2637 17TH ST  
SAC.

FIBERGLASS  
SHINGLE ROOF

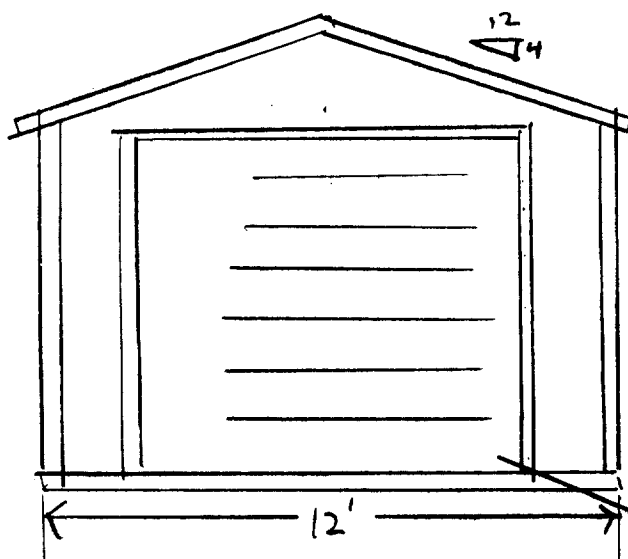


SIDE  
ELEVATIONS.



1/2" APA T11  
PRESSURE TREATED  
SIDING

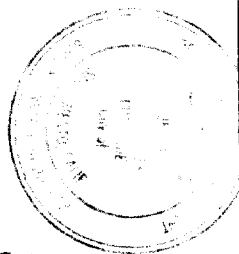
EAST ELEVATION



8x7  
ROLLUP DOOR

WEST ELEVATION

SCALE  
1/4" = 1'

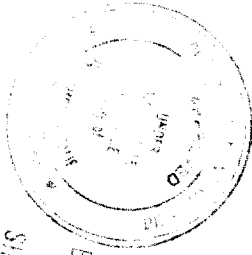


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10000  
10000



2632 17TH ST  
SAC.

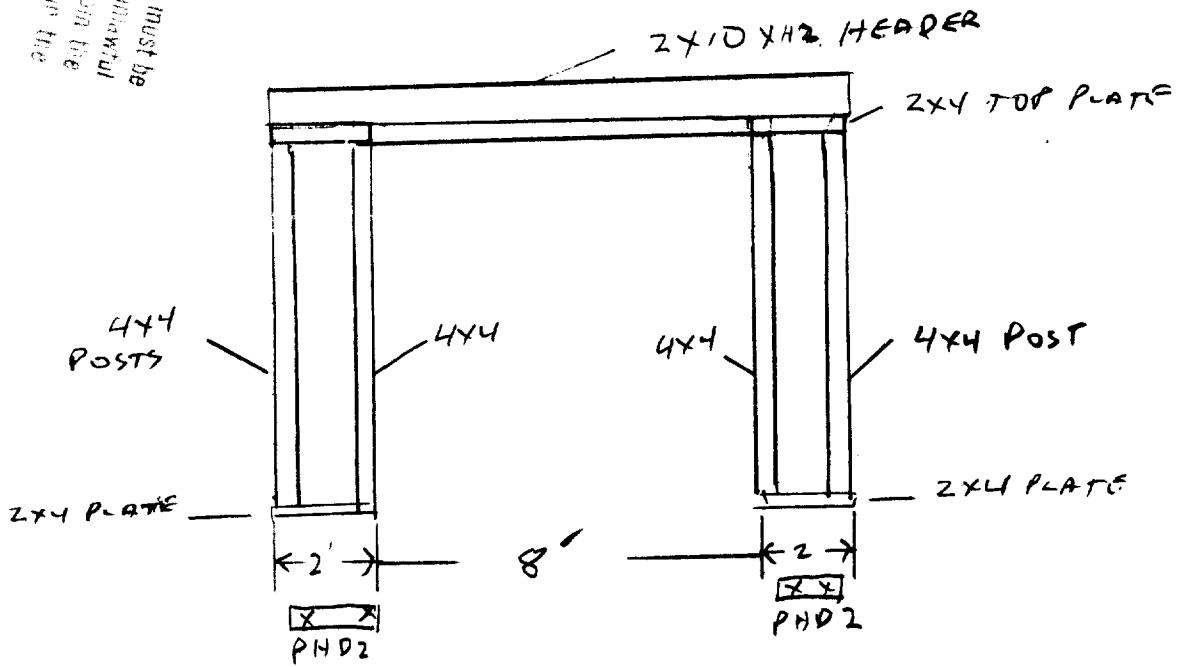


ISSUED

JUN 28 2000

CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspector, in person. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



END WALL  
SCALE 1/4" = 1'

ISSUED

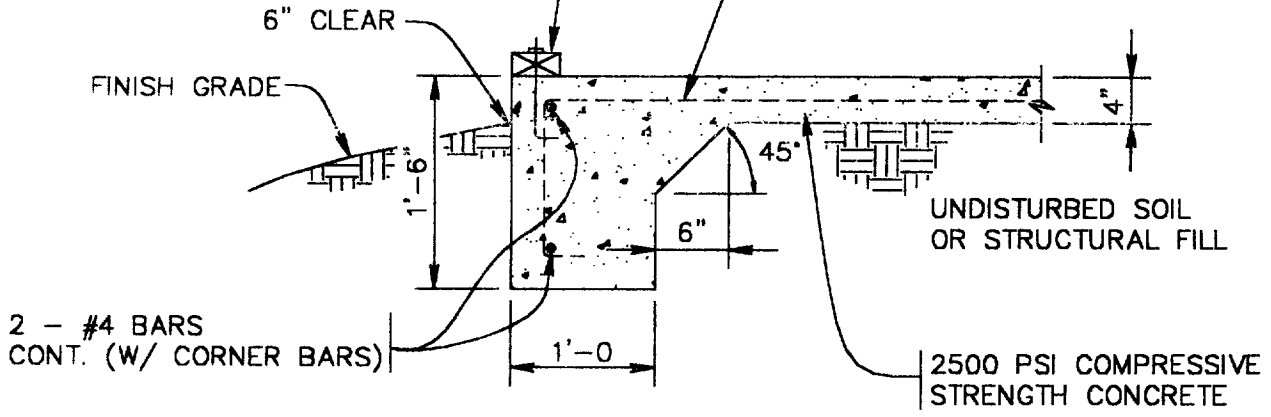
JUN 28 2000

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES DIVISION

SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law  
The approval of this plan and Specification is subject to the approval of the City Engineer  
Building Department, City of Sacramento


2"x4" SOLE PLATE - PRESSURE TREATED WOOD WITH 1/2" DIA. X 10" ANCHOR BOLTS (U.O.N.) OR EQUIVALENT DRILLED ANCHORS - MINIMUM TWO PER PIECE AND END BOLTS WITHIN 12" OF END OF SILL PLATES, AND AT 4'-0 O.C. MAX.

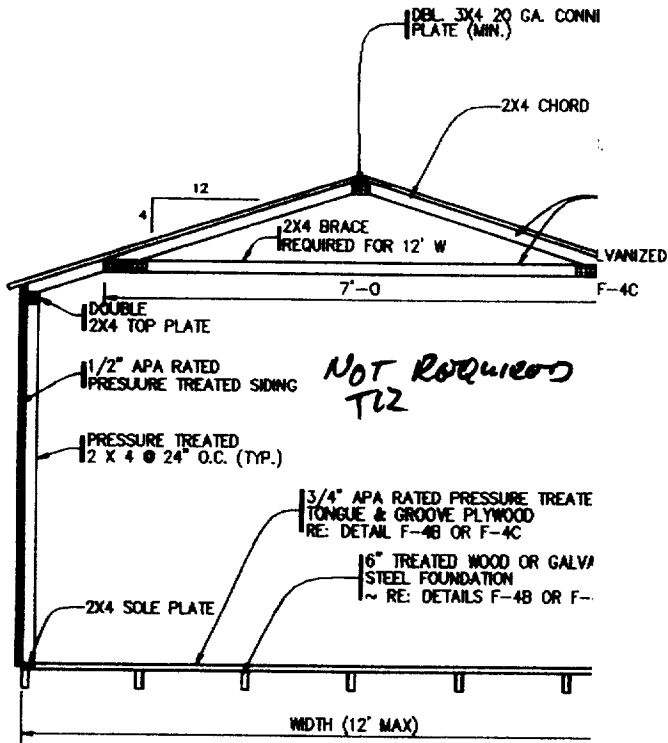
OPTIONAL SLAB REINFORCEMENT 6"x6" - 10/10 WWM OR FIBERMESH CONCRETE IF REQUIRED BY LOCAL CODES.



NOTE: FOR SEISMIC ZONE 3 & 4 USE 5/8" DIA x 10" ANCHOR BOLTS WITH 2"x2"x 3/16" PLATE x WASHERS.



TITLE: FOUNDATION DETAIL	 RICHARD WEINGARDT CONSULTANTS	PROJECT NO: 2585
TUFF SHED, INC. 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 11/9/99 DRAWN BY: HP CHECKED BY: JD REF. DWG: F-2



**3 CROSS SECTION**

N.T.S.

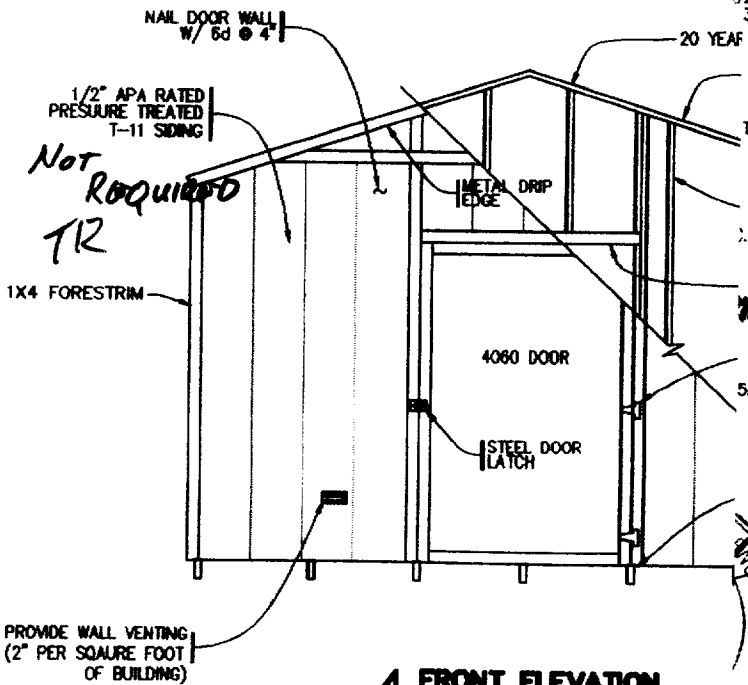
DESIGN SCHEDULE	
BUILDING ADDRESS:	_____
BUILDING SIZE:	WIDTH: <u>12</u> LENGTH: <u>12</u> HEIGHT: <u>7.6</u>
ROOF LIVE LOAD:	40 PSF
DESIGN WINDLOAD:	85 MAX. EXP. B
ROOF PITCH:	<u>4/12</u>
DETAIL SHEETS REQUIRED:	_____

**ISSUED**

**JUN 28 2000**

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES DIV

ROOF SHEATHING SCHEDULE
APA STRUCTURAL I OR II
PANEL THICKNESS = 15/32"
SPAN RATING 24/16
LONG DIM. PERPENDICULAR TO FRAMING



**4 FRONT ELEVATION**

N.T.S.

- LIVE LOADS: RE: SCHEDULE
- ALL CONSTRUCTION TO BE PER 1997 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
  - ALL FRAMING MEMBERS SHALL BE HEM-FIR No. 2 GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES (U.O.N.)  
 Fb = 875 PSI  
 Ft = 425 PSI  
 Fv = 70 PSI  
 Fc = 1100 PSI PARALLEL  
 E = 1,400,000 PSI
  - ROOF SHEATHING SHALL BE PER SCHEDULE, STAGGER LAYOUT (APA COND. 1).
  - EXTERIOR WALL SHEATHING SHALL BE DURATEMP NAILED TO FRAMING WITH 6d GALV. RING-SHANK AT 6" AT EDGES, AT 12" AT INTERMEDIATE SUPPORTS.
  - NAILING SCHEDULE  
 STUD TO TOP PLATE 2-16d  
 STUD TO SILL PLATE 2-16d TO E  
 DBL PLATE SPLICE 16d AT 16"  
 DBL HEADER 16d AT 16"  
 HEADER TO STUD 6-8d
  - 20 YEAR FIBERGLASS SHINGLES
  - 15 lb. ROOFING FELT
  - TYPE D METAL FLASHING AND DRIP EDGES REQUIRED ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
- GENERAL
  - ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
  - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
  - IF UNIT IS PLACED WITHIN 3 FT. OF PROPERTY LINE, A 1 HR. FIRE WALL WILL BE REQUIRED.
  - RAIN GUTTERS ARE REQ'D FOR ALL UNITS LARGER THAN 400 SQ. FT.
  - NAIL SCHEDULE TO BE PER 1997 UBC



PRESSURE TREATED

**STYLE UNIT**

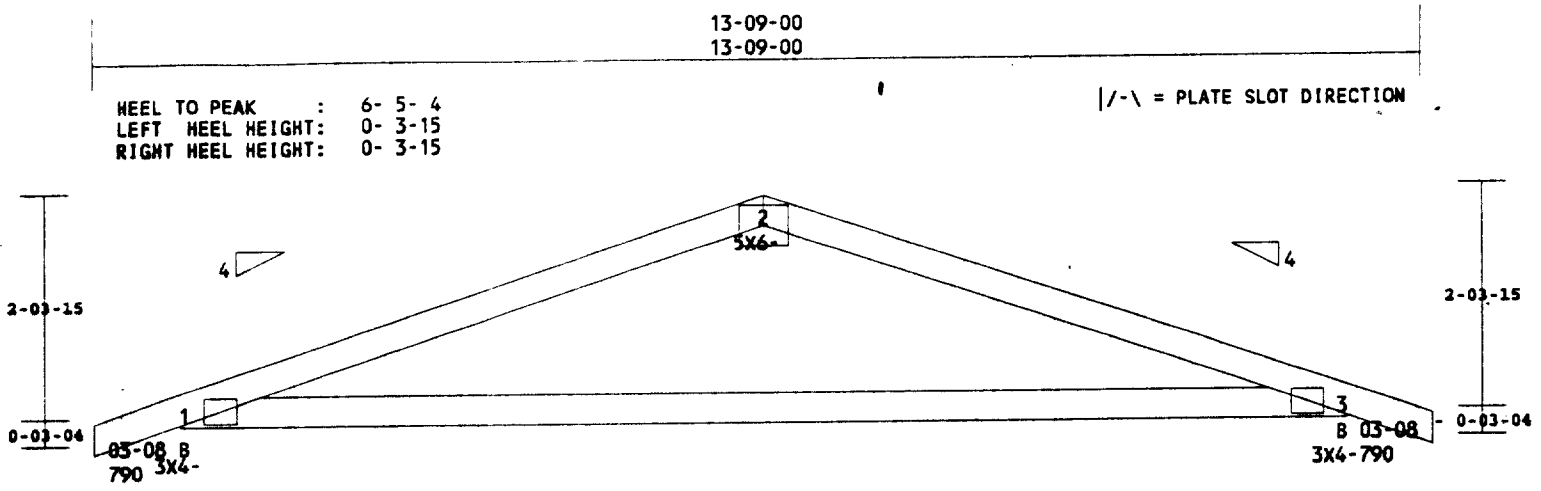
**ED, INC.**

STREET SUITE 600  
30 80210  
33-8833

**RICHARD WEINGARDT CONSULTANTS**

PROJECT NO:	2585
DATE:	1/22/99
DRAWN BY:	HP
CHECKED BY:	JD
REF. DWG:	SHED-5

JOB: TEMP\12RANCH SPAN: 12-00-00 PITCH: 4.00 TRUSS: 10 LEFT OH: 0-10-08 RIGHT OH: 0-10-08



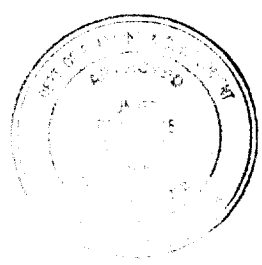
LOADS: TOP				LOADS: BOTTOM				20 GAUGE PLATES:			
LIVE	DEAD	LIVE	DEAD	40	3X4	20	5X6				
40.0	10.0	.0	10.0								
SPACING	24.0	INCREASE	1.15								
DFT: T/C 106.7 B/C 80.0 WEB .0											
DEF: LL = .333" DL = .794" TL = .794"											

CHD1-2	TS S1	OVERALL	7-04-03
18.4/	7-02-15	/	18.4
20 2X4 SPF-#2	B/C	7-04-02	
CHD3-1	BS S1	OVERALL	12-00-00
0-03-04/ 71.6	10-04-08	PRE-CUT	12-00-00
0-00-04/ .0	12-00-00	0-00-04/ .0	
10 2X4 SPF-#2	B/C	12-00-00	

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MBR	LEN	FORCE
1-	2	5.85
2-	3	5.85
4-	1	.88
5-	3	.88

MBR	LEN	FORCE
3-	1	11.71
		866

MBR	FORCE
MBR	FORCE

MBR	FORCE
MBR	FORCE

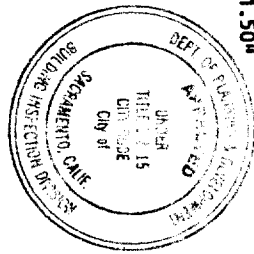
JT	3X	4
JT	3X	4

JT	PLATE OFFSET-M	OFFSET-L
JT	PLATE OFFSET-M	OFFSET-L

JT	PLATE OFFSET-M	OFFSET-L
JT	PLATE OFFSET-M	OFFSET-L

**LUMBER SOLUTION**

TOP	PANEL	2X4	SPF-#2	2-3	CSI =	.879
BOT	PANEL	2X4	SPF-#2	3-1	CSI =	.833
WEB	PANEL	2X4	SPF-Stud			



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DEVELOPMENT SERVICES DIV

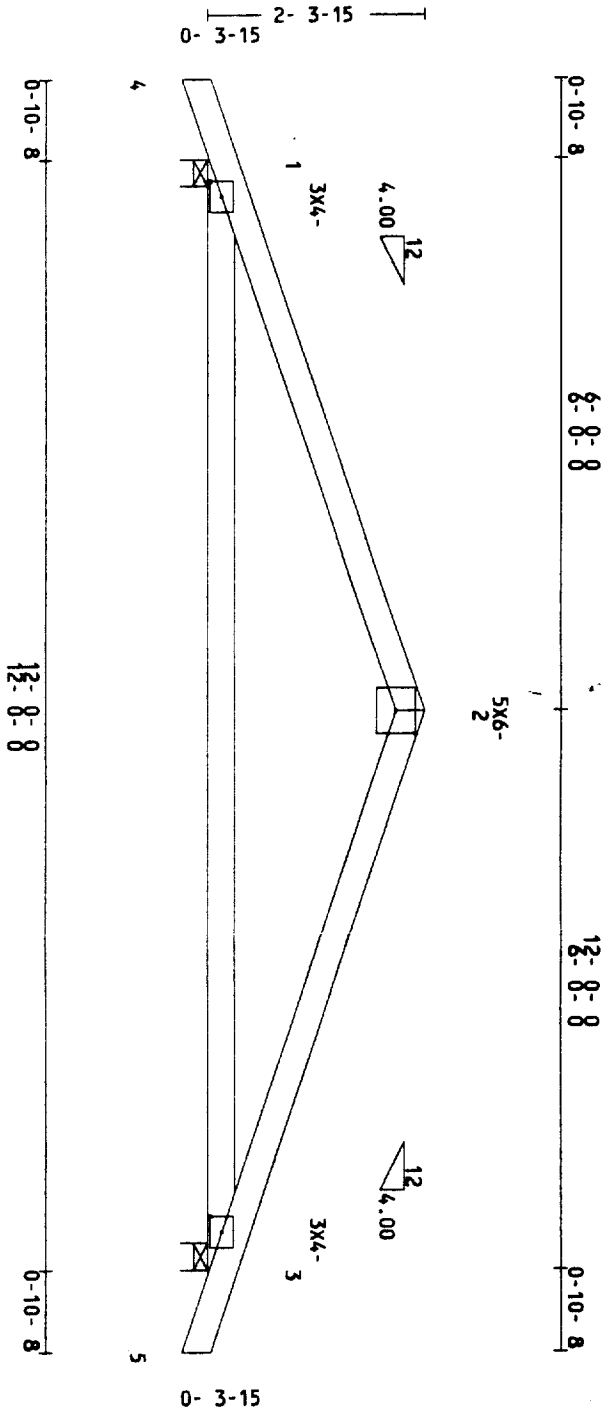
**DESIGN CRITERIA - AISI/TPI 1-1995**  
SPACING : 24.0 IN O/C REP BEND  
PLATE : EAGLE METAL PRODUCTS-95,  
PLATE DUR INC= 1.15

**DESIGN LOADINGS**  
LOAD CASE 1  
TOP LL TOP DL BOT LL BOT DL INC  
40.0 10.0 .0 10.0 1.15

**TOTAL LOAD DEF @ PANEL 3 = .794"**  
L/DEF=161 L= 146.0 REC CMBR= .15"  
TOTAL LOAD HOR DEF = .017"  
MAX DEF: LL = .333" DL = .794" TL = .794"

**Job ID:TEMP\12RANCMH qty 10**  
KEYSMART 11: 3.108  
DATE 12/ 1/98

**NOTE:**Brace bottom chord a 10ft OC max or provide lateral brace by properly applied rigid ceiling.



O/A SPAN 12-0-0 (FT, INCHES, 16THS)

SCALE= .484/1.0

KEYMARK ENGINEERING  
BOULDER-COLORADO-80301

A copy of this design shall be furnished to the creative contractor. This design is for an individual building component (a truss). It is based on specifications provided by the component manufacturer and performed in accordance with the current versions of TPI and NDS design standards. The responsibility is assumed for the accuracy of information provided by the truss designer. Dimensions shall be verified by the manufacturer and/or building designer prior to fabrication. The building designer shall review and stamp drawings to ensure that the design complies with applicable minimum loading required by applicable local building codes. Construction details shall be clearly indicated by the roof or floor framing designer. The truss designer shall be responsible for providing the necessary information to the building designer. The building designer shall be responsible for providing the necessary information to the building designer. The building designer shall be responsible for providing the necessary information to the building designer.

weight of concrete until all permanent bracing is in place. Compression of concrete shall be greater than the design loads shall not be applied to steel damage. Lumber moisture content shall be 19% or less at the time of fabrication, unless noted otherwise (N.O.). Connector plates shall be manufactured by Eagle Metal Products (E.M.P.) from 24, 18, or 16 gauge ASTM A660 grade steel, with 690 (min.) concrete. Plates shall be applied on both sides of truss at each panel. Proper dimensions are listed within a 1/2" tolerance on panel and end connections. The plates shall be connected to the truss members using the following: The plates shall be provided to prevent the truss members from rotating. The plates shall be provided to prevent the truss members from rotating. The plates shall be provided to prevent the truss members from rotating.