

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Beverly Butler & Edwin McDonald, 6580 Havenside Drive, Sacramento, CA 95831		
OWNER	Beverly Butler & Edwin McDonald, 6580 Havenside Drive, Sacramento, CA 95831		
PLANS BY	David G. Williams & Associates, 7712-A Fair Oaks Blvd., Carmichael, CA 95608		
FILING DATE	5-10-84	50 DAY CPC ACTION DATE	REPORT BY: PB:bw
NEGATIVE DEC	6-4-84	EIR	ASSESSOR'S PCL NO. 031-340-16,55,60

- APPLICATION:
1. Negative Declaration
 2. Rezone three corner parcels totaling 1± acre from Single Family (R-1) to Townhouse (R-1A) zone
 3. Tentative Subdivision Map to subdivide three parcels into six halfplex lots within Greenhaven Unit No. 16
 4. Special Permit to develop six halfplexes
 5. Subdivision Modification to waive water and sewer services

LOCATION: Northwest corner Gavilan and Macero Way; southwest corner Graeagle Street and Santa Teresa Way and southwest corner Polvadera Court and Santa Teresa Way.

PROPOSAL: The applicant is requesting the necessary entitlements to develop six halfplex dwelling units currently under construction.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1976 South Pocket Community Plan Designation: Low Density Residential
Existing Zoning: R-1
Existing Land Use: Under construction

Surrounding Land Use and Zoning:

	<u>Gavilan</u>	<u>Graeagle</u>	<u>Polvadera</u>
North:	Single Family; R-1	Vac., under construction; R-1	Duplex; R-1
South:	Single Family; R-1	Single Family; R-1	Single Family, Vac.; R-1, R-1
East:	Duplex; R-1	Duplex, vacant; R-1	Single Family/duplex; R-1
West:	Single Family; R-1	Vacant; R-1	Single Family; R-1

Parking Required: 6 spaces
Parking Provided: 12 spaces
Ratio Required: 1 space per dwelling unit
Ratio Provided: 2 spaces per dwelling unit
Property Dimensions: Varies
Property Area: Total .76 acre
Density of Development: Approx. 5.6 du/ac overall
Square Footage of Lots: Varies
Square Footage of Buildings: 1,480
Height of Structures: 19'-6"
Significant Feature of Site: Halfplexes under construction
Topography: Flat
Street Improvements/Utilities: Existing

002530

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On May 30, 1984, by a vote of six ayes, three absent, the Subdivision Review Committee voted to recommend approval of the tentative map and subdivision modification. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and lot 15. These services must be paid for and installed at the time of obtaining building permits. Special backfill specifications will be required;
2. Separate water and sewer services are required for Lots 78 and 83;
3. File the necessary segregation requests and fees to segregate existing assessments, or pay off any existing assessments;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

Informational Items: 1) shall meet building code for halfplex development;
2) garage doors must be a minimum of 20 feet behind the property line.

STAFF EVALUATION: Staff has the following comments and concerns regarding this application:

1. The subject sites are located on three corners within a four-block area:
a) southwest corner Graeagle Court and Santa Teresa; b) southwest corner Santa Teresa Way and Polvadera Court; c) northwest corner Gavilan Court and El Macero Way.
The sites are zoned Single Family (R-1). The General Plan and the South Pocket Community Plan designate the area as residential. The approval of the rezoning request would not represent a more intense land use in that duplexes are allowed on corner lots. The halfplex concept allows individual ownership.
2. The requested rezone from R-1 to R-1A and a special permit are necessary for halfplex development. The three sites are generally surrounded by single family dwellings, with some vacant lots and corner duplex development. The floor plan is the same for all three sites, with a variation of the exterior design.
3. Planning and Community Services Divisions have determined that .0298 acres of land are required for parkland dedication purposes and fees are required in lieu of the dedication. The applicant shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the map.
4. The Subdivision Review Committee recommended approval of the Subdivision Modification to defer water services to lots 15B, 83B and 78. It has been a policy to not require additional service connections until building permits are issued. However, from field observation, construction has begun on Lots 78 and 83. The building permits for these structures were issued for duplexes. The Subdivision Modification therefore complies only to Lot 15B.

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ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse affect on the environment and has filed a Negative Declaration.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning of three parcels from Single Family (R-1) to Townhouse (R-1A) zone;
3. Approval of the Tentative Map, subject to conditions which follow;
4. Approval of the Special Permit, based on Findings of Fact which follow;
5. Approval of the Subdivision Modification.

Conditions - Tentative Map

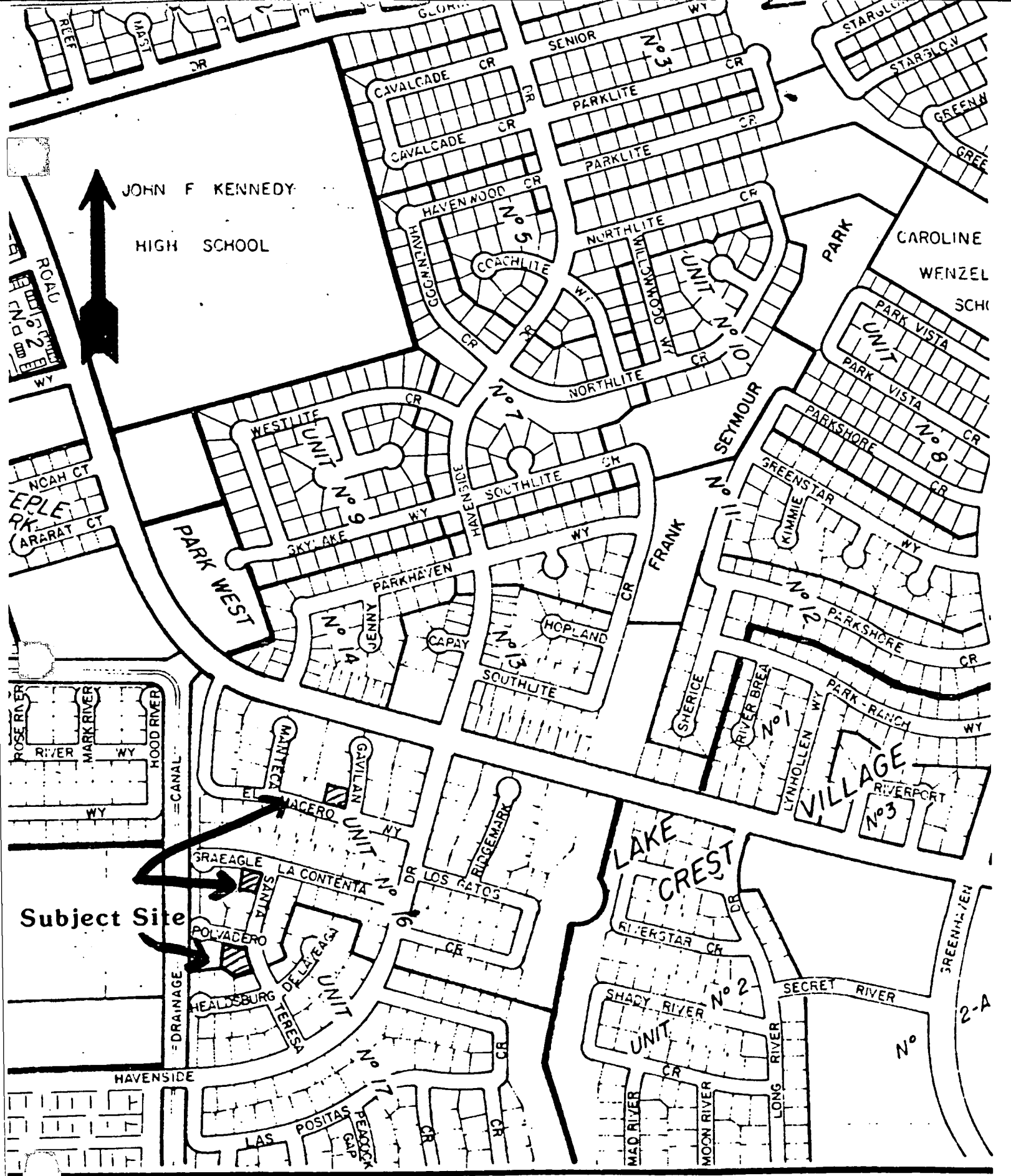
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- b. Separate water and sewer services are required for Lots 78 and 83;
- c. File the necessary segregation requests and fees to segregate existing assessments, or pay off any existing assessments;
- d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

Informational Items: 1) shall meet building code for halfplex development.
2) garage doors must be a minimum of 20 feet behind the property line.

Findings of Fact - Special Permit

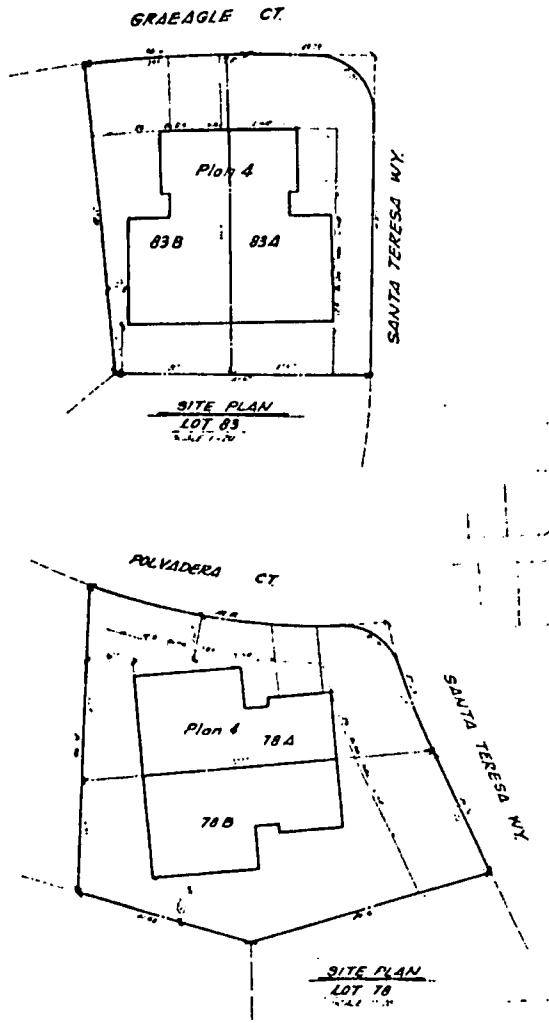
- a. As proposed, the project is based upon sound principles of land use in that:
 - 1) adequate space is available on the site to accommodate the type and density of the proposed project;
 - 2) the project is compatible with surrounding land uses which consist of single family and halfplex uses.
- b. The project, as proposed, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance, in that the project will adhere to the townhouse development standards which stipulate design and density criteria;
- c. The project is consistent with the land use element of the General Plan to:
"Allocate residential, commercial, industrial and other land uses in such a manner as to result in a desirable urban environment which satisfies the needs of the total community; and
"Provide safe, stable and attractive residential areas in which to live."
- d. The project is consistent with the goal of the Pocket area community plan to:
"Provide for a wide range of residential styles and densities which are compatible with each other."



LOCATION MAP

002534

054-175



002535

RECORD OWNER & SUBDIVIDER:

RECORD OWNER: THE SPINK CORPORATION
SUBDIVIDER: THE SPINK CORPORATION

ENGINEER:

ENGINEER: [Name]

PROPOSED USE & ZONE:

PROPOSED USE & ZONE: [Description]

PRESENT USE & ZONE:

PRESENT USE & ZONE: [Description]

ACREAGE:

ACREAGE: [Value]

WATER SUPPLY:

WATER SUPPLY: [Description]

SCHOOL DIST.:

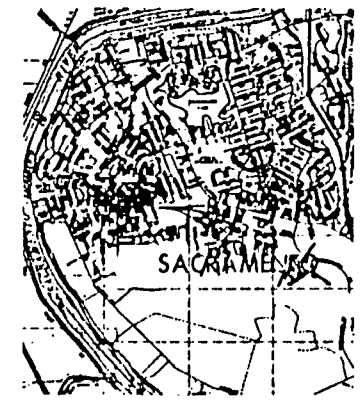
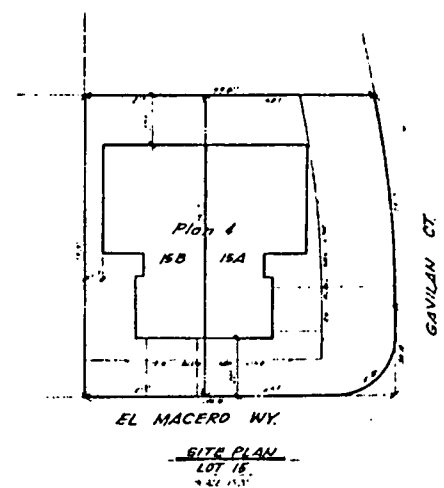
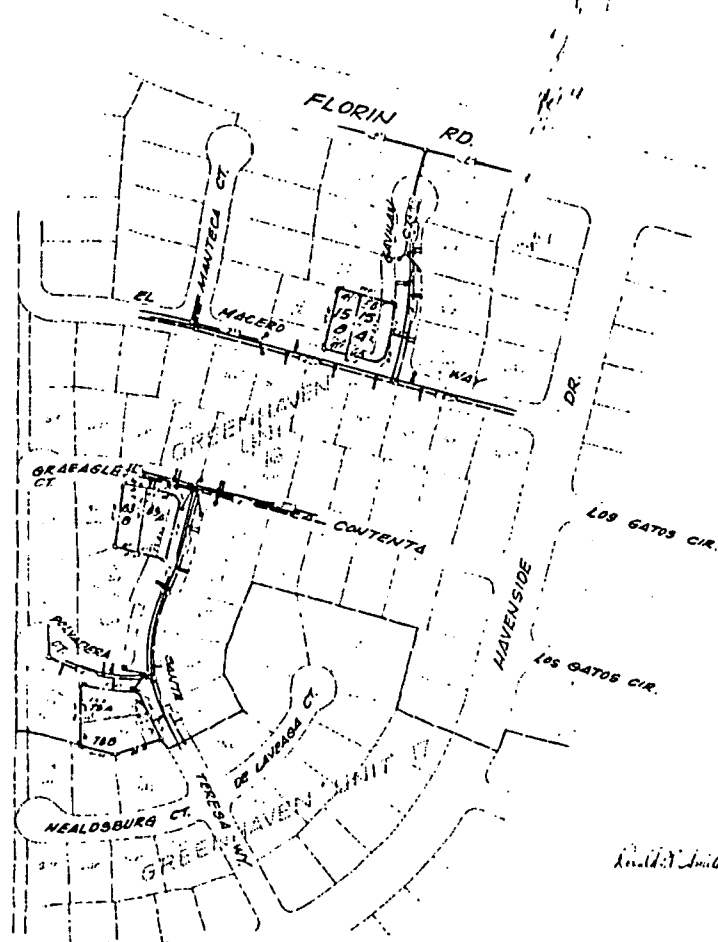
SCHOOL DIST.: [Description]

SEWAGE DISPOSAL:

SEWAGE DISPOSAL: [Description]

A.P.N.:

A.P.N.: [Value]



LEGAL DESCRIPTION:

LEGAL DESCRIPTION: [Detailed description of the property]



THE SPINK CORPORATION
720 P ST
1311 H STREET
SACRAMENTO
CA 95814
916-444-0770

- ARCHITECTURE
- ENVIRONMENTAL
- PLANNING
- ENGINEERING
- CONSTRUCTION
- MANAGEMENT

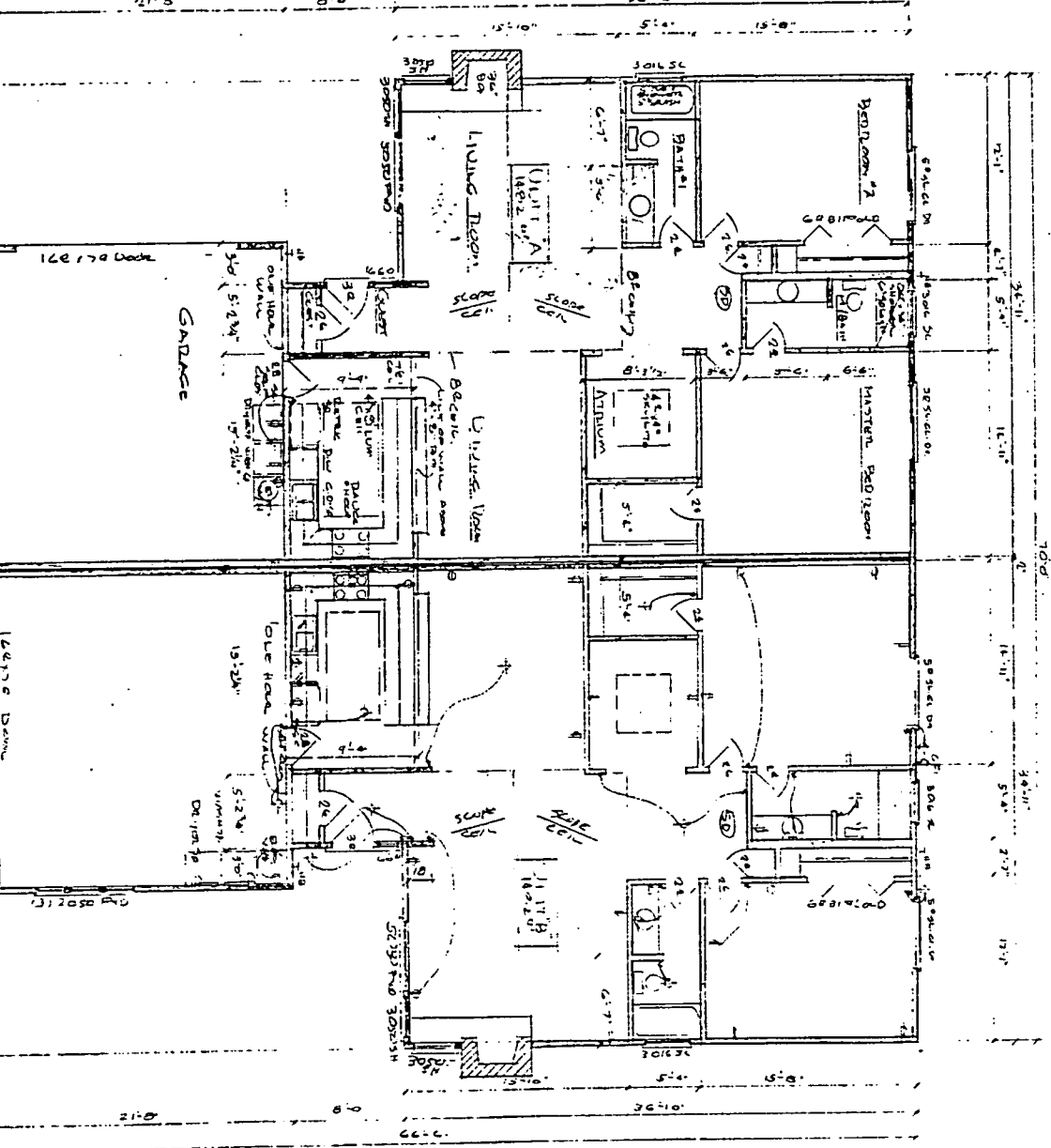
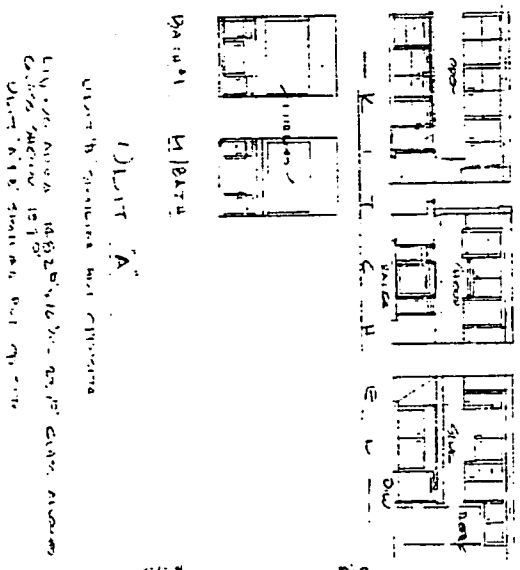
**TENTATIVE MAP OF
LOTS 16, 78 & 83
GREENHAVEN UNIT NO. 16
CITY OF SACRAMENTO
CALIFORNIA**

- ARCHITECT RESERVES THE COPYRIGHT TO ALL DRAWINGS HEREON
- CONTRACTOR & RESPON FOR VARIATIONS OF ALL DIMENSIONS
- CONTRACTOR SHALL PROTECT THESE PROJECTIONS OVER SCALE
- ANY DIMENSION FROM DRAWING OR SPECIFICATIONS SHALL REQUIRE ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION



002536

FLOOR PLAN 5/15/50



UNIT "A"
 UNIT "B" STRUCTURE NOT APPROVED
 LIVING ROOM 14'-0" x 16'-0" - 12' x 12' CASE, RUGS
 CLOSET, BATH, KITCHEN, 12' x 12'

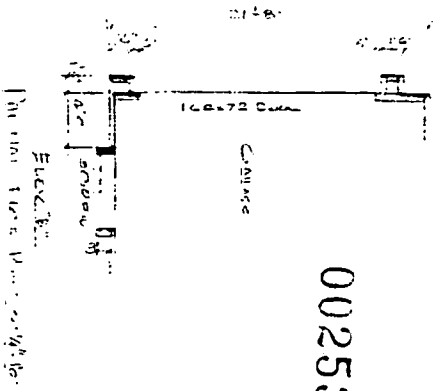
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BY	D.G.W.
CHECKED	
SCALE	1/8" = 1'-0"

MARINE CONSTRUCTION
 428-4955

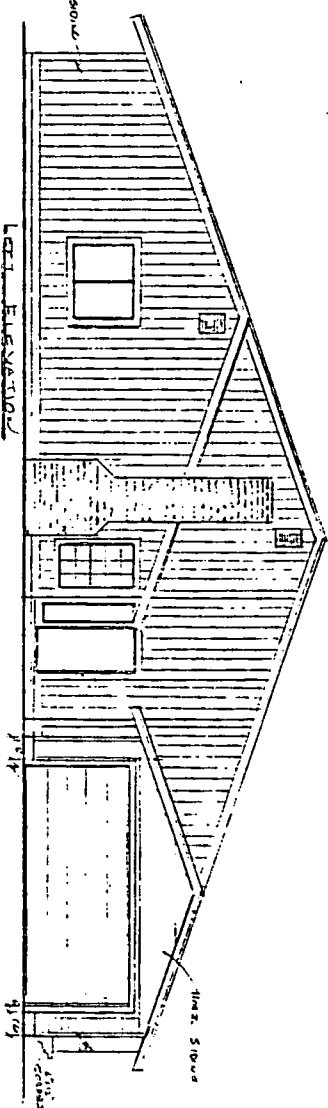
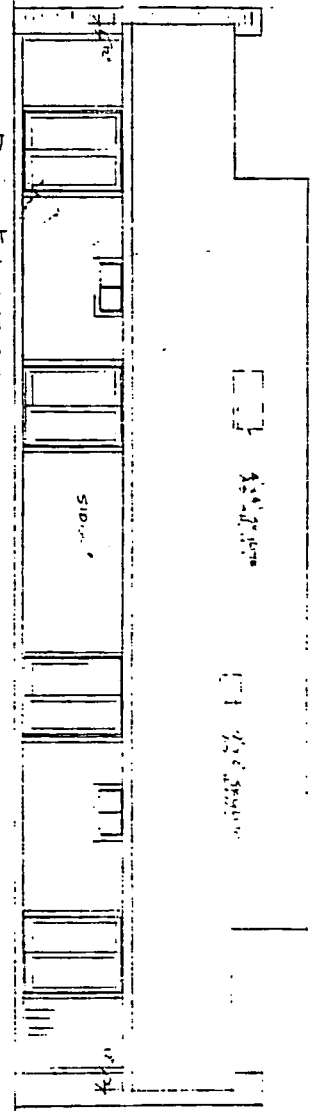
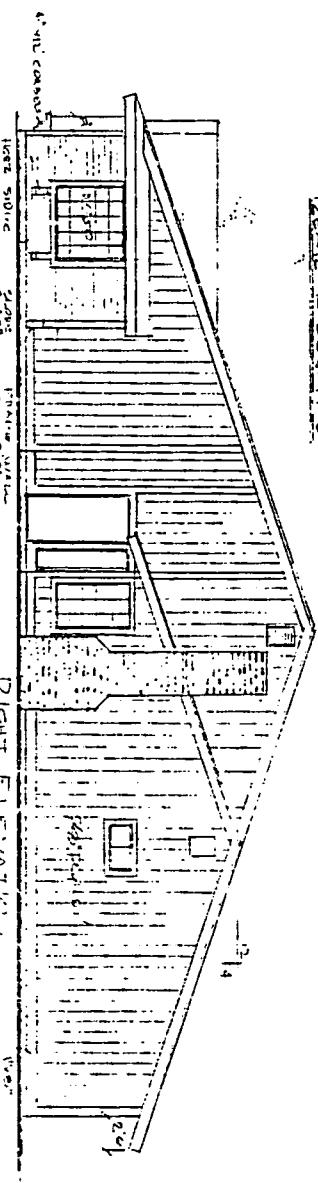
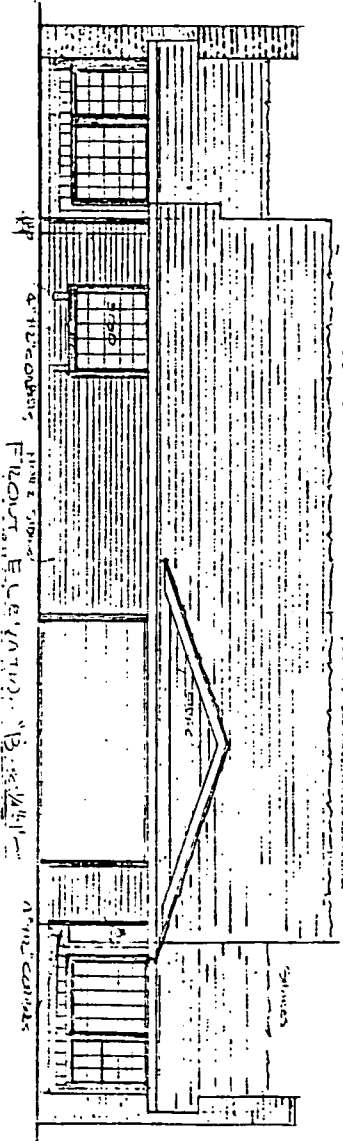


DAVID G. WILLIAMS & ASSOCS.
 BUILDING DESIGNERS - PLANNERS
 7712-A FAIR OAKS BLVD.
 CARMICHAEL, CALIFORNIA 95608
 (916) 944-3201

NO.	1
DATE	5/15/50
BY	D.G.W.
CHECKED	
SCALE	1/8" = 1'-0"



002537



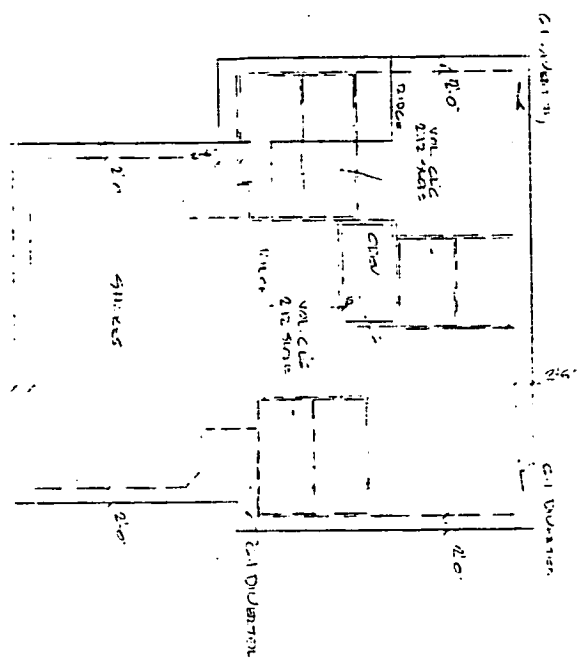
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BY	D.G.W.
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SCALE	AS SHOWN

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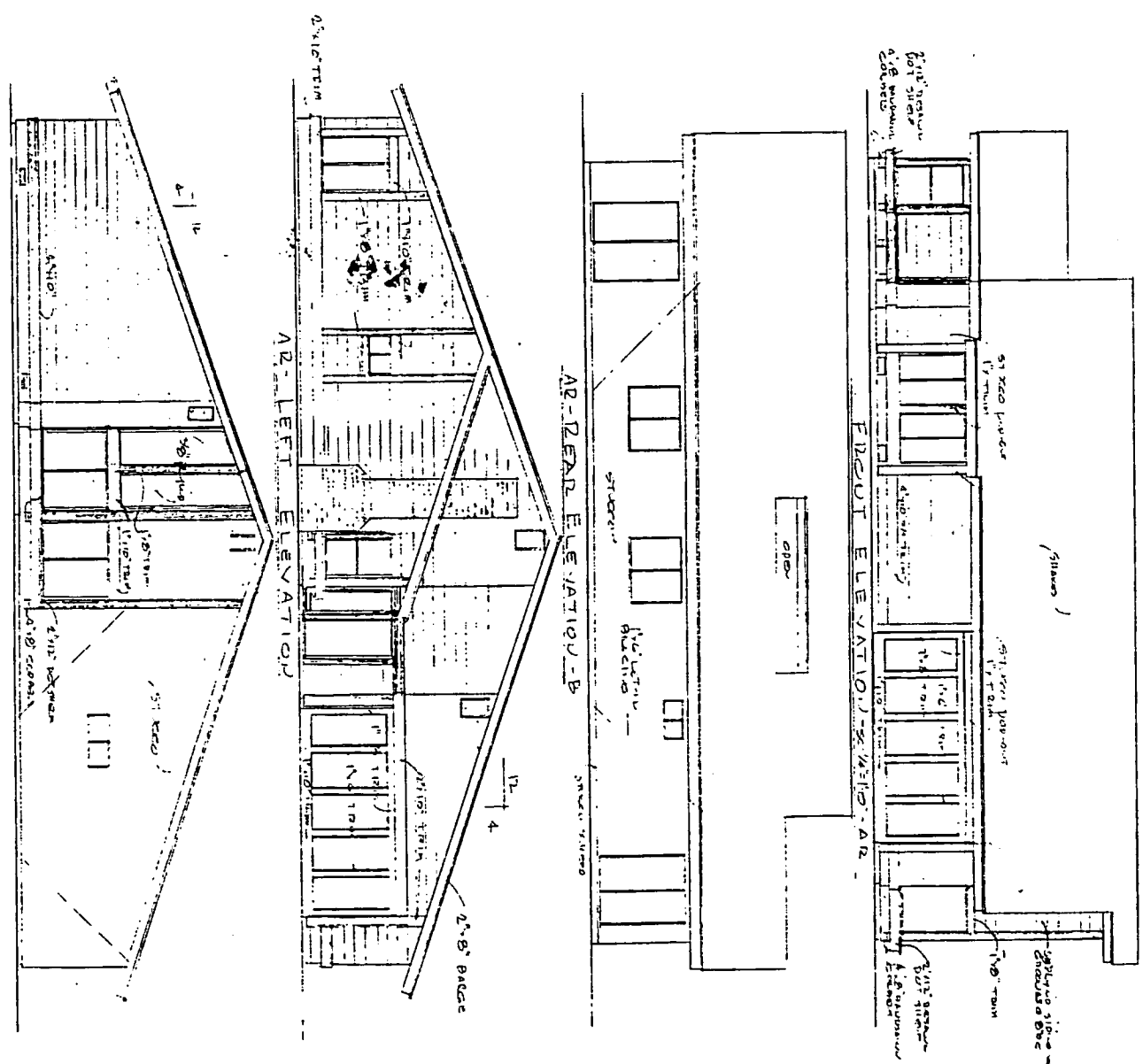
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 CARMICHAEL CALIFORNIA 95608

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002538



AR - RIGHT ELEVATION

AR - LEFT ELEVATION

AR - REAR ELEVATION - B

FRONT ELEVATION - SECTION A-B

DATE	
BY	
CHECKED	
PROJECT NO.	002538
DATE	

DAVID G. WILLIAMS & ASSOCS.
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 7712-A FARM OAKS BLVD. (951) 844-3201
 CARMICHAEL CALIFORNIA 95608

084-175

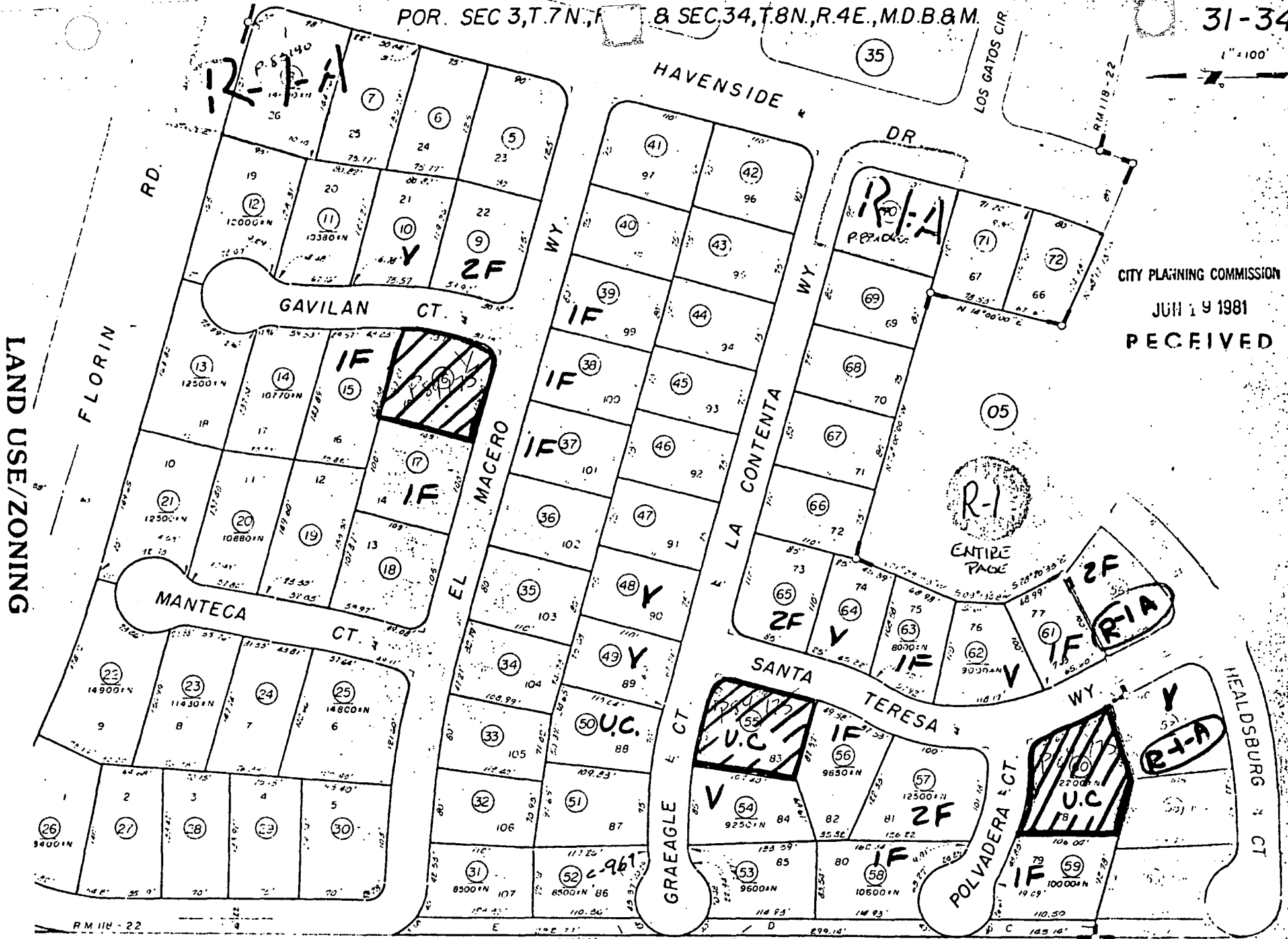
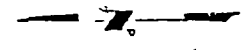
6-14-84

No. 17

POR. SEC 3, T. 7 N., R. 4 E., M. D. B. & M. & SEC. 34, T. 8 N., R. 4 E., M. D. B. & M.

31-34

1"=100'



CITY PLANNING COMMISSION
 JUL 19 1981
 RECEIVED

LAND USE/ZONING

FOR M/R SEE 031-050-0780

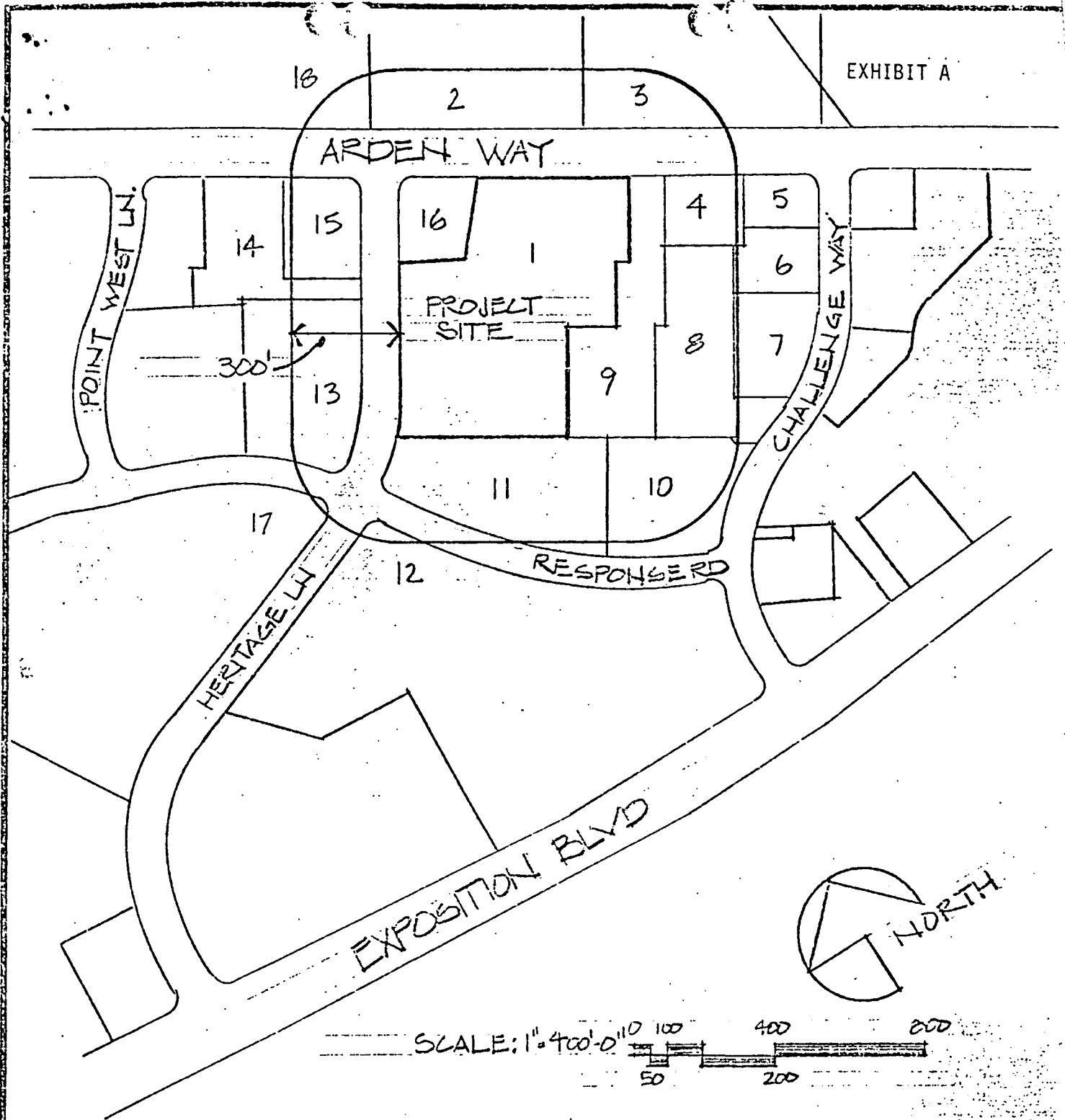
002539

or. Greenhaven Unit No.16, R. M. Bk.118 Pg.22 (2-28-78)

③ 5260'N
② 5290'N
② P 1657

CITY OF SACRAMENTO
 Assessor's Map Bk. 31 Pg. 34
 County of Sacramento, Calif.

EXHIBIT A



002541

P 84178



CARISSIMI-ROHRER ASSOCIATES
Architects and Planners, Inc.

1515 River Park Drive
Sacramento, California 95815

ARDEN HERITAGE
OFFICE PARK

1610 ARDEN WAY
SACRAMENTO
CALIFORNIA

Drawn by

Checked

Job No. M158

Date 7.31.81

Sheet number

Of (sheets)

GAVILAN CT.

