

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0316382**

**Insp Area: 4**

**Thos Bros:**

**Site Address: 2000 PAUL COURTER WY SAC**

**Sub-Type: NSFR**

**Parcel No: 201-0560-006**

**NORTHPOINTE PARK VIL. 32 LOT 54**

**Housing (Y/N):**

**N**

**CONTRACTOR**

FORECAST HOMES  
1796 TRIBUTE RD. STE 100, SAC. CAL.  
95815

**OWNER**

FORECAST HOMES

**ARCHITECT**

**Nature of Work: MP1582 1 STORY 7 ROOM SFR**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 685513 Date \_\_\_\_\_ Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

\_\_\_\_ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

\_\_\_\_ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 12-5-03 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 1659383 Exp Date 01/10/2004

\_\_\_\_ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 12-05-03 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 2000 PAUL COUNTER WAY Assessor Parcel # 201-0560-006  
Lot Number: 54 Subdivision MONTAVILLE PARK VILLAGE 32

OWNER INFORMATION:

Legal Property Owner: FORECAST HOMES Phone# 920-0200  
Owner Address: 1796 TRIBUTA RD City SACTO State CA Zip 95811

CONTRACTOR INFORMATION:

Contractor: FORECAST HOMES Lic. # \_\_\_\_\_ Phone # 920-0200 Fax \_\_\_\_\_

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A  
No. of Stories: ONE No. of Rooms: \_\_\_\_\_ Street Width: 40'  
1<sup>st</sup> Floor Area 1307 2<sup>nd</sup> Floor Area \_\_\_\_\_ Basement 4/A Roof Material TILE  
AREA IN SQUARE FOOT OF:  
Dwelling/Living 1307  
Garage/Storage 434  
Decks/Balconies 34  
Carports \_\_\_\_\_

SCOPE OF WORK:

MP 3013

FOR OFFICE USE ONLY

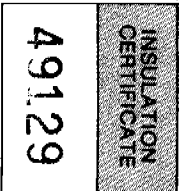
- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
  - a) Assessor's Parcel Number
  - b) New Floor Area
  - c) Owners Name
  - d) Project Address



**INSULATION CONTRACTORS  
ASSOCIATION  
OF AMERICA**



1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

STREET 110 Paul Center Way LOT # 2 TRACT # 2000000001  
CITY SMC

**EXTERIOR WALLS:**

MANUFACTURER W THICKNESS/TYPE 3/4 R- VALUE 13

**CEILING:**

BATTS: MANUFACTURER W THICKNESS/TYPE 1 R- VALUE 30

BLOWN IN: MANUFACTURER W MINIMUM THICKNESS 12 R- VALUE 30

SQUARE FOOTAGE COVERED 2000 NUMBER OF BAGS USED 24

FLOORS: MANUFACTURER W THICKNESS/TYPE 1 R- VALUE 30

SLAB ON GRADE: MANUFACTURER W THICKNESS/TYPE 1 R- VALUE 30

WIDTH OF INSULATION 12 INCHES

FOUNDATION WALLS: MANUFACTURER W THICKNESS/TYPE 1 R- VALUE 30

GENERAL CONTRACTOR ARCADIE INSULATION

CALIFORNIA CONTRACTORS LICENSE # 815286

NEVADA CONTRACTORS LICENSE # 55201

DATE 3-13-04

SIGNATURE [Signature] TITLE General Contractor

SIGNATURE [Signature] TITLE Inspector



**BASALITE®**  
 PACIFIC STUCCO SYSTEMS

4290 Roseville Road  
 North Highlands, CA 95660-5710  
 (916) 486-4094  
 Fax (916) 486-4187

**Installation Card  
 Fiber Reinforced Stucco**

Job Name and Address : KINGS CROSSING

ICBO# 5269

Lot 2054

2/17/04  
 Date of job completion

110 PAUL COURT RD. WY.

Plastering Contractor

Name: Vision Plastering

Address: 8974 Greenback Lane Orangevale, Ca. 95662

Telephone No. 916 987-3324

Approved contractor as issued by Basalite/Pacific Stucco

#117

This is to certify the exterior coating system at the above address, has been installed in accordance with the evaluation report specified above and the manufacturers instructions.

*[Signature]*  
 Signature of authorized representative of  
 plastering contractor

3/18/04  
 Date

This installation card must be presented to the building inspector after completion of work and before final inspection.

# plot plan

THIS PLOT PLAN IS FOR THE PURPOSE OF SHOWING THE HOUSE TO BE CONSTRUCTED ON THE LOT AND MAY NOT REPRESENT THE FINAL AS-BUILT CONFIGURATION OF THE PROPERTY OR IMPROVEMENTS THEREON. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS, OTHER THAN THE MINIMUM ORDINANCE, MAY VARY OR CHANGE WITHOUT PRIOR NOTICE, DUE TO ACTUAL SITE CONDITIONS.

5.5' Planter  
2.5' Curb & Gutter

4.5' Sidewalk

53.50'

Courtside @ Natomas  
Lot 2054

Honor Parkway

96.96'

13.5'

Plan 361B-R  
(1307B)  
Pad Elev. =  
Fin. Flr. Elev. =

105.00'

12.5'  
P.U.E.

R. O. W.

20'

4.5' Sidewalk  
3' Curb & Gutter

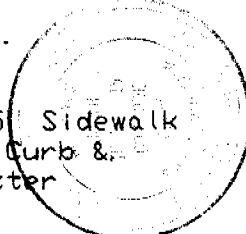
L=19.43'  
R=22'

36.50'

Paul Courter Way

Lot SF = 5,547+/-

This set of plan and engineering drawings prepared by [unclear] is to be used only for the project and site described herein. It is not to be used for any other project or site without the written consent of the engineer. The engineer assumes no responsibility for any errors or omissions in these drawings. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The engineer's services are limited to the design and preparation of these drawings. The client is responsible for the construction and maintenance of the project. The engineer's liability is limited to the amount of the fee paid for these services. The engineer's office is located at [unclear] Sacramento, CA. The engineer's license number is [unclear].



Northpointe Park  
Village 32

Forecast Homes



Apollo  
Real  
Estate  
Group

2000 Lot #54  
110 Paul Courter Way  
City of Sacramento  
A.P.N.: 201-0560-006

Symbols Legend

- Street Light:
- Drop Inlet:
- Electric:
- Fire Hydrant:
- Pad-Mount Transformer:
- Sewer Service:
- Water Service:
- Flow Line:
- High Point:
- Flow Line:
- Elevation Back of Sidewalk:
- 2nd Story Element:

1204 El Sur Way  
Sacramento, CA 95864  
(916) 978-0105

|       |          |         |        |
|-------|----------|---------|--------|
| 34    | MAH      | 9/29/03 | 1"=20' |
| Phase | Drawn By | Date    | Scale  |