

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0207914**  
**Insp Area: 4**  
Thos Bros:  
Sub-Type: NSFR  
Housing (Y/N): N

**Site Address: 300 VISTA CREEK CR SAC**  
Parcel No: 225-1530-013 WESTBR 5-1 LOT 24

CONTRACTOR  
US HOME  
2366 GOLD MEADOW DR STE 100  
GOLD RIVER, CA 95670 77041

OWNER

ARCHITECT

**Nature of Work: MP 4097 2 STORY 12 ROOM SFR**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 451839 Date 4/21/02 Contractor Signature Don McCloskey

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

\_\_\_\_ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

\_\_\_\_ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 4/21/02 Applicant/Agent Signature Don McCloskey

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier OLD REPUBLIC INS. CO. Policy Number MWC10815000 Exp Date 11/01/2002

\_\_\_\_ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 4/21/02 Applicant Signature Don McCloskey

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

garage handing is now left hand  
RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 300 Vista Creek Cir. Assessor Parcel # 225-1530-013  
Lot Number: 24 Subdivision Westborough Village S-1

OWNER INFORMATION:

Legal Property Owner: US HOME Phone# 858-3900  
Owner Address: 366 GOLD MEADOW WAY City GOLD RIVER State CA. Zip 95670

CONTRACTOR INFORMATION:

Contractor: US HOME Lic. # 451839 Phone # 858-3900 Fax 858-3925  
DON McCLOSKEY 719-9059

PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A  
No. of Stories: 2 No. of Rooms: \_\_\_\_\_ Street Width: \_\_\_\_\_  
1<sup>st</sup> Floor Area 1954 2<sup>nd</sup> Floor Area 2143 Basement \_\_\_\_\_ Roof Material \_\_\_\_\_

AREA IN SQUARE FOOT OF:

Dwelling/Living 4097  
Garage/Storage 734  
porch:  
Decks/Balconies 172  
Carports \_\_\_\_\_

SCOPE OF WORK: \_\_\_\_\_

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
  - a) Assessors Parcel Number
  - b) New Floor Area
  - c) Owners Name
  - d) Project Address



# O'Connor Freeman & Associates, Inc.

Structural Engineering Services

October 8, 2002

Bert Witzelberger  
**US Home Corporation**  
 2366 Gold Meadow Way, Suite 200  
 Gold River, CA 95670

Post-it® Fax Note	7671	Date	10-8-02	# of pages	1
To	Bert W.	From	Karl Freeman		
Co/Dept	US Home	Co.	OFA		
Phone #	926-6575	Phone #	41-5721		
Fax #	515-0343	Fax #	41-5697		

Re: Gap between Rim Joist and Wall Top Plate: Westlake Subdivision  
 O'Connor Freeman Job Number: E001007

Dear Bert:

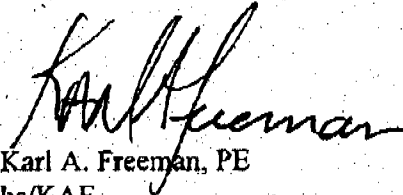
You contacted our office regarding a Building Inspector concern with a gap between the rim joist and wall top plate. Specifically, due to the wall framing, there is up to a 1/2-inch gap between the wall top plate and the bottom of the rim joist and because of this gap the Building Inspector wants our office to comment on a possibility of a fix for this gap.

To begin with, all wood framing members will experience some normal wood shrinkage. This is very minor and does not present any structural problems with the one and two story wood framed buildings within this project. In our review of the 1/2-inch gap between the rim joist and wall top plate, we did not discover any problems that could degrade the strength of any of the vertical or lateral components. Therefore, it is our opinion that this 1/2-inch gap will not pose any problems with the structural components with any of the buildings in this project. Hence, no additional clipping or retrofit fix is required for 1/2-inch gap between the rim joist and wall top plate.

Make sure the two original wet stamped and signed copies of this letter are submitted to the Building Inspector or Building Department for review and approval. If you should have any further questions or comments please do not hesitate to call.

Sincerely,

O'Connor Freeman & Associates, Inc.

  
 Karl A. Freeman, PE  
 hs/KAF

cc: File



**JOB REPORT**

PROJECT NAME: Marino PAGE: \_\_\_\_\_  
 INSPECTOR: Marvin Bell FILE NO: \_\_\_\_\_  
 PERSONS CONTACTED: Adriano DATE: \_\_\_\_\_  
 REFERENCE DOCUMENTS: ICBO Report #1945 PERMIT: \_\_\_\_\_  
 WEATHER: \_\_\_\_\_  
 SERVICE PROVIDED: CONCRETE (INSP/SAMPLE ONLY/PU)  MASONRY  WELDING (SHOP/FIELD)

OTHER  Epoxy Anchors

proof loaded All  $7/8"$  Epoxy Anchors  
 All  $5/8"$  to 6015 lbs. per ICBO  
 lots # 59 - 2- $5/8"$   
 # 211 six  $7/8"$   
 # 222 one  $5/8"$   
 # 223 four  $5/8"$   
 # 24 two  $5/8"$   
 # 43 five  $5/8"$

COMPLIANCE OF WORK: Acceptable

ATTACHMENTS: \_\_\_\_\_

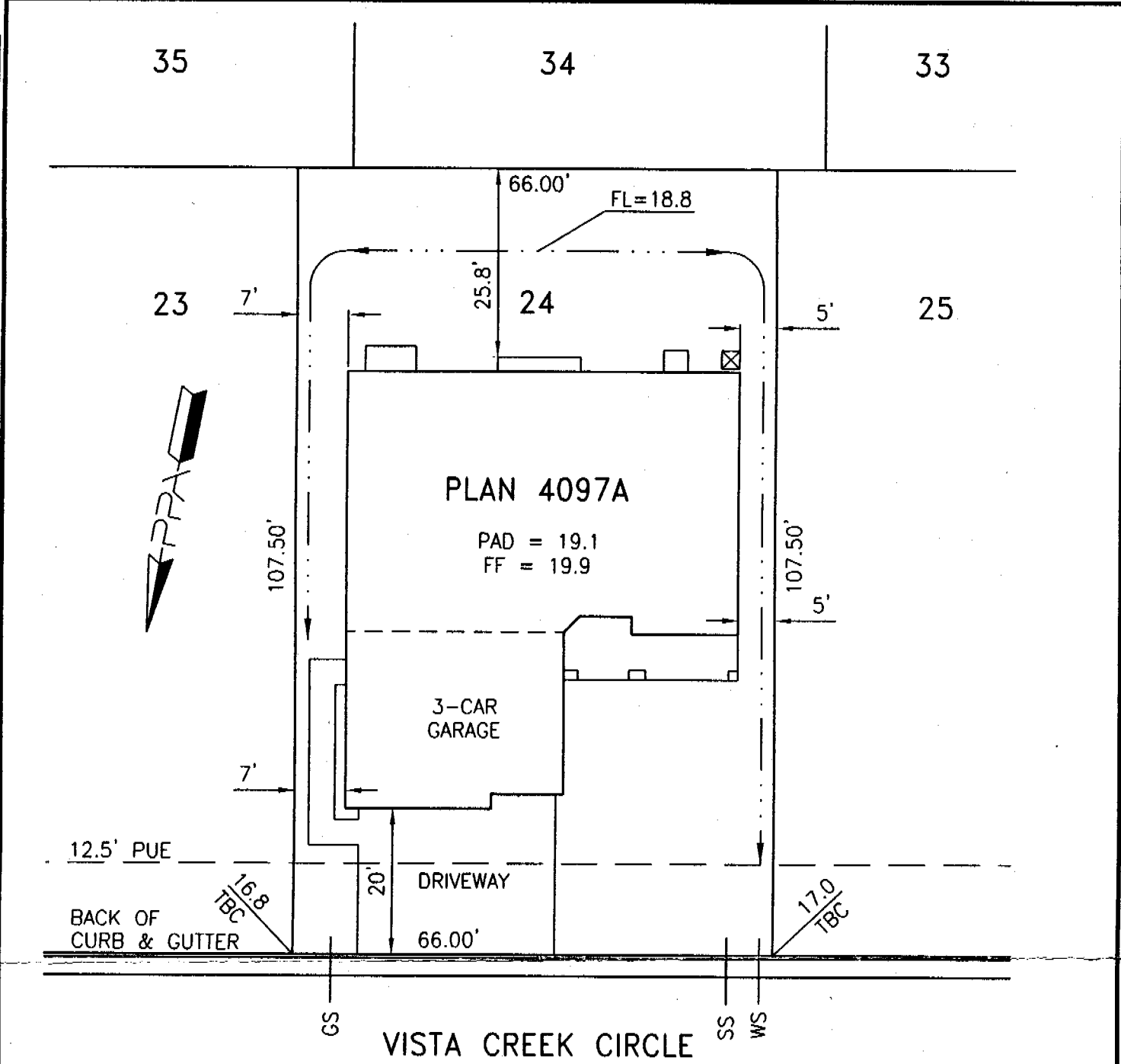
EQUIPMENT/SUPPLIES USED: Hydraulics

NEXT VISIT: \_\_\_\_\_

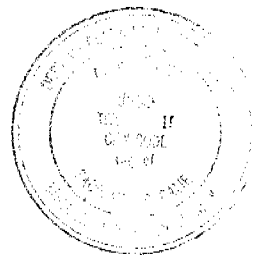
REMARKS: \_\_\_\_\_

REVIEWED BY: [Signature] DATE: 10-4-02

THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.



*CORRECT  
PLOT PLAN  
RVL  
7-15-02*



This set of plans and specifications must be read in the light of all applicable laws, codes, ordinances, rules and regulations. The contractor shall be held responsible for obtaining all necessary permits and approvals. The approval of this plan and specification shall not be held to constitute approval of any City Ordinance or State Law.

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 7095 SF  
 ALLOWED LOT COVERAGE: 3512 SF = 40.0%  
 ACTUAL LOT COVERAGE: 2629 SF = 37.1%  
 REAR YARD AREA: 1814 SF  
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for **Westborough Village 5 - Phase 1** PPA Job #005005  
 300 Vista Creek Circle, Sacramento, CA 95835 **Lot 24**  
 APN 225-1530-013

**US Home Corporation - Sacramento Division**  
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

**Plot Plan Associates** www.plotplans.org Date Drawn: 06/03/02 Scale: 1"=20'  
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: 06/24/02 Drawn By: BEB