

STAFF REPORT AMENDED 4-11-85  
**CITY PLANNING COMMISSION**

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Spink Corp., 720 F St., Sacramento, CA 95814		
OWNER	Beard & Hoshaw Co., Inc. El Camino Assoc., 4121 Westerly Place, Newport Beach, CA		
PLANS BY	Emil Benes Assoc., 14081 Yorba St., Tustin, CA 92680		
FILING DATE	3-8-85	50 DAY CPC ACTION DATE	REPORT BY: JP:sg
NEGATIVE DEC	4-1/85	EIR	ASSESSOR'S PCL NO. 225-960-04,05,06

APPLICATION: A. Negative Declaration

B. Special Permit to develop a 369 unit apartment complex in the Pheasant Creek PUD (Section 8-C-3)

LOCATION: 700 feet east of the northeast corner Truxel Road and West El Camino Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 369 unit apartment complex on two parcels in the Pheasant Creek PUD to be known as the Stonecreek Apartments.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
 1978 South Natomas Community

Plan Designation: Residential, 11-21 du/ac  
 Existing Zoning of Site: R-2B(PUD)  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single family and elementary school; R-1  
 South: Vacant and shopping center; R-2B(PUD), R-3-R, C-2-R  
 East: Vacant and single family; R-2B(PUD), R-1  
 West: Vacant and Discovery Village Townhouses; R-1A

Parking Required: 369 spaces  
 Parking Provided: Covered - 370 spaces; open - 185 spaces; Total - 555 spaces  
 Property Dimensions: Irregular

		<u>Stonecreek North</u>	<u>Stonecreek South</u>
Property Area:	17.3+ acres	9.41+ acres	7.98+ acres
Number of Units:	369 units	200 units	169 units
Density of Development:	21.3 d.u. per acre	21.25 du/ac	21.17 du/ac
Square Footage of Units:	680-1,063 sq. ft.		
Height of Building:	25 ft.		
Street Improvements:	Existing and to be provided		
Utilities:	Available to site		
Exterior Building Colors & Materials:	Beige & off-white stucco exteriors; mission red concrete tile roof; resawn wood trim and fencing		

BACKGROUND INFORMATION: On January 10, 1984, the City Council approved the necessary entitlements for the Pheasant Creek PUD (Exhibit A). The residential PUD consists of one 215 unit condominium development (22 du/ac), one 204 unit apartment development (21.7 du/ac), one 170 unit apartment development (21 du/ac) and a 59 unit zero lot line development (6 du/ac). The proposed project is located in a portion of this PUD (see Exhibit A).

**STAFF EVALUATION:** Staff has the following findings regarding this proposal:

- A. **Land Use and Zoning:** The subject site consists of two vacant parcels totaling 17.3+ acres and located in the Pheasant Creek PUD (P83-327). Both parcels are zoned Garden Apartment-Review (R-2B-R) and are designated for multiple family development on the approved Pheasant Creek PUD Schematic Plan (Exhibit A). Surrounding and existing uses include single family residential to the north and east, townhouses to the west and multiple family south of West El Camino Avenue.

The applicant proposes to construct a 369 unit apartment complex to be known as Stonecreek on the subject parcels (Exhibit B). Two hundred (200) units are proposed for Stonecreek North (21.25 du/ac) while 169 units are proposed for Stonecreek South (21.17 du/ac). The proposed land use is consistent with the General Plan, 1978 South Natomas Community Plan and the approved schematic plan.

- B. **Site Plan Design:**

**Stonecreek North** - Twenty-six (26) two story building clusters are proposed for the project site (Exhibit C). Twenty-four (24) of the buildings will be eight unit clusters and two buildings four unit clusters. Recreational facilities include a swimming pool, recreation room, tennis court and children's play area. The eastern portion of the site which proposes a cluster of 10 buildings (76 units), appears too dense and could benefit from additional open space. The South Natomas Community Association has reviewed the project and is in agreement with this reduction in density. Staff recommends the removal of one eight unit cluster and a redesign of the remaining units in this area (Exhibit C).

A 25 foot landscape setback is provided adjacent to Stonecreek Drive and Brewerton Drive. In order to discourage on-street parking and screen adjacent on-site parking from the street, staff recommends that a minimum four foot high undulating berms be required in this landscaped area. Walkways will be prohibited in this required setback. The applicant has also indicated that a low decorative wall will be designed into the berm areas at the corner of Brewerton Drive and Stonecreek Drive to discourage on-street parking.

An 80 foot building setback is indicated from the eastern property line adjacent to existing single family development. This will provide an adequate noise and visual buffer between the two residential uses. Large evergreen trees should be planted in the 10 foot planter adjacent to the property line to provide further screening. The applicant has also indicated a six foot high solid masonry wall along this property line. The design and materials of the wall shall be submitted for staff review and approval prior to issuance of building permits.

- C. **Stonecreek South** - Twenty-one (21) two story building clusters are proposed for the project site. All structures are proposed for eight unit clusters (Exhibit D). Recreational facilities include a swimming pool, recreation room and tennis court. Meandering streams and brooks are also proposed.

Staff has no objection to the proposed site plan design, based on the following findings and modifications:

A 25 foot landscape setback is provided adjacent to Stonecreek Drive and West El Camino Avenue. In order to discourage on-street parking and screen adjacent on-site parking from the street, staff recommends that minimum four foot high undulating berms be required in this landscaped area. Walkways will be prohibited in this required setback.

A minimum 60 foot building setback is indicated from the western property line adjacent to the existing Discovery Village Townhouses. This will provide an adequate noise and visual buffer between the two residential uses. Large evergreen trees should be planted in the 10 foot planter adjacent to the property line to provide further screening. As required by the original PUD approval, the landscape plan for this perimeter planting strip shall be reviewed by the Discovery Village Homeowners' Association prior to issuance of building permits. The applicant has also indicated a six foot high solid masonry wall along this property line. The design and materials of the wall shall be submitted for staff review and approval prior to issuance of building permits.

A portion of the project fronting along West El Camino Avenue consists of carports. These carports should be eliminated or designed with materials similar to the structures (no metal pole or metal trim) and shrubs shall be planted along the carports to create a screening hedge. In addition, the proposed berm along this frontage should be heavily landscaped with evergreen trees.

- D. Building Design: The applicant proposes building exteriors designed with Spanish tile roofs, light colored stucco walls and wood trim accents (Exhibits E and F). The same building elevations are proposed for both Stonecreek North and South. Staff has no objections to the proposed elevations, however, in order to create a sense of uniqueness and individuality between the two projects and avoid the appearance of one massive 369 unit apartment complex, staff recommends that a variation in building elevations, materials and colors be achieved between the two project sites in order to provide a different design theme.

Plans for the covered carports have not been submitted. The carports should be similar in design and materials to the proposed apartment units and utilize wood, rather than metal trim.

Trash dumpster and bicycle storage facilities shall follow the guidelines outlined in the multi-family design criteria (Exhibit H).

- E. Circulation: The Traffic Engineering and Parking Division has indicated that the proposed 20 foot wide divided main driveway openings do not provide adequate access to the subject parcels. These openings should be widened to 35 feet.

Parking for both Stonecreek North and South is provided at a ratio of 1.5 spaces for each dwelling unit. All units are provided with one covered parking space. This ratio meets the recommended parking ratio for multiple family developments.

- F. Signage: The submitted site plan indicates a proposed monument sign in the setback area at the northwest corner of West El Camino Avenue and Stonecreek Drive. The applicant should be aware that all proposed signage for the two projects must meet the requirements of the City's Sign Ordinance. The applicant should submit a complete sign program for staff review and approval.
- G. Staff supports the applicant's request. The two multiple family developments conform to the approved Pheasant Creek PUD Schematic Plan, and applicable Community and General Plans. Adequate parking, landscaping and building setbacks will be provided. The revised site plans and building elevations will be compatible with existing and future residential development in the area. Staff, therefore, recommends approval of the Special Permit request.
- H. The South Natomas Community Association has reviewed the plans and has no objection to the overall project and basically concurs with staffs suggested modifications.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

STAFF RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the Negative Declaration; and
- B. Approval of the Special Permit request, subject to conditions and based upon findings of fact which follow.

Conditions

1. ~~The applicant shall submit revised building elevations indicating a variation in building design, color and/or materials between the two project sites to the Planning Director for review and approval prior to issuance of building permits. (CPC deleted)~~
2. ~~A revised site plan indicating the removal of one eight unit cluster at the eastern portion of the site shall be submitted for staff review and approval prior to issuance of building permits. (CPC deleted)~~
3. Revised landscape, shading and irrigation plans shall be submitted for staff review and approval prior to issuance of building permits. These plans shall conform to the landscape criteria of Exhibit H. The landscape plans for the perimeter planting strip along the western property line of Stonecreek South shall be subject to the review and approval of the Discovery Village Homeowners' Association prior to issuance of building permits.
4. A six foot high solid decorative masonry wall shall be provided along the east property line of Stonecreek North and the west property line of Stonecreek South. Plans for the wall shall be submitted for review and approval by the Planning Director prior to issuance of building permits.

5. The applicant shall submit a sign program for the two projects to staff for review and approval prior to issuance of sign permits. The signs shall conform to the requirements of the City's Sign Ordinance and the attached Residential Design Criteria.
6. Driveway entrances shall be redesigned to the satisfaction of the Traffic Engineering Division.
7. The applicant shall abide by all applicable guidelines of the Pheasant Creek PUD.
8. The applicant shall utilize the attached Residential Design Criteria (Exhibit H) for the multiple family development.
9. The proposed carports shall be similar in design and materials to the proposed apartment units and utilize wood, rather than metal trim. Detailed elevations shall be submitted to the Planning Director for review and approval.
10. The proposed berm area along West El Camino Avenue shall be heavily landscaped with shrubs and evergreen trees to adequately screen the carports and vehicles.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the design and number of the proposed multiple family units are compatible with existing and proposed development in the area.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that:
  - a. adequate parking and landscaping shall be provided;
  - b. a six foot solid masonry wall will be provided between the single family and multiple family developments to act as a visual and noise buffer.
3. The proposed project is consistent with the 1974 General Plan and 1978 South Natomas Community Plan which designate the site for residential uses and with the approved Pheasant Creek PUD Schematic Plan.



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Square Footage of Units:	689,106 sq. ft.		
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Exterior Building Colors & Materials:	Beige & off-white stucco exteriors; mission red concrete tile roof; resawn wood trim and fencing		

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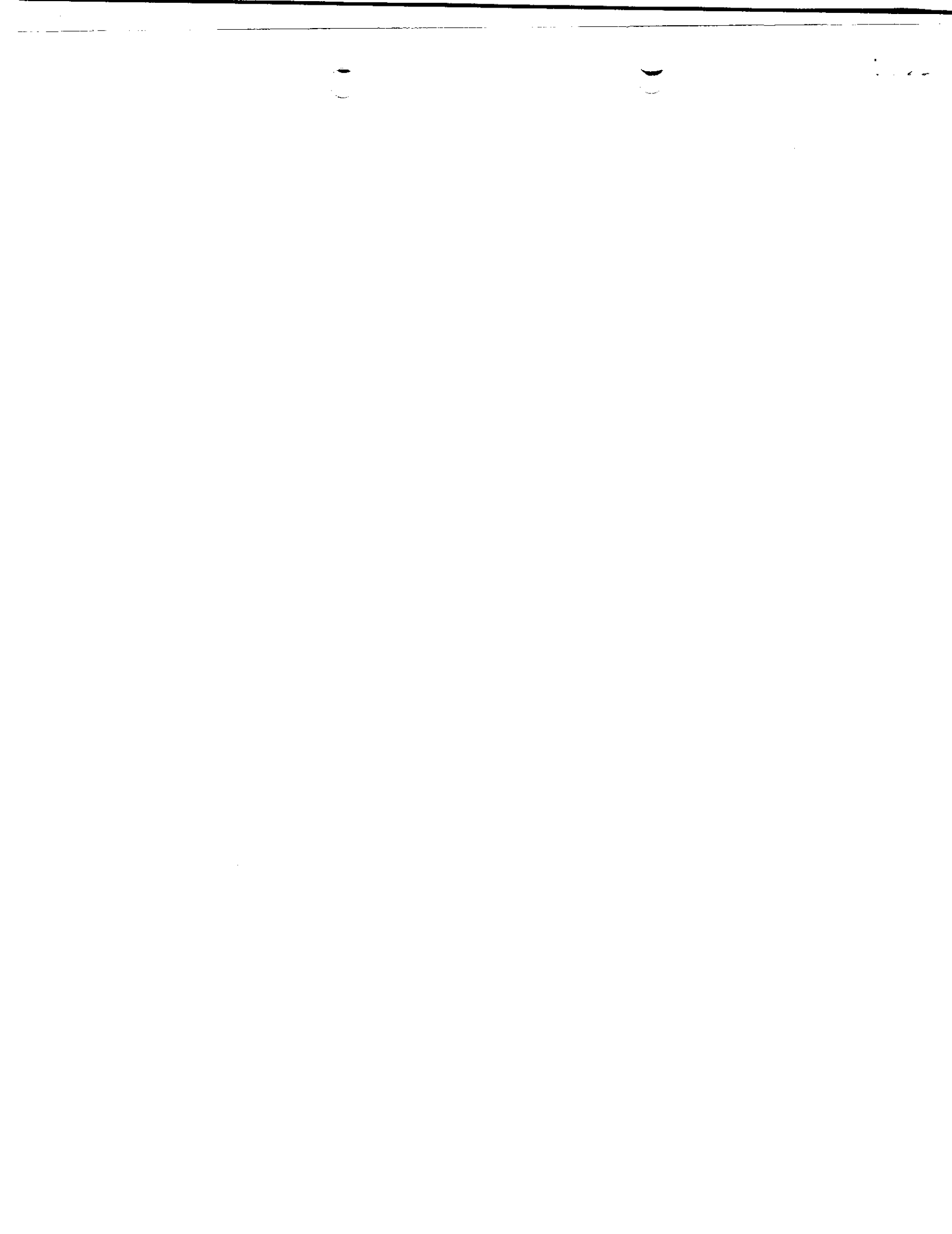
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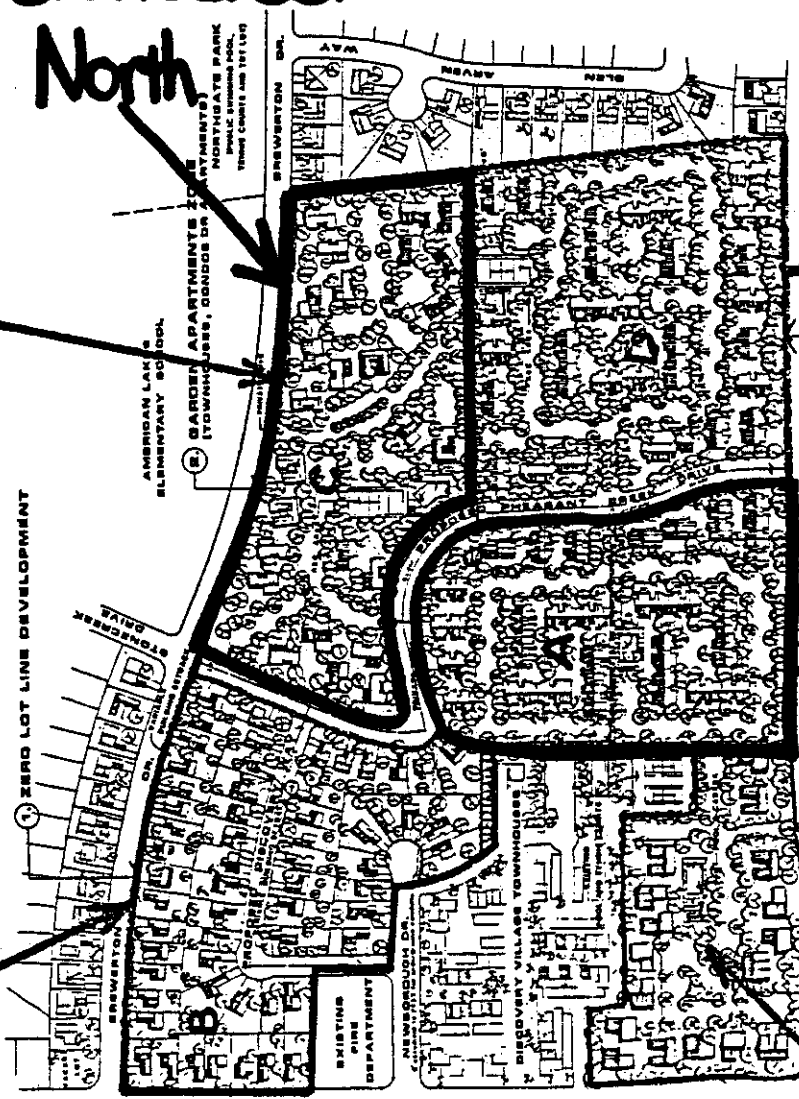




PHEASANT CREEK PUD  
SCHEMATIC PLAN

ZERO LOT LINE  
59 LOTS  
6 D.U./AC. (R-1A,PUD)

GARDEN APARTMENTS  
204 UNITS  
21.7 D.U./AC. (R-2B,PUD)



**Proposed Stonecreek North**

**Proposed Stonecreek South**

DELETED FROM P.U.D. PROPOSAL

MULTI-FAMILY  
170 UNITS  
21 D.U./AC. (R-2B,PUD)

CONDOMINIUMS  
215 UNITS  
22 D.U./AC. (R-2B,PUD)

**SCHEMATIC PLAN SUMMARY**

DESCRIPTION	ACRES	UNITS	D.U./AC.
ZERO LOT LINE DEVELOPMENT	1.5	6	4.0
GARDEN APARTMENTS	21.7	204	9.4
MULTI-FAMILY	21.7	170	7.8
CONDOMINIUMS	22.0	215	9.8
<b>TOTAL</b>	<b>56.9</b>	<b>495</b>	<b>8.7</b>

**EXHIBIT A**

THIS DESIGNATION PROVIDES FOR THE NEW LOWEST RESIDENTIAL DENSITY IN THE AREA. THE AVERAGE DENSITY WILL BE 7.5 UNITS PER AC. IN THE NORTH AND 9.8 UNITS PER AC. IN THE SOUTH. THE AVERAGE DENSITY WILL BE 8.7 UNITS PER AC. OVER THE ENTIRE AREA. THE AVERAGE DENSITY WILL BE 8.7 UNITS PER AC. OVER THE ENTIRE AREA. THE AVERAGE DENSITY WILL BE 8.7 UNITS PER AC. OVER THE ENTIRE AREA.



PHEASANT CREEK

CITY OF GASTON



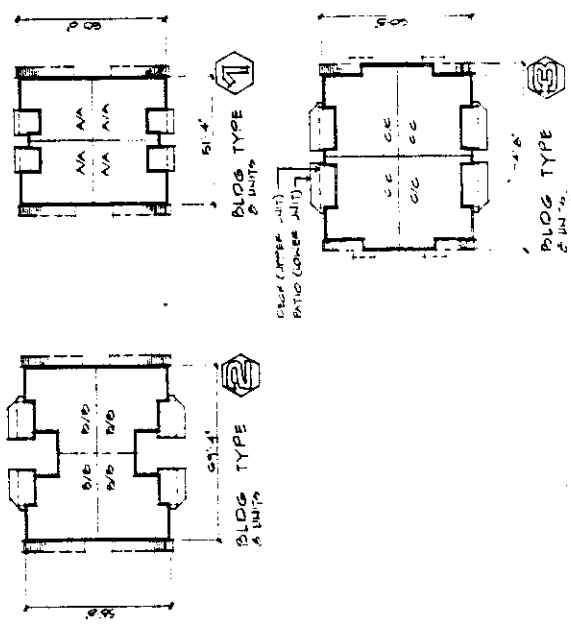
SEPT. 83





# EXHIBIT D

2



## LEGEND

- 1 COVERED PARKING (1500)
- 2 GREEN PARKING (2000)
- 3 LANDSCAPING (1000)
- 4 LANDSCAPING (1000)
- 5 ONE SUMMER TRASH ENCLOSURE
- 6 ONE SUMMER TRASH ENCLOSURE
- 7 MASONRY PERIMETER WALL 6' HIGH
- 8 MASONRY SCREEN WALL 6' HIGH

## ANALYSIS

CONDOMINIUMS

NET AREA 100,000 SQ. FT.

UNIT A 15

UNIT B 45

UNIT C 45

TOTAL 105 UNITS

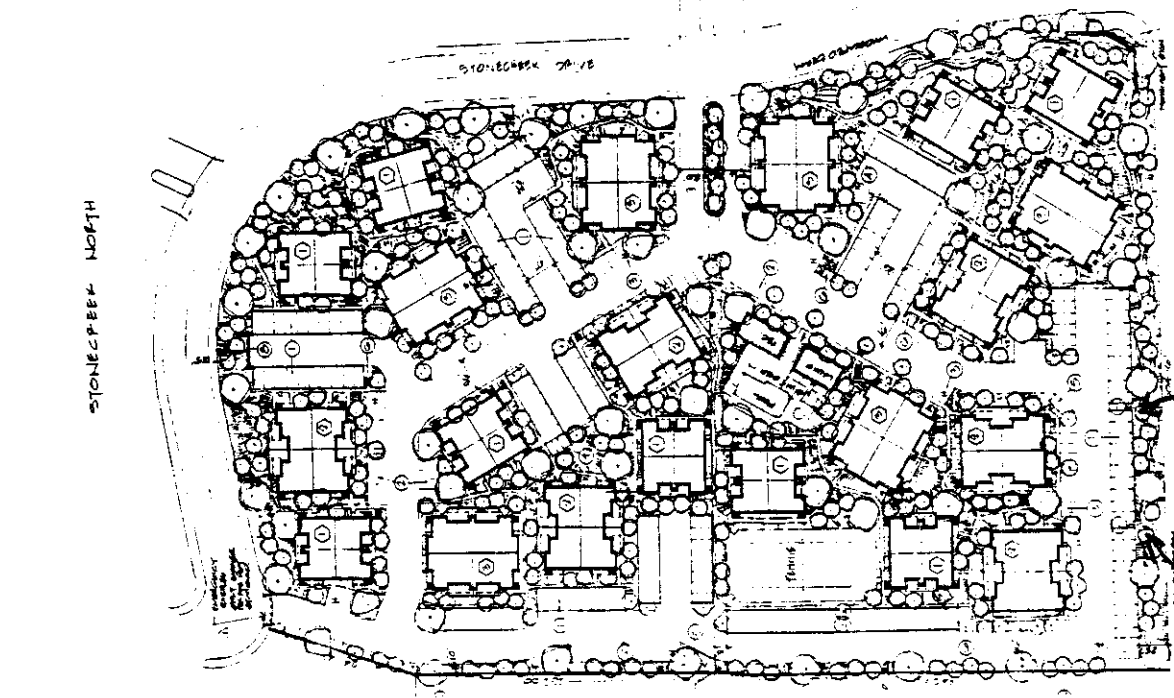
DESIGNY 2175 SQ. FT. PER UNIT

PARKING UNITS REQUIRED 105

UNITS COVERED TO 105

UNITS COVERED TO 105

TOTAL 105 UNITS



STONECREEK NORTH

STONECREEK SOUTH

AREA TO BE HEAVILY LANDSCAPED

P85-128

4/11/85

Ham No 30

P 85128







MULTIFAMILY RESIDENTIAL DESIGN CRITERIA  
P85-128

## A. GENERAL BUILDING DESIGN AND ORIENTATION

1. Design variations between the two projects shall be developed to create a sense of uniqueness and individuality. Large complexes using the same building design, materials, and colors should be avoided.

Design elements which achieve these objectives include: separate clustering of building groups with extensive open-space and landscape buffering between projects; variation in building elevations and configurations between projects; variation in building heights; use of different building materials or combination of different materials; contrasting color schemes between projects.

2. The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
3. Multi-family buildings adjacent to public streets shall be designed and oriented to minimize the likelihood of on-street parking by project residents. Examples of acceptable design and building orientation are:
  - minimize location of main entry doors of units facing the public street
  - orient ends of building toward public street
  - break up long buildings containing many units into smaller building clusters or incorporate a breezeway through midsection of a long building which provides closer access to off-street parking area for residents
  - locate off-street parking areas between the public street and building (off-street parking area to be located and screened behind bermed landscape setback area - Section B-4).
4. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
5. Buildings shall be designed and oriented to reduce overview of private backyards and patio areas of on-site and adjacent developments and windows from second story units.
6. Accessory structures shall be compatible in design and materials with main building.
7. Communal facilities shall be centrally located.



8. Recreational facilities shall be located and/or designed so as not to create a nuisance to surrounding units or to impact adjacent properties. Sufficient setbacks, landscaping and berming between recreation facilities and surrounding units shall be provided to minimize noise and visual conflicts.
9. Solar heating and cooling of units shall be achieved to the maximum extent possible.
10. Site planning shall take into account optimum solar orientation of structures.
11. Site planning shall minimize the incidences of one building shading another.
12. Private outdoor or garden areas shall be oriented to the south as much as possible.
13. Roofing materials shall be medium wood shake or shingle, or equivalent aluminum, concrete, tile, or other imitation shakes, subject to Planning Director approval.
14. The location of second story end unit windows shall be varied to provide variety in exterior unit detailing and designed in such a way as to reduce the incidence of overview into private first floor open space areas.
15. A minimum building setback of 50 feet shall be utilized on multiple family projects from interior and rear property lines abutting existing or future low density residential developments where two story structures are proposed. A minimum setback of 25 feet shall be required where single story structures in multiple family projects abut existing or future low density development.

B. OFF STREET PARKING DESIGN CRITERIA

1. Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly) of which a minimum 1:1 shall be covered parking. Six foot decorative masonry walls are required on interior property lines between parking lot areas and existing or proposed residential development. The design and materials used for covered parking structures shall be compatible to the main building structures.
2. For the convenience of tenants and guests, and to encourage the use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.
3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.

4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Surface parking areas and carport roofing shall be screened from second story units by trees or lattice and trellis work. If metal carport roofing is proposed, it shall be trimmed with wood. Carport design and materials subject to review and approval of the Planning Director.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports. If adjacent to non-residential development, the setback area shall be planted with large growing evergreen trees to screen adjacent use.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. There shall be a ratio of at least one tree for every five parking spaces planted throughout or adjacent to open and covered parking areas. Rows of parking stalls, either open or covered, shall be broken up by a tree planting approximately every 10 spaces.
11. The parking stall depth shall be reduced by two feet.
  - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
  - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
12. The more efficient 90 degree parking arrangement shall be utilized when possible, so as to minimize parking lot size.
13. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.

2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors. An auto turnout lane shall be provided adjacent to directory map to eliminate blocking of driveway entrance.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface textures.
6. Walkway connections between buildings and street sidewalks are discouraged if they encourage on-street parking by residents.

D. BICYCLE STORAGE

1. One bicycle parking facility is required for every ten (10) off-street parking spaces required, excluding developments which provide individual enclosed garages.
2. Fifty percent (50%) of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.
3. Bicycle racks and lockers shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
  - a. Compatible with one another and with existing material on the adjacent site.
  - b. Complimentary to building design and architectural theme.
  - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
  - a. The major treatment for all setback areas shall be lawn and trees. At least 75% of the ground cover treatment within landscaped areas within the entire project shall be lawn. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.

- b. Larger specimens of shrubs and trees along the site periphery, particularly along setback areas adjacent to public streets.
- c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
- d. Consistency with energy conservation efforts.
- e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
- f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher. Walkways between the complex and the public sidewalks are prohibited in the landscaped berms.
- g. Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.
- h. For crime deterrent reasons, shrubs planted below first floor windows should be of a variety which has thorns and/or prickly leaves.
- i. Large growing street trees (preferably deciduous) shall be planted within the landscape setback areas adjacent to all public streets as a means of reducing outdoor surface temperatures during summer months and to provide a visual buffer between the units and public street.

3. Landscaping of parking areas is discussed in Section B.

#### F. TRASH ENCLOSURES

1. The walls of the trash enclosure structure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main residential structures. Split face concrete block finish is recommended. Brick or tile veneer exterior finish should be avoided.
2. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure facility shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.

5. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. A concrete apron shall be constructed either in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at point of dumpster pickup.

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10' or width of enclosure facility; length 20'. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technicians (Plan Checker).

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

7. The enclosures shall be adequate in capacity, number, and distribution.

#### G. SIGNAGE

A project identification sign is permitted at each major entrance into the complex. The sign shall be a monument type located outside the required setback and can be incorporated into a low profile decorative entry wall(s). The height of the monument sign shall not exceed six feet.

The primary material of the monument base or wall shall be decorative masonry such as brick, split face concrete block, stucco or similar material which complements the design of the main buildings.

Individual letters and project logo are permitted. The signage program shall comply with the City Sign Ordinance and be subject to the review and approval of the Planning Director.

#### H. PERSONAL SAFETY DESIGN CRITERIA

Ordinance No. 84-056 relating to personal safety building code requirements has been adopted by the City Council on June 19, 1984. This ordinance applies to all residential building project including apartments and condominiums.

The building code requirements relate to: minimum outdoor lighting standards, addressing and project identification, door locking standards, etc.

A copy of this ordinance may be obtained from the City Building Inspections Division.

