



# REPORT TO COUNCIL

## City of Sacramento

# 29

915 I Street, Sacramento, CA 95814-2671  
www.CityofSacramento.org

CONSENT  
February 28, 2006

Honorable Mayor and  
Members of the City Council

**Subject:** PFP: 8119 Sheldon Road Rezone (P04-219)

**Location/Council District:**

8119 Sheldon Road; APN: 117-0220-001; Council District 8

**Recommendation:**

As required by Sacramento City Charter 32(c), Pass for Publication the Ordinance approving a Rezone of the property located at 8119 Sheldon Road from the Rural Estates One Unit per Four (4) acres (RE 1/4) zone to the Single-family Alternative (R-1A) and Agriculture-Open Space (AOS) zones and continue to March 7, 2006, for adoption.

**Contact:** Kimberly Kaufmann-Brisby, Associate Planner, 808-5590; Thomas Pace, Senior Planner, 808-6848

**Presenters:** Kimberly Kaufmann-Brisby, Associate Planner

**Department:** Development Services Department

**Division:** Planning

**Organization No:** 4875

**Summary:**

The applicant is requesting the entitlements needed to develop a ±20.2 acre site in the Rural Estates-One Residential Unit per Four Acres (RE ¼) zone of the Jacinto Creek Planning Area (JCPA) within the South Sacramento Community Plan area. The applicant proposes to construct 75 single-family homes and 14 half-plex lots. The subdivision layout provides vehicular connectivity to the north, east and west. The project's inclusionary housing component will be fulfilled with the 14 half-plex units that will be evenly distributed throughout the subdivision on corner lots.

The proposed rezone to Single-family Alternative (R-1A) is consistent with the JCPA plan. A Community Plan Amendment, a Rezone, and the Inclusionary Housing Plan



require City Council approval. The Tentative Map, Special Permit, and Subdivision Modification were approved by the Planning Commission on January 26, 2006.

**Background Information:**

The proposed project site is located at 8119 Sheldon Road. Single-family residential developments are located to the north and west of the site. The property east of the project site is vacant and is currently under planning review for a petite lot alternative style single-family development.

On June 20, 1995, the City Council approved the Jacinto Creek Planning Area (JCPA) Land Use Plan and adopted the necessary resolutions amending the General and South Sacramento Community plans. The approved JCPA Land Use Plan did not include site-specific rezones; therefore new development within the JCPA requires individual rezone proposals (Exhibit A). The current development request encompasses ±20.2 acres of property zoned for rural estates development and planned for single-family development.

**Financial Considerations:**

This project has no fiscal considerations.

**Environmental Considerations:**

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Mitigated Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified impacts or to mitigate such impacts to a point where clearly no significant impacts will occur. These mitigation measures address: Air Quality; Biological Resources; Noise; and Cultural Resources.

**Policy Considerations:**

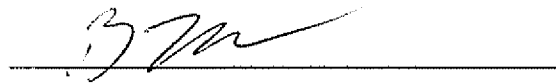
The 8119 Sheldon Road Rezone project is consistent with applicable City policies, including the City's Smart Growth Principles, as well as the City's Strategic Plan three-year goals of achieving sustainability and enhancing livability, and increasing opportunities for all Sacramento residents to live in safe and affordable housing.

The proposed project provides connectivity to adjacent subdivisions and will implement a broader approach to the City's Single-family Design Principles with design and façade enhancements that improve the aesthetics and support the livability of the community. The recommended action conforms with the City of Sacramento Strategic Plan, specifically by adhering to the goal to enhance and preserve neighborhoods by directing new development (and supportive infrastructure) to existing areas, allowing for efficient use of existing facilities, features and neighborhoods.

**Emerging Small Business Development (ESBD):**

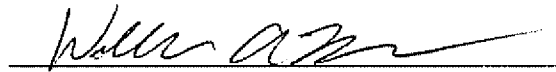
No goods or services are being purchased under this report.

Respectfully Submitted by:



David Kwong, Interim Planning Manager

Approved by:



William Thomas  
Director of Development Services

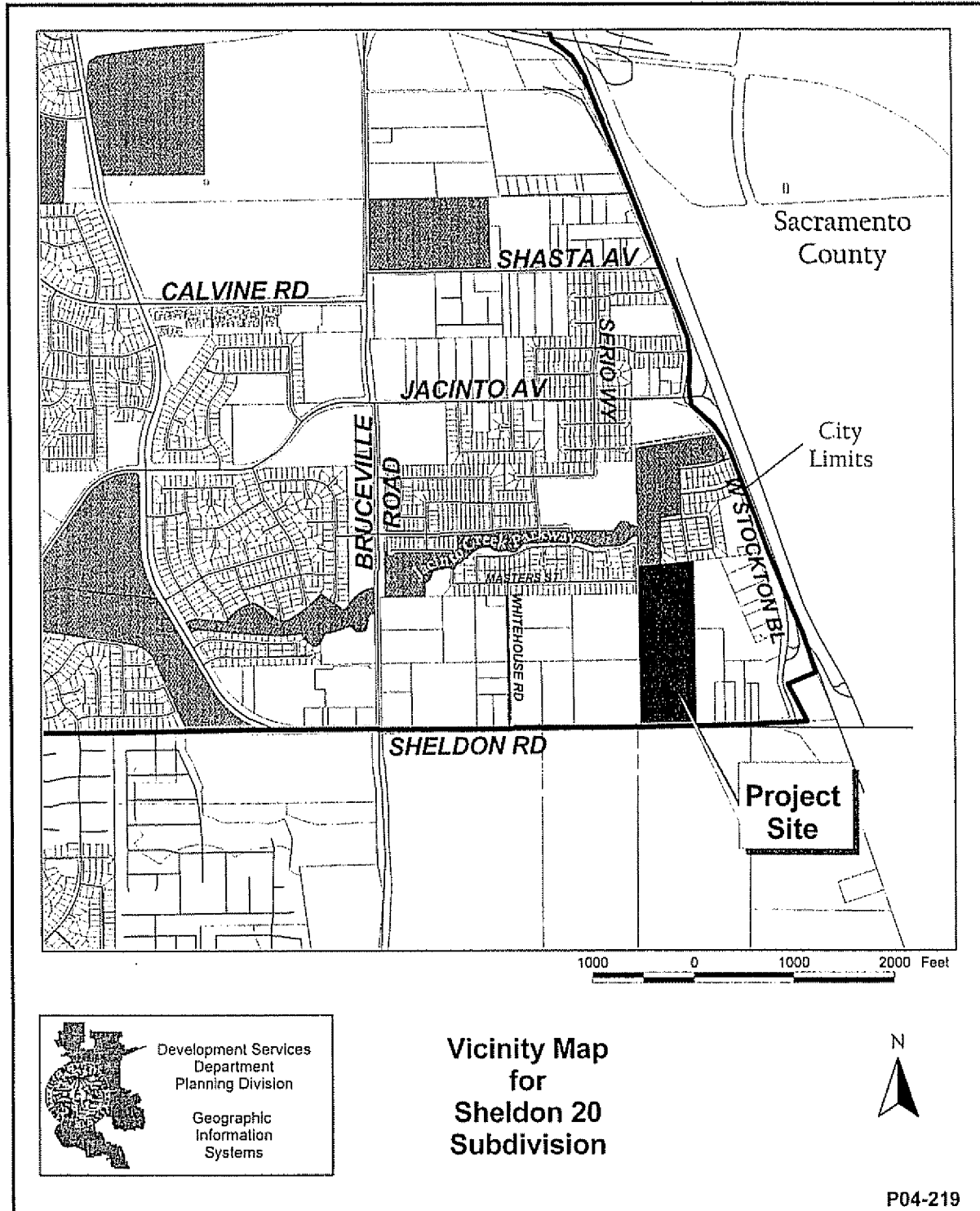
Recommendation Approved:

  
RAY KERRIDGE  
Interim City Manager

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### Vicinity Map



**ORDINANCE NO. 2006-\_\_\_\_\_**

**Adopted by the Sacramento City Council**

**Date \_\_\_\_\_**

**AN ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 99-015, AS AMENDED, BY REMOVING A PORTION OF THE PROPERTY LOCATED AT 8119 SHELDON ROAD FROM THE RURAL ESTATES ONE (1) DWELLING UNIT PER FOUR (4) ACRES (RE ¼) ZONE AND PLACING IT IN THE SINGLE-FAMILY ALTERNATIVE (R-1A) AND THE AGRICULTURE-OPEN SPACE (A-OS) ZONES. APN: 117-0220-001 (P04-219)**

**BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:**

**SECTION 1**

The territory described in the attached exhibit which is located as described above, as established by Ordinance No. 99-015, as amended, is hereby removed from the Rural Estates One Dwelling Unit per Four Acres (RE ¼) zone and placed in the Single-family Alternative (R-1A) and Agriculture-Open Space (A-OS) zones.

**SECTION 2**

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 99-015, as amended, to conform to the provisions of this Ordinance.

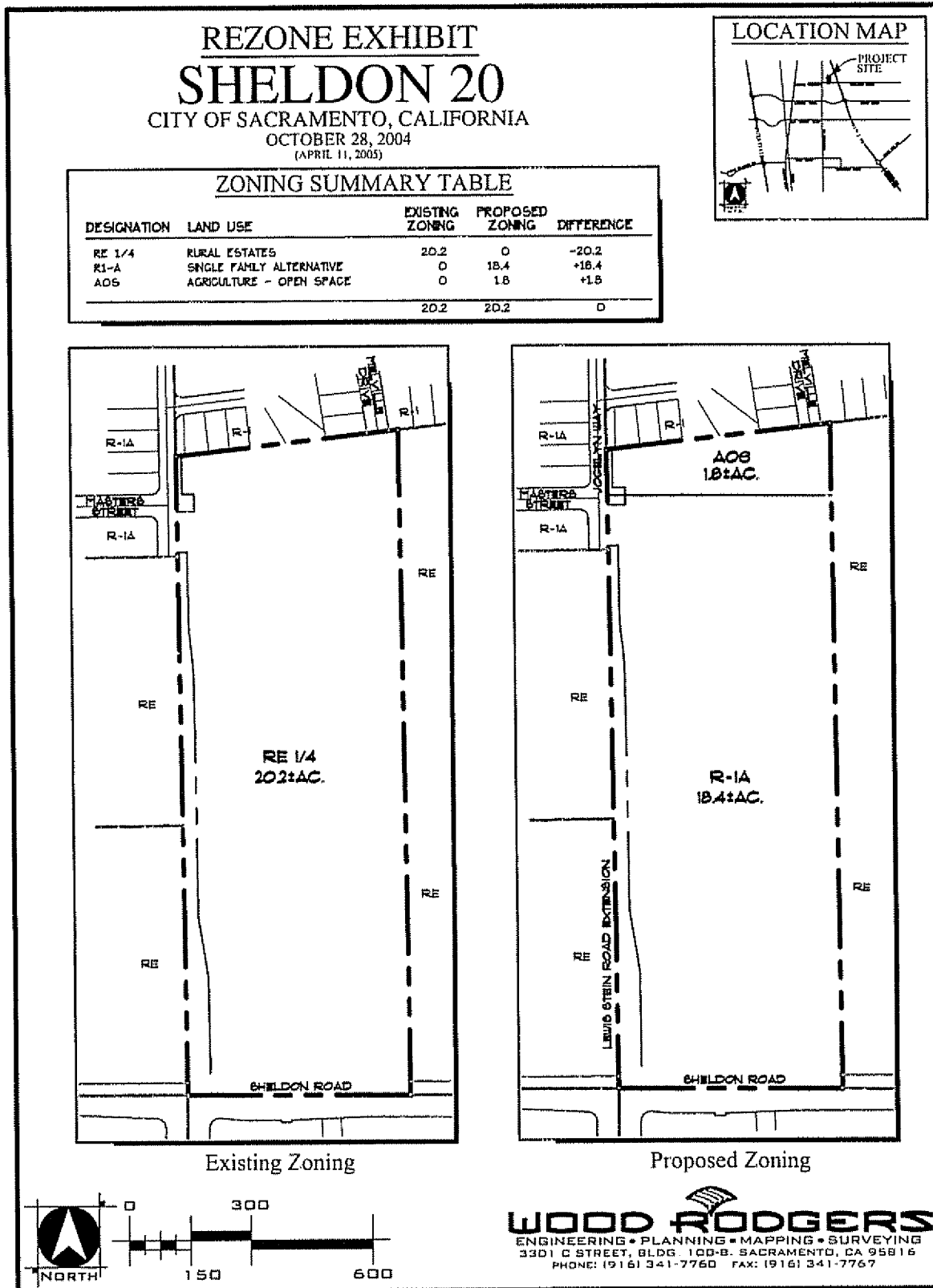
**SECTION 3**

Rezoning of the property described in the attached Exhibit 1 by the adoption of this Ordinance shall be deemed to be in compliance with the procedures for the rezoning of property described in Ordinance No. 99-015, as amended, as said procedures have been affected by recent court decisions.

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Exhibit A: Rezone

Exhibit A – Rezone



REZONE EXHIBIT - SHELDON 20

