

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Catholic Social Service - 1121 9th Street, Sacramento, CA 95814		
OWNER	Heritage Investors #1 - 918 J Street, Suite B1, Sacramento, CA 95814		
PLANS BY	_____		
FILING DATE	5-22-86	ENVIR. DET.	5-29-86
ASSESSOR'S-PCL. NO.	006-101-10		
REPORT BY	EG:sg		

APPLICATION: Special Permit to establish a senior citizens' social service center.

LOCATION: 918 J Street

PROPOSAL: The applicant is requesting the necessary entitlement to establish a seniors' center (Camellia Center).

PROJECT INFORMATION:

1974 General Plan Designation: CBD
1980 Central City Community
Plan Designation: Multi Use
Existing Zoning of Site: C-3
Existing Land Use of Site: Office

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Park; C-3	Front:		
South: Commercial; C-3	Side(Int):		
East: Commercial; C-3	Side(St):	Existing Building	
West: Commercial; C-3	Rear:		

Property Dimensions: 40' x 160'
Property Area: 0.15+ acres
Square Footage of Building: 4,000 sq. ft.
Height of Building: 27 ft.
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Concrete/stucco

PROJECT EVALUATION: Staff has the following comments:

- A. The subject site is zoned Central Business District (C-3) and is developed with a two-story office building. The site is designated for central business district/office uses in both the General Plan and the 1980 Central City Plan.
- B. The site is developed with a two-story office building. The applicant is proposing to operate a senior citizens' social service center (Camellia City Center). The seniors' center would be located on the top floor of the building and will occupy approximately 4,000 square feet of floor space. A portion of the floor space will be converted into a kitchen area. All areas of the proposed center are also handicapped accessible. The center would be open from 8 am to 4 pm, Monday through Saturday, with 10 employees working each shift (eight staff employees and two volunteers). The applicant has indicated that no more than 100 persons would utilize the center at any one time.

APPLC. NO. P86-201 MEETING DATE June 26, 1986 ITEM NO. 15

The Camellia Center is presently located at 1121 9th Street. The center provides recreation, socialization, nutrition, outreach-advocacy and information-referral services to seniors residing in the downtown area. The center is proposing to relocate due to the fact that the rent at their present location has been increased.

- C. The project has been reviewed by the Redevelopment Agency and the Fire Department. The Fire Department has indicated that the building meets code.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have an impact on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends the following:

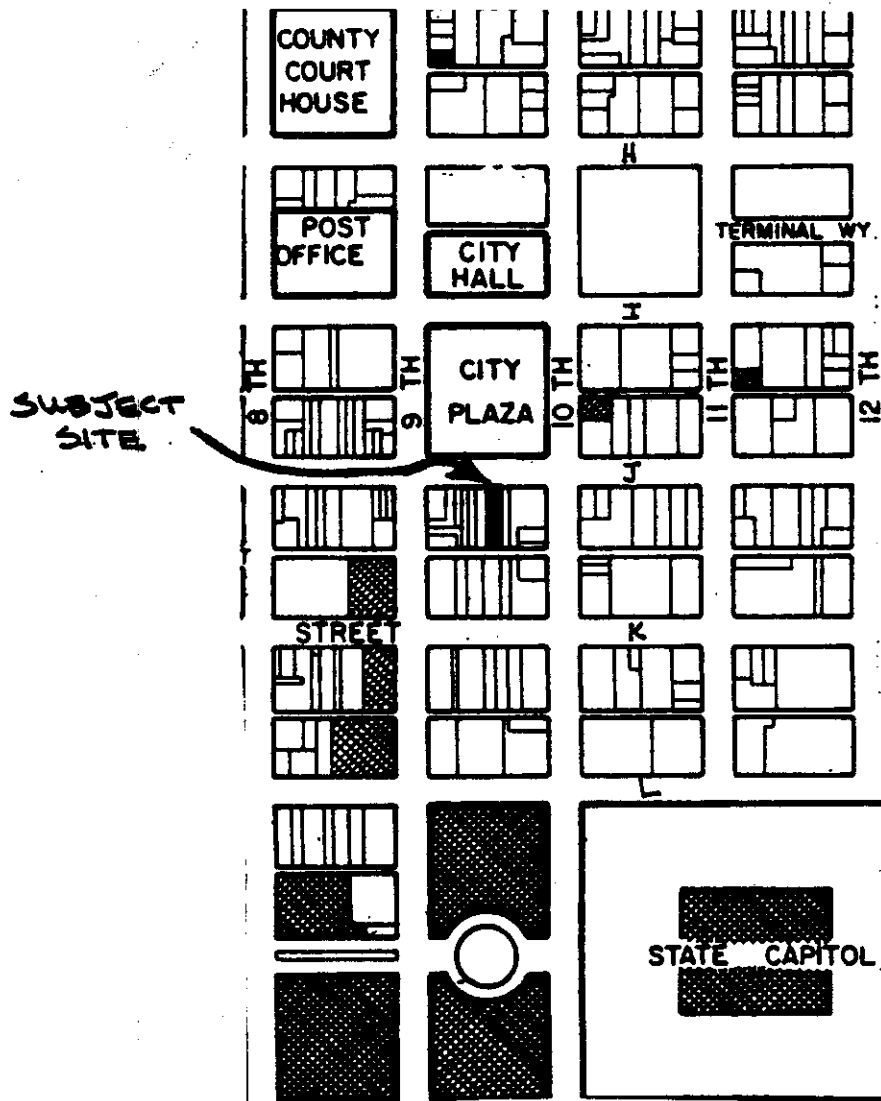
- A. Ratify the negative declaration; and
- B. Approve the special permit, subject to conditions and based upon findings of fact which follow.

Conditions

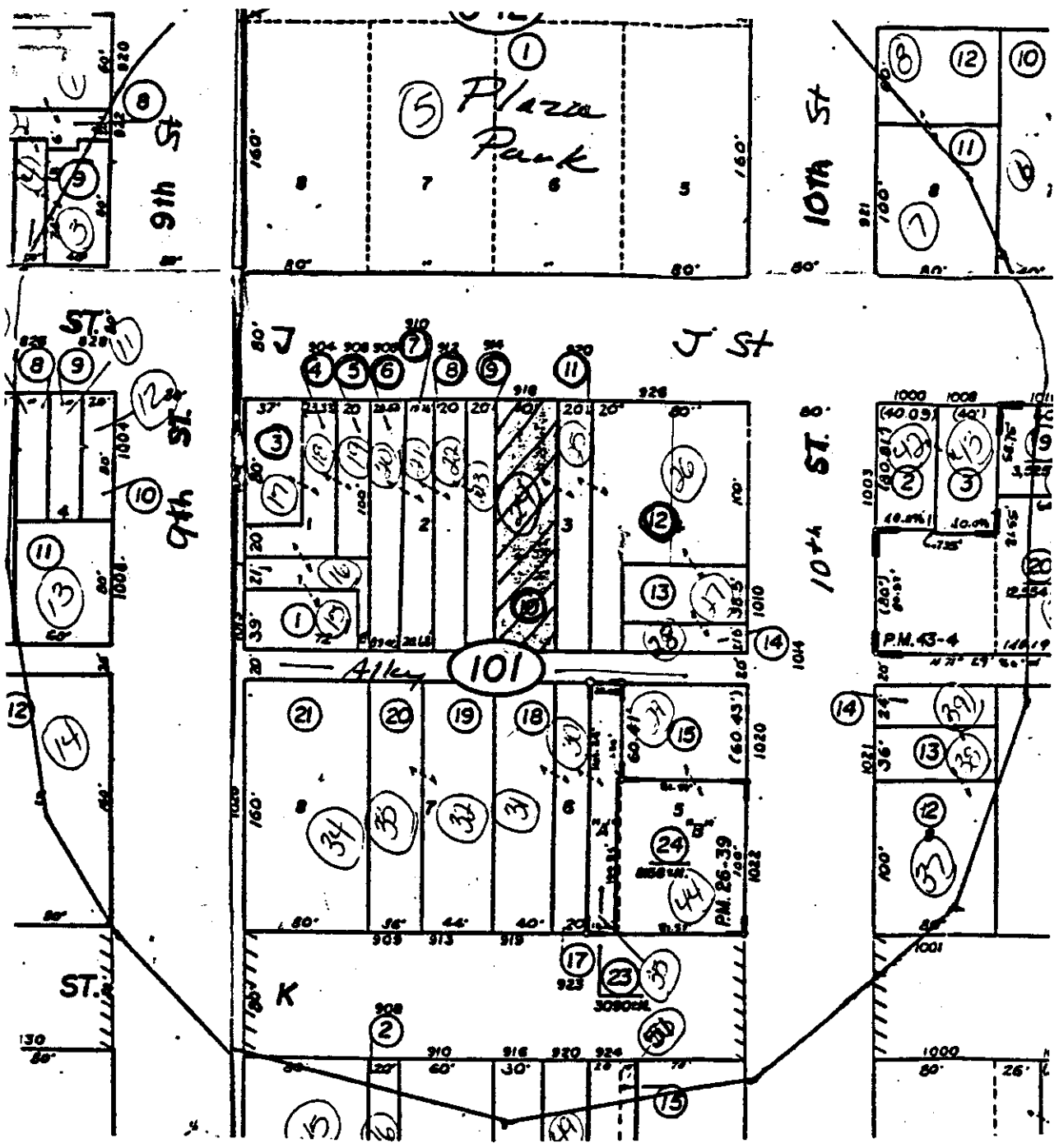
1. The applicant shall comply with all applicable building and fire code regulations.
2. The applicant shall obtain a building permit for all interior remodeling and/or renovations.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed seniors' center is compatible with surrounding commercial uses.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor create a nuisance in that:
 - a. the proposed community center will not significantly alter the characteristics of the site or surrounding uses; and
 - b. the existing building complies with building and fire codes.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for multi-use by the 1980 Central City Community Plan and the proposed seniors' center use conforms with the plan designation.



VICINITY MAP

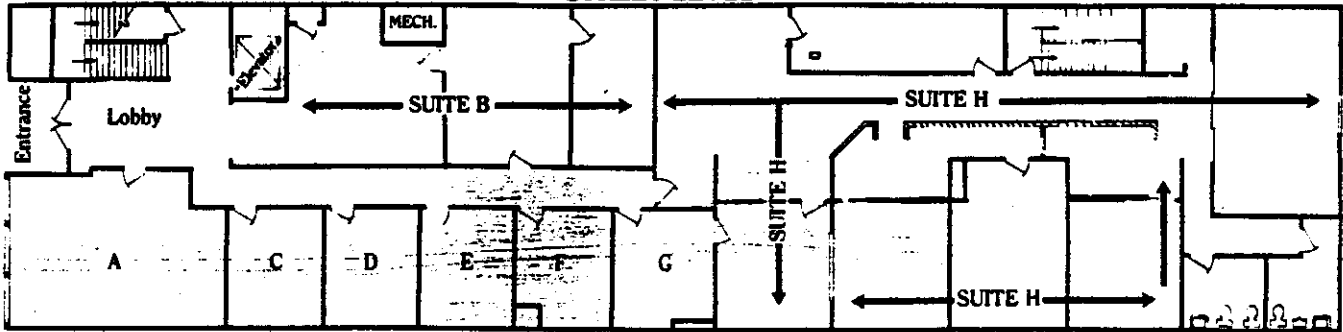


LAND USE & ZONING MAP

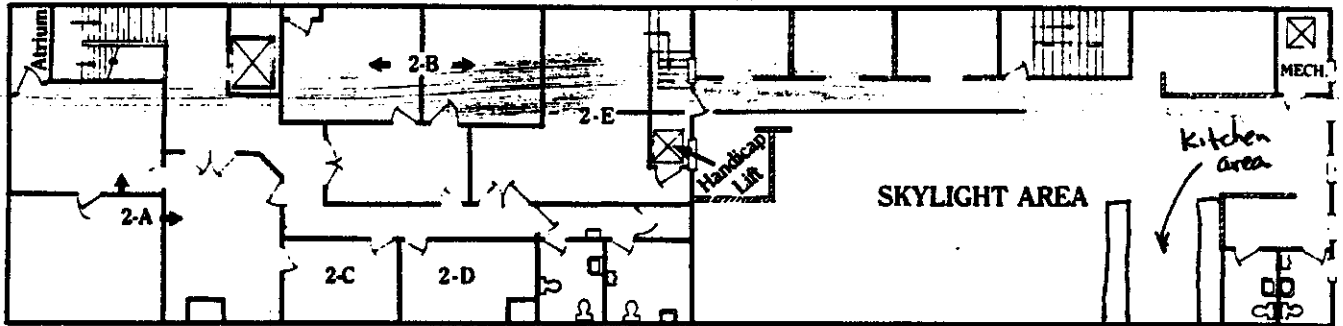
THE CHARTER BUILDING

918 "J" Street

STREET LEVEL



THIRD LEVEL



senior citizens social center area

LOWER LEVEL

