

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

Previous Approval

APPLICANT	Sharrel E. Ford, 355 Barrette Ave., Sacto, CA 95815				
OWNER	David Leippe, 10949 Scotsman Way, Rancho Cordova, CA 95670				
PLANS BY	Florin Enterprises, Inc., 7995 Bradshaw Rd., Sacto, CA 95829				
FILING DATE	8/8/86	ENVIR. DET.	Neg Dec 8/13/86	REPORT BY	DH:JG
ASSESSOR'S PCL. NO.	250-0240-009				

- APPLICATION:**
- A. Negative Declaration
 - B. Special Permit to allow a 2,560+ square foot church, seating capacity of 70 and 25 space parking lot on 1 vacant acre in the Single Family (R-1) zone.
 - C. Variance to waive the required 6 foot high solid masonry wall separating residential from non-residential uses. (Withdrawn)

LOCATION: 428 Rimmer Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 70 seat church in the R-1 zone.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1986 South Natomas Community Plan Designation: Low Density Residential, 4-8du/acres
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	25'
South: Single Family; R-1	Side (Int):	5'	6'
East: Single Family; R-1	Side (St):	5'	95'
West: Single Family; R-1	Rear:	15'	187'
Parking Required:		12 spaces	
Parking Provided:		25 spaces	
Property Dimensions:		142 ft. x 300 ft.	
Property Area:		1+ acre	
Square Footage of Building:		2,560 sq. ft.	
Height of Building:		One Story	
Topography:		Flat	
Street Improvements:		Existing	
Utilities:		Existing	
Exterior Building Materials:		Stucco	
Roof Material:		Composition Shingle	
Hours of Operation:		Sunday 9:45 - 12:00 a.m.	
		Sunday 6:00 - 8:00 p.m.	
		Wednesday 7:30 - 9:00 p.m.	
Maximum Seating Capacity:		70	

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PROJECT EVALUATION:

Staff has the following comments:

- A. **Zoning/Land Use:** The subject site is zoned Single Family residential, R-1 as is the surrounding property in all directions. Surrounding land uses are Single Family residential. The subject parcel is one of the last vacant lots of 1 acre along Rimmer Avenue. The 1986 South Natomas Community Plan designates the site for Low Density Residential, 4-8 du/acre. Churches are allowed in the R-1 zone subject to granting a special permit.
- B. **Site Plan/Building Design:** The applicant proposes to construct a 2,560 square foot church with 70 seats. A total of 25 parking spaces are proposed onsite with 12 spaces actually required as per City Code. The applicant proposes to landscape the front 25 feet with lawn, maintain a 6 foot side yard landscape strip along the west property line and leave undeveloped the rear half of the lot. A six foot solid fence is proposed along the south, east and west property line. Materials have yet to be decided. A 4 foot high chain link fence has been constructed along the back of sidewalk along Rimmer Avenue. Staff recommends that this fence be either reduced in height to 3 feet or setback 25 feet from the front property line in order to comply with City Code.
- C. **Parking Access:** The applicant shows 25 spaces for parking on the site. Required parking is 12 spaces. All parking areas will be required to meet City requirements for a parking lot for shading, maneuvering area and parking space. Only 30 percent of the required parking can be compact spaces.

Staff field checked the subject site and noted that Rimmer Avenue is adequate in width to allow access to the site. The church has informed staff that due to the small size of the congregation, 40 members, traffic will not be intensive during Wednesday, Saturday or Sunday use.

A petition opposing the project was submitted by residents of Rimmer citing the narrow width and fact that Rimmer dead ends at the Drainage Canal without a cul-de-sac. Twenty-six individuals signed the petition located at 20 addresses along Rimmer Avenue (Exhibit B). Staff has also been contacted by two individuals who do not have a problem with the church at the site.

Staff recommends approval of the special permit based upon the fact that the site is adequate in area and the small size of the congregation should not significantly affect the neighborhood. On street parking will not be allowed in front of surrounding properties according to the church. Since the rear half of the lot will not be developed at this time, future parking could be provided on site.

D. **Drainage:**

Along the west property line an existing open drainage ditch is located which drains the lot and rear portions of adjacent lots to Rimmer Avenue. Detailed drainage and engineered plans showing on site drainage collection will be required at the time of building permit issuance. Staff recommends that a revised site plan, landscaping and

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irrigation plans be reviewed and approved by the Planning Director prior to issuance of building permits. The plans should show landscape treatments along the east and west property lines which includes shrubs and trees. The front 25 foot yard shall be intensively landscaped with 15 gallon trees and shrubs with living ground cover. A mix of evergreen and deciduous trees shall be shown.

- E. Agency Comments: The City Engineer commented that the Rimmer Avenue improvements were installed as part of Gardenland #5A by the City of Sacramento. The South Natomas Community Association was contacted by telephone and responded that they had no problem with the proposed church use.

ENVIRONMENTAL DETERMINATION

The Environmental Coordinator has reviewed the proposed project and has filed a Negative Declaration.

RECOMMENDATION

Staff recommends the following actions:

- A. Ratify the Negative Declaration; and
- B. Approve the Special Permit subject to conditions and based upon findings of fact which follow.

CONDITIONS: SPECIAL PERMIT

1. The chain link fence located along Rimmer Avenue shall be reduced in height to 3 feet or relocated behind the 25 foot front yard setback to comply with the City Fence Ordinance prior to issuance of building permits.
2. The proposed church shall be developed as per the submitted site plan and elevations submitted.
3. Total seating capacity shall be limited to 70.
4. Revised site plan and detailed landscaping and irrigation plans shall be reviewed and approved by the Planning Director prior to issuance of building permits.
5. A detailed drainage plan and commercial driveway approach shall be designed and approved by the City Engineer and Traffic Engineer prior to issuance of building permits.
6. All church signs shall comply with the City Sign Ordinance.
7. The parking lot shall comply with the City Parking Ordinance for aisle width, stall dimension and maneuvering area. The lot shall be shaded in accordance with the Tree Shading Ordinance.

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8. All on site lighting shall be directed onto the subject site and not reflect onto adjacent residentially zoned property.
9. A trash enclosure shall be shown on revised site plans complying with the Trash Enclosure Guidelines, (Exhibit A) if outdoor trash recepticals are planned. No unscreened dumpsters or garbage cans shall be allowed.

FINDINGS OF FACT - SPECIAL PERMIT

1. The project, as conditioned, is based upon sound principles of land use, in that the proposed church development is compatible with surrounding uses which consist of residential and commercial uses.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, or result in the creation of a nuisance because off-street parking and landscaping will be provided.
3. The proposed project, with a special permit, is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for residential use by the 1984 North Sacramento Community Plan, and the proposed church use conforms with this plan designation subject to securing a special permit.

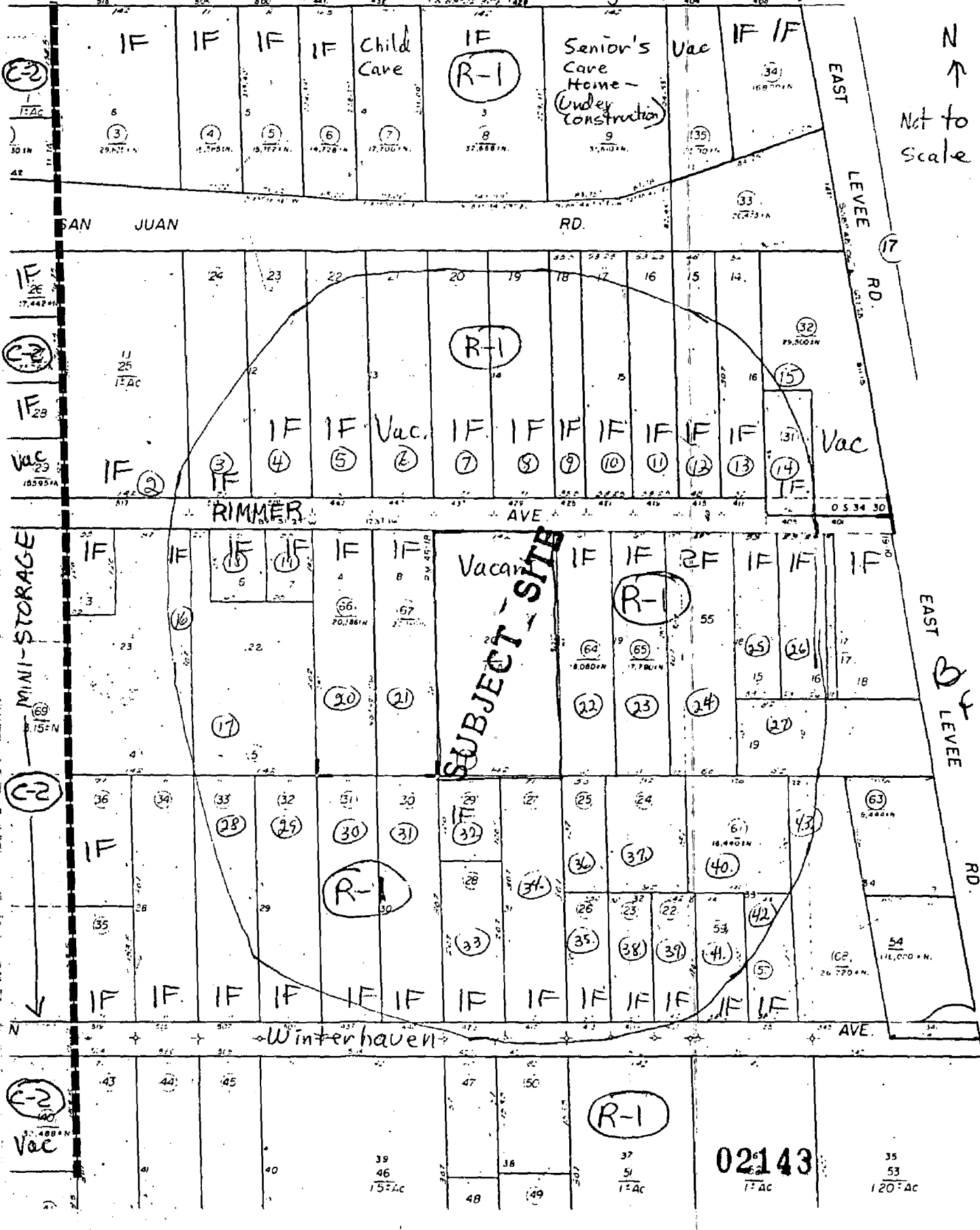
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VER EAGLE

West Silver Eagle RD.

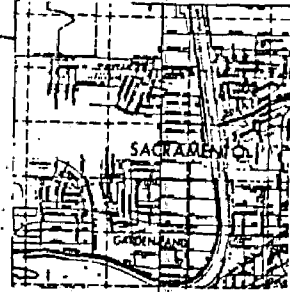
R-19-10

N
↑
Not to
Scale



LAND USE & ZONING MAP

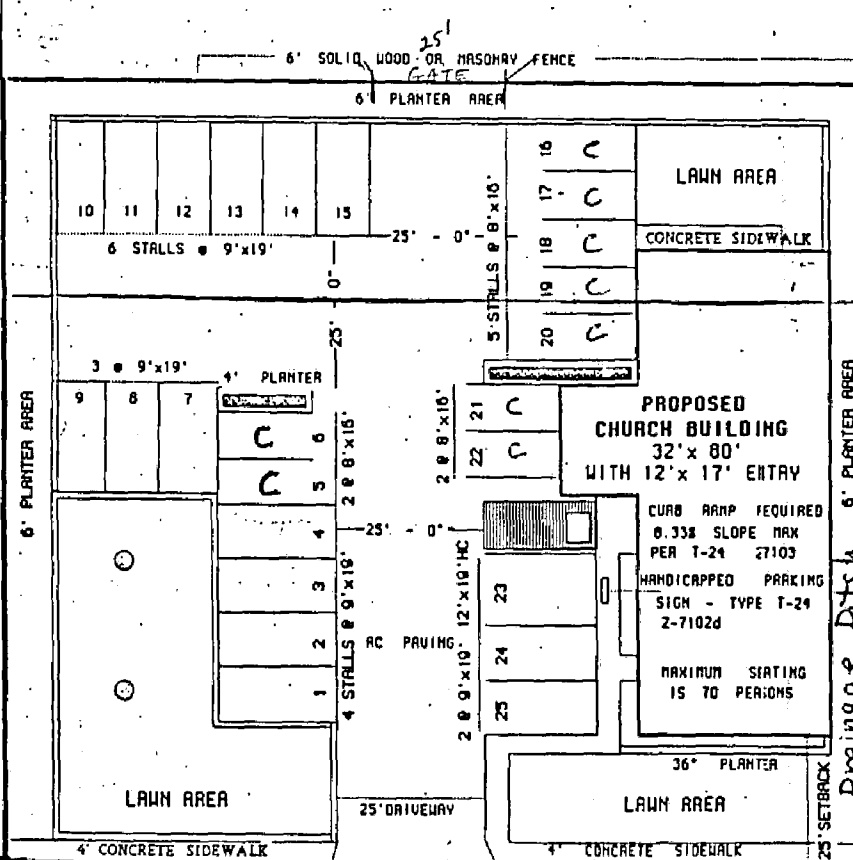
SITE PLAN



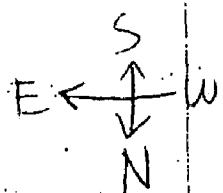
307'

287'

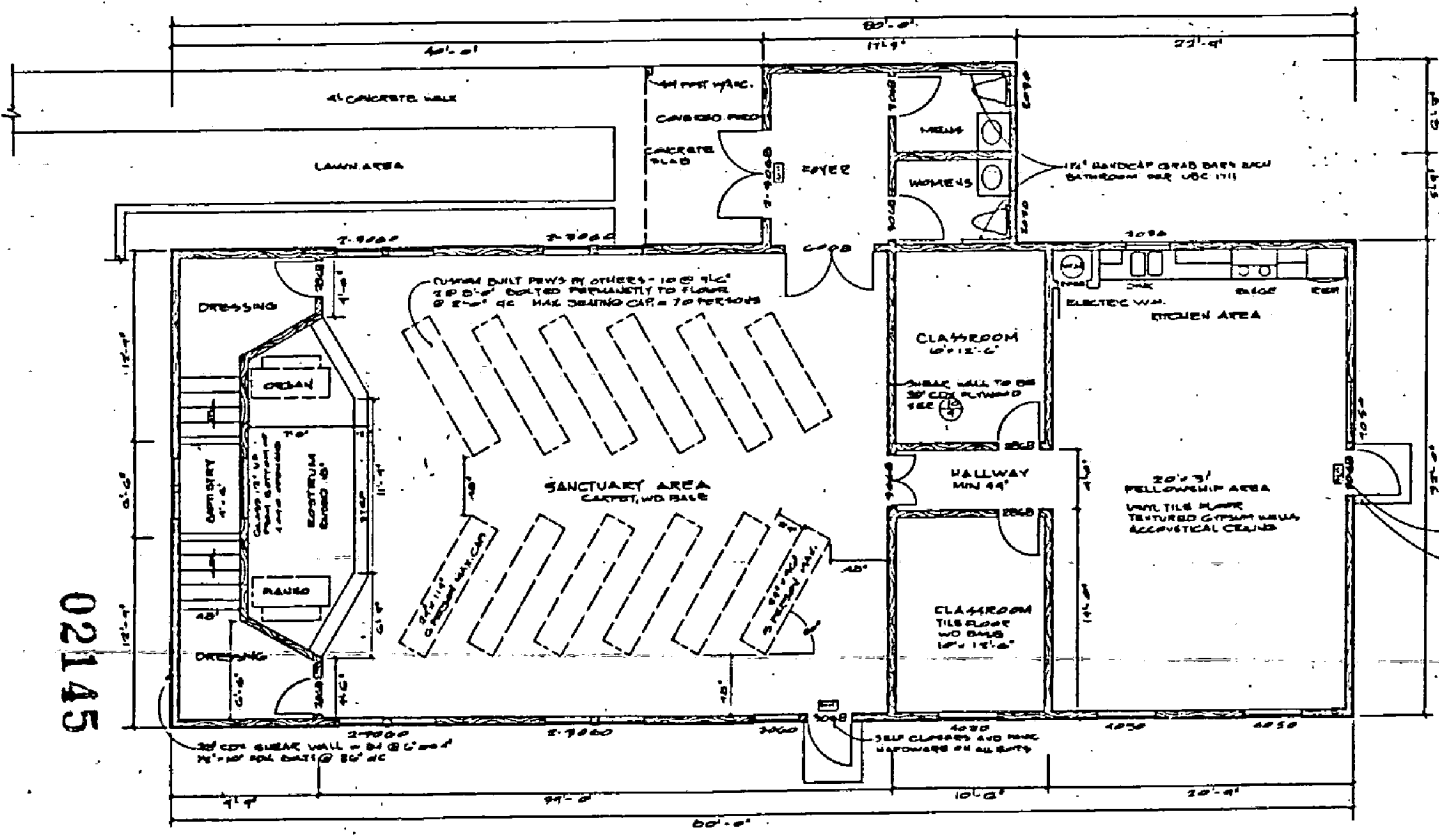
*BACK TO BE LEFT
OPEN FOR RESEMINATION
TREES WILL BE ADDED*



Parking Provided:
15 Regular
9 Compact
1 Handicapped
25 Total



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- NOTES**
1. SELF CLOSING DOORS AND PANIC HARDWARE SHALL BE INSTALLED ON ALL EXIT DOORS.
 2. EXTERIOR WALLS PER UBC 9005
 3. LIGHTED EXIT SIGNS W/O LETTERS SHALL BE INSTALLED ABOVE EACH EXTERIOR EXIT ON SEPARATE ELECTRICAL CIRCUIT FROM MAIN AUTOTERM PER UBC 9012
 4. HANDICAPPED ACCESS REQUIRED
 5. EXTERIOR FIRE RESISTANCE 1 HOUR / 75' STUCCO
 6. SIGNMENT LOAD CAPACITY SHALL BE POSTED IN CONSPICUOUS LOCATION NEAR MAIN ENTRANCE - PROMINENT LEAD TO PERSONS
 7. 1/2" GAP IN ALL INTERIOR WALLS
 8. REQUIRED SEPARATION A-B/C-G - WALLS
 9. REMOVE LATH BRACING IN ALL CORNERS PER UBC 9018
 10. STUDIES TO BE BRACKEN YEARWISDOMLY IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.

LIGHTED EXIT SIGNS PER UBC 9012, ALL EXITS
4" x 8" CONCRETE LANDING

FLOOR PLAN
SCALE 1/8" = 1'-0"

FLOOR PLAN

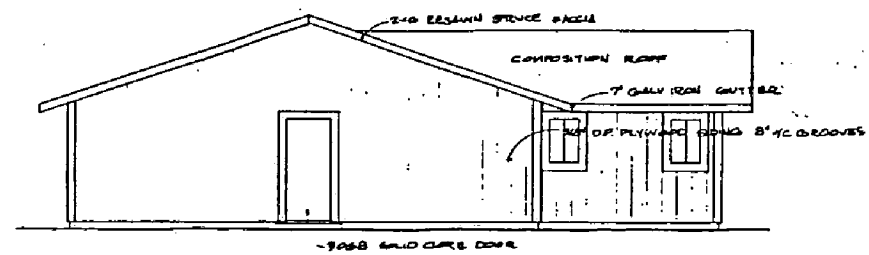
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SIGNERS AND BUILDERS COMMERCIAL RESIDENTIAL INDUSTRIAL	FROM THE DESK OF FLORIN ENTERPRISES INC. 7995 BRADSHAW ROAD SACRAMENTO CA. 95829	DATE FOR: BETHEL MISSIONARY BAPTIST CHURCH 428 RIMMER SACRAMENTO, CA	FLOOR PLAN
			12' x 80' CHURCH BUILDING
			SHEET NO 2 OF 11 SUBNO 1000825

86-36

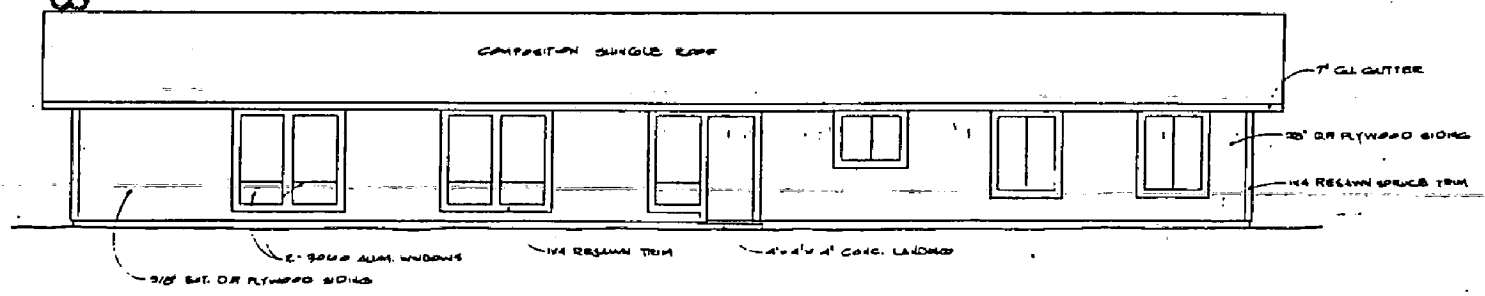
9-11-86

stem



SOUTH ELEVATION
SCALE 1/4"

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WEST ELEVATION
SCALE 1/4"

ELEVATION

DESIGNERS AND BUILDERS
RESIDENTIAL
INDUSTRIAL
COMMERCIAL

FROM THE OFFICE OF:
FLORIN ENTERPRISES INC.
7995 BRADSHAW ROAD
SACRAMENTO, CA. 95829

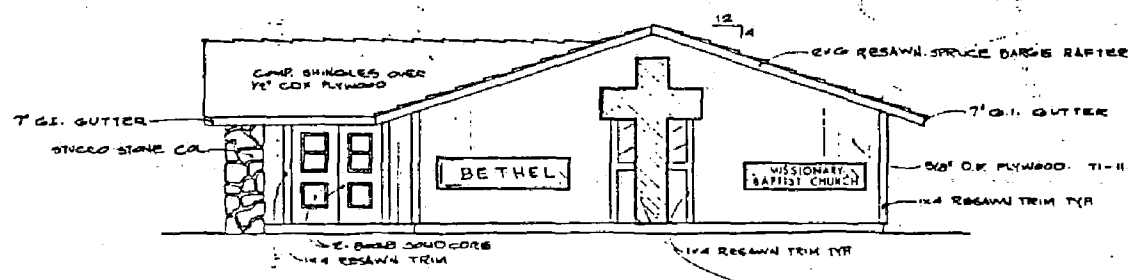
PLANS FOR:
BETHEL MISSIONARY BAPTIST CHURCH
428 RIMMER
SACRAMENTO, CA

SOUTH AND WEST ELEVATIONS	
SCALE 1/4"	DATE
BY G. B. J.	11/11/86
42' x 80' CHURCH BUILDING	
SHEET NO. 3	OF 11 SHEETS (PROJECT)

P-86-316

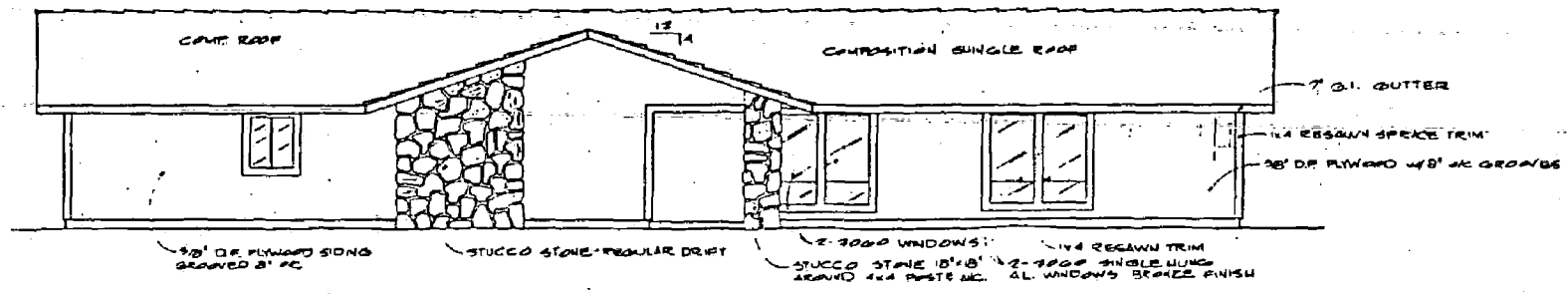
9-11-86

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NORTH ELEVATION
SCALE 1/4"

SIGNS AND CROSS ARE NON-STRUCTURAL ITEMS APPLIED TO BUILDING AFTER COMPLETION. THEY ARE TO BE CONSTRUCTED W/ 2x4 FRAME AND 1/2\"/>



EAST ELEVATION
SCALE 1/4"

ELEVATION

DESIGNERS BUILDERS
RESIDENTIAL
INDUSTRIAL
COMMERCIAL

FLORIN ENTERPRISES INC.
7995 BRADSHAW ROAD
SACRAMENTO, CA. 95824

PLANS FOR:
BETHEL MISSIONARY BAPTIST CHURCH
428 RIMMER ST
SACRAMENTO, CA

NORTH AND EAST ELEVATIONS	
DATE: 9-11-86	SCALE: 1/4"
32x40 CHURCH BUILDING	
SHEET NO. 4 OF 11 SHEETS	

EXHIBIT A

TRASH ENCLOSURE GUIDELINES

1. The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main structure(s).
2. The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position. The hinges shall be sufficient in size, strength and number to adequately support the metal gates.
3. The trash enclosure facility shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. The enclosure shall be adequate in capacity, number and distribution.

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CITY PLANNING DIVISION

PETITION OPPOSING SPECIAL PERMIT P 86-316

SEP 4 1986 The undersigned residents are submitting this petition in opposition to Special Permit P 86-316.

RECEIVED

Rimmer Avenue is 30 ft. 10" in width. It is illegal to park on the sidewalks. If cars are parked on the street it cuts the street to one lane causing a hazard. It is also a dead end street without a circle turn around which causes other complications.

We have been told there will be church services three (3) times a week which will be Wednesday evening, Saturday and Sunday. We as a whole are not against churches and religious gatherings. We are against the additional traffic and congestion on our street. It is difficult at times to gain access South on Northgate Boulevard already without the added burden of more traffic.

NAME

ADDRESS

Jan Clack	340 Rimmer Ave.
Larry	457 Rimmer Ave.
Sheryl Gray	479 Rimmer Ave.
Kelci Gray	475 Rimmer Ave.
Sheryl Gray	471 Rimmer Ave.
Sheryl Gray	419 Rimmer Ave.
Ed Metzger	501 Rimmer Ave.
Mary Bracy	521 Rimmer Ave.
Ann Mitchell	518 Rimmer Ave.
Theresa Anderson	502 Rimmer Ave.
Elizabeth Spencer	512 Rimmer Ave.
Melodee Curtis	508 Rimmer Ave. S. side
Larry Kayler	405 Rimmer Ave. S. side
Wm. P. Mitchell	415 Rimmer Ave. S. side
Catherine Hardison	317 Rimmer Ave. S. side
Lois L. Thompson	440 Rimmer Ave. S. side
Bernice M. Condit	348 Rimmer Ave. S. side
Charles J. Madarac	517 Rimmer Ave. S. side
Shirley Johnson	440 Rimmer Ave. S. side
Mary Johnson	440 " "
Antonia Johnson	440 " "
Raymond Johnson	508 Rimmer Ave. S. side
Dorothy Compton	414 Rimmer Ave.
Franklin Compton	414 Rimmer Ave.
John Kayler	405 Rimmer Ave.
Joel Reynolds	411 Rimmer Ave.

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