

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Tuesday December 7, 1993, the Zoning Administrator approved with conditions a special permit to expand the percentage of office use in an industrial zone for the project known as Z93-103. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

**Project Information**

Request: Zoning Administrator Special Permit to expand an office use in the (M-2S) by adding two modular buildings totaling 7,800 square feet and increasing the total office use percentage from 44.6 percent to 48.9 percent on 17.0± developed acres in the Heavy Industrial (M-2S) zone.

Location: 5555 Florin Perkins Road

Assessor's Parcel Number: 061-0180-030

Applicant: Eileen Ash Conversion Management Assoc. 201 Mission Street San Francisco, CA 94177	Property Owner: Pacific Gas & Electric Company 5555 Florin Perkins Road Sacramento, CA 95826
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General Plan Designation:	Heavy Commercial or Warehouse
Existing Land Use of Site:	Office and Industrial (PG & E Customer Center)
Existing Zoning of Site:	Heavy Commercial, M-2S

Surrounding Land Use and Zoning:

North:	M-2S; Vacant
South:	M-2S; Industrial
East:	M-2S; Industrial/Warehouse and Railroad tracks
West:	M-2S; Vacant

Property Dimensions:	Irregular
Property Area:	17.0± acres
Parking Required:	194 spaces
Parking Provided:	329 spaces
Height of Buildings:	One Story, 14 feet

Square Footage of Buildings:	Existing-	92,674 square feet
	Proposed-	7,800 square feet
	Total-	100,474 square feet
Exterior Building Materials:	Wood Siding	
Roof Materials:	Built-up	
Topography:	Flat	
Street Improvements:	Existing	
Utilities:	Existing	

Project Plans: See Exhibits A, B, C, and D

### Background Information

The site is the location of the PG&E Customer Center for the Sacramento Division. The site has contained a mixed use of office, vehicle storage, warehouse, and industrial for many years. The existing office use totals 44.6 percent which exceeds the 25 percent maximum allowed by the Zoning Ordinance for the (M-2) zone. However, the office use existed prior to 1984 when Zoning Ordinance was amended to include office percentage limitation. Therefore, the office use is an existing legal non-conforming use.

### Additional Information

Two modular single story office buildings are proposed to be located on the northwest section of the site. The northern building will be 3,600 square feet and the southern building will be 4,200 square feet. The Zoning Ordinance requires a Zoning Administrator's Special Permit for an office addition that is less than 10,000 square feet when the office use percentage exceeds 25 percent of the total square footage. The offices for the PG&E service center will be needed for a maximum of two years. The offices will house 43 employees from a different office location during an office remodel (2740 Gateway Oaks Drive). When the remodel is complete, the employees will return to the other office location. The additional office area will require an additional 20 parking spaces (1 space/400 square feet). The previous requirement was 174 spaces and the new total would be 194 spaces. There are 329 parking spaces provided on the site which exceeds the requirement.

The buildings will be located to the rear of a parking area resting on piers. The two buildings will be connected by a covered walkway. The buildings are constructed out of brown wood siding. The plans indicate siding from the floor level to the ground screening the concrete pier support system. As the buildings are not placed on permanent foundations, the Building Division will inspect the structures as temporary structures and will be issuing temporary certificates of occupancy for the office use.

### Environmental Determination


This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15301(e[2])}

Conditions of Approval

1. Wood siding to match the buildings (as indicated on the elevations) shall be installed to screen the concrete piers prior to December 17, 1993.
2. The applicant shall submit a revised site plan to the Building Division for review and approval showing the parking lot restriping and relocation of the fence prior to December 17, 1993. (Contact Wes Jigour at 264-7065)
3. A total of five large planter boxes or wells with plants, trees, or shrubs shall be located across the front of the buildings to enhance the aesthetic appearance of the modular buildings. The planters shall be installed within 60 days of project approval (February 4, 1994).
3. Any further additions of structures for office use shall require an additional Special Permit.
4. This Zoning Administrator Special Permit for the temporary buildings is for two years and will expire on December 7, 1995. The modular buildings must be removed by this date. A new Special Permit will be required to keep the buildings on the site after this date. After February 4, 1994 the Building Division will issue temporary certificates of occupancy on approximately a six month basis for the two year period.

Findings of Fact:

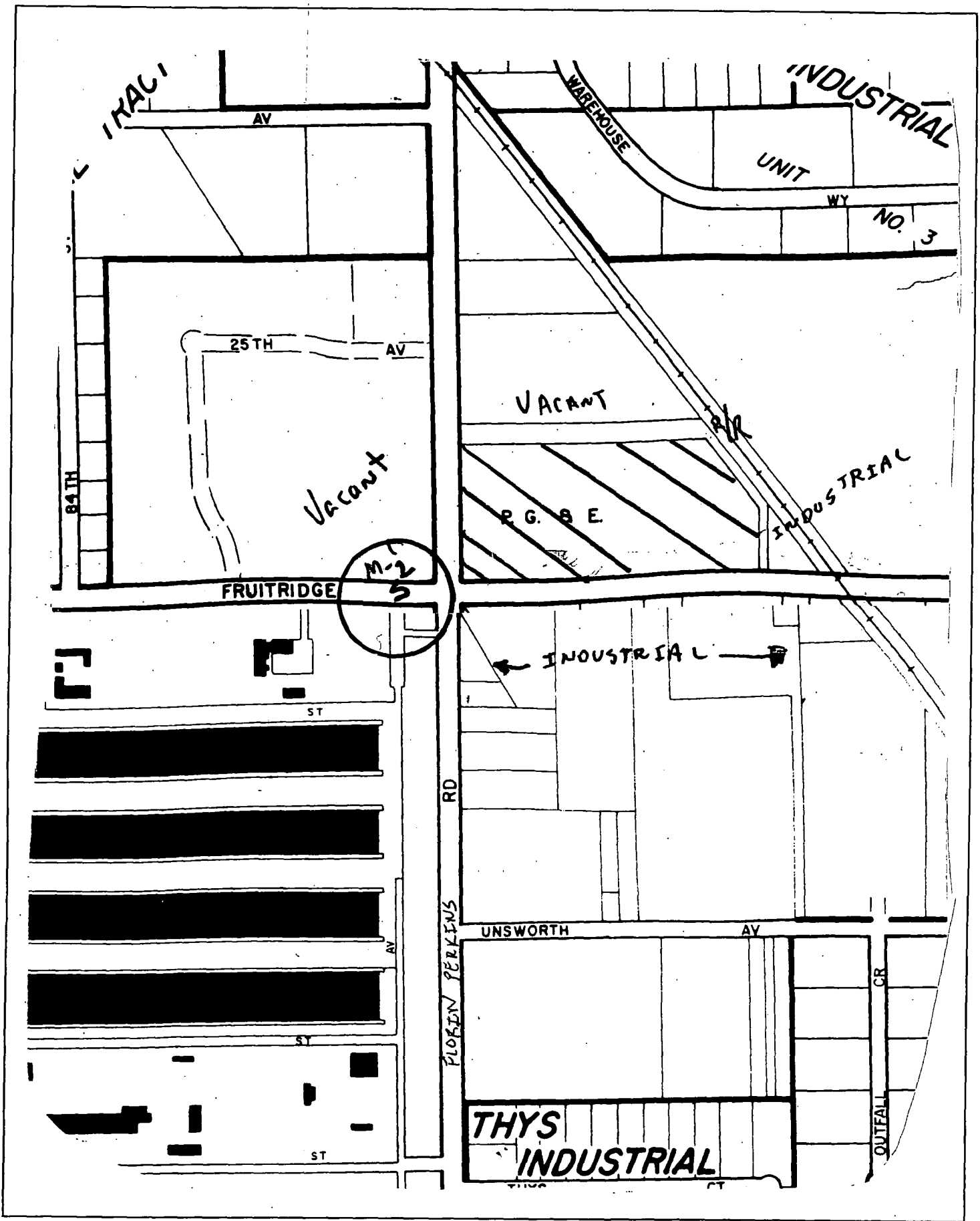
1. The project, as conditioned, is based upon sound principles of land use in that the proposed modular office buildings are compatible with the surrounding industrial and warehouse uses.
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
  - a. adequate on-site parking, landscaping and setbacks will be provided;
  - b. the concrete piers supporting the elevated buildings will be screened by wood siding that matches the building;
  - c. the proposed buildings are temporary and will be compatible with the existing structures on the site and industrial/warehouse buildings in the area.
3. The project is consistent with the General Plan which designates the site Heavy Commercial or Warehouse.

  
\_\_\_\_\_  
Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no Building Permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

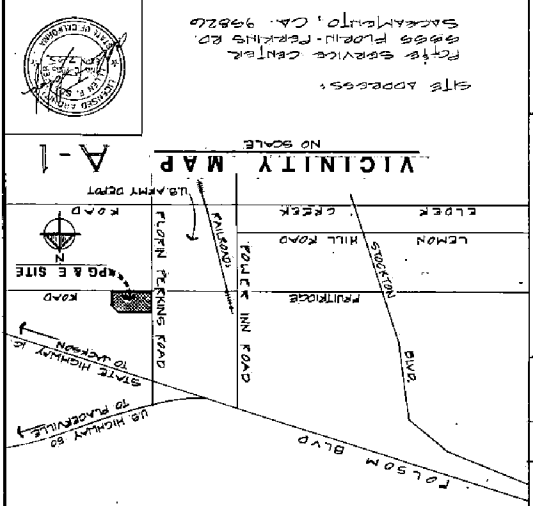
cc: File  
Applicant  
ZA Log Book  
Building Division - Andi Murphy  
Site Conditions Unit - Wes Jigour



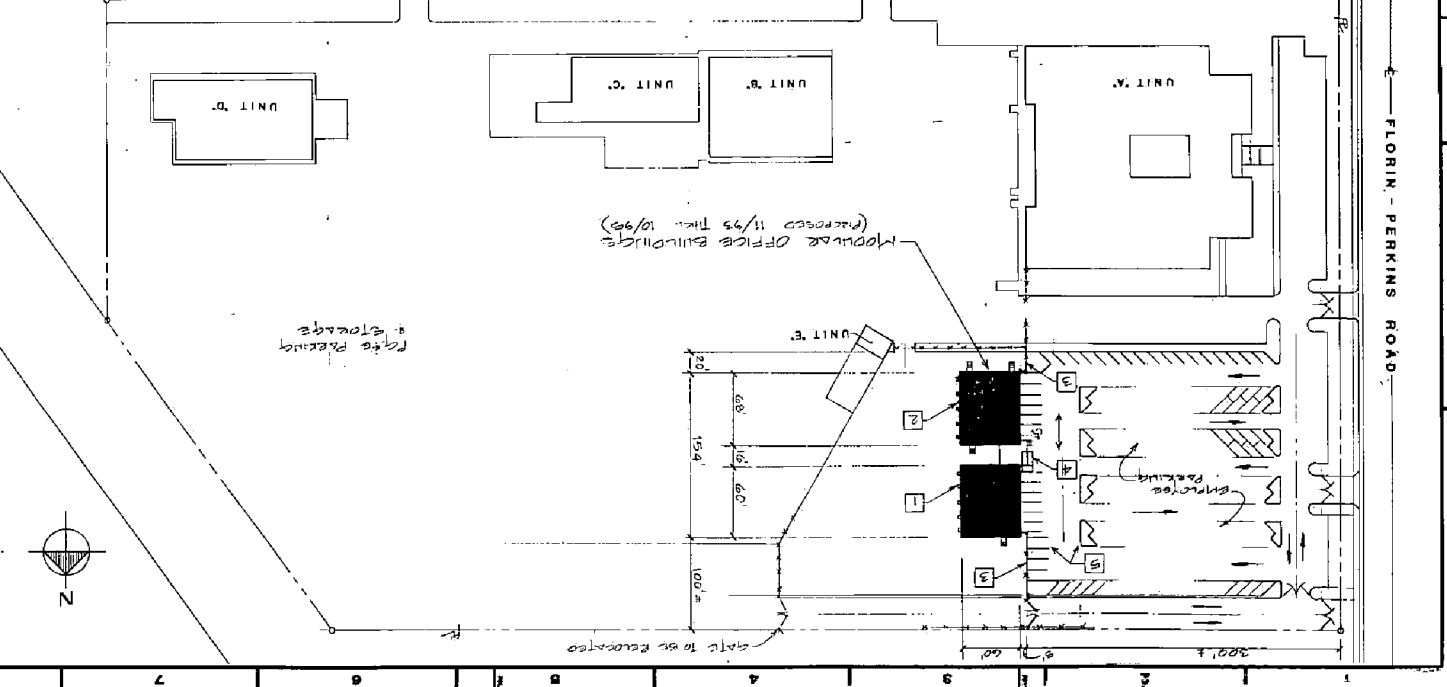
VICINITY, LAND USE & ZONING MAP

REV	DATE	DESCRIPTION	BY	CHKD	APPD	DATE	REV	DATE	DESCRIPTION	BY	CHKD	APPD	DATE
01	3/9/80												

ARCHITECTURAL  
SITE PLAN  
APARTMENT SERVICE CENTER  
PACIFIC GAS AND ELECTRIC COMPANY  
BY: PERRY, CALIFORNIA  
359860



**Project Summary**  
 Model codes: USC, 191 & Title 24, C.A.C.  
 Occupant group: B-2  
 Construction type: V-N  
 Number of stories: ONE  
 Area of proposed structure:  
 Area 1 = 3,000 SF  
 Area 2 = 4,200 SF  
 Total = 7,200 SF  
**Project Architect**  
 ALLEN R. SCHLIER  
 1 CARPENTER ST., P.O. BOX 77000, F.S.  
 SAN FRANCISCO, CA. 94117  
 415 / 975-4249



SITE PLAN  
SCALE: 1"=50'

**INDEX**

- DRAWING LIST:**  
 359860 A-1 SITE PLAN & NOTES  
 359861 A-2 FLOOR PLAN & ELEVATIONS  
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 359862 B-P-3 ELECTRICAL PLUMBING  
 359862 B-P-4 ELECTRICAL PLUMBING  
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 359862 B-P-99 ELECTRICAL PLUMBING  
 359862 B-P-100 ELECTRICAL PLUMBING

**SHEET NOTES:**

- 1 LEASED 3-WIDE HOUSING OFFICE BUILDING.
- 2 RELOCATED (VARIABLE) 5-WIDE HOV. OFF. BLDG.
- 3 CHAIN-LINK FENCE W/ VIBR SLATS, SIGN W/ EXIST'G. FENCE; EXIST'G. VEHICLE GATE.
- 4 COVERED ENTRY PECK W/ STAIRS AND ACCESS RAMP.
- 5 RESTORED PARKING AREA, 3-WIDE WHITE LINES, DESIGNATED DISABLED STALL - PAINT-OUT POWER STAIRS W/ FULL BLACK PAINT TO PROVIDE NEW ACCESS.

**GENERAL NOTES**

SEE SPECIFICATION NO. 1550 FOR SCORE AND RECONSTRUCTION. WORK TO BE PERFORMED IN WORKMAN-LIKE MANNER AND CONFORM WITH THE LATEST EDITION OF ALL APPLICABLE CODES. USE, SPEC., ETC.

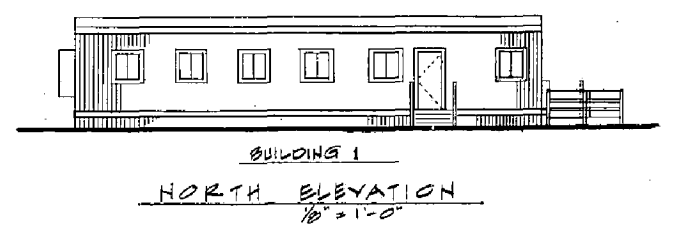
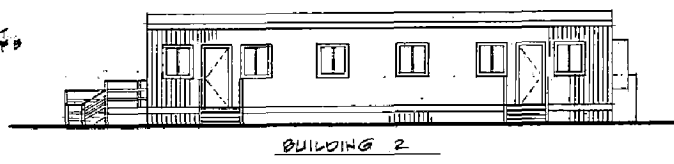
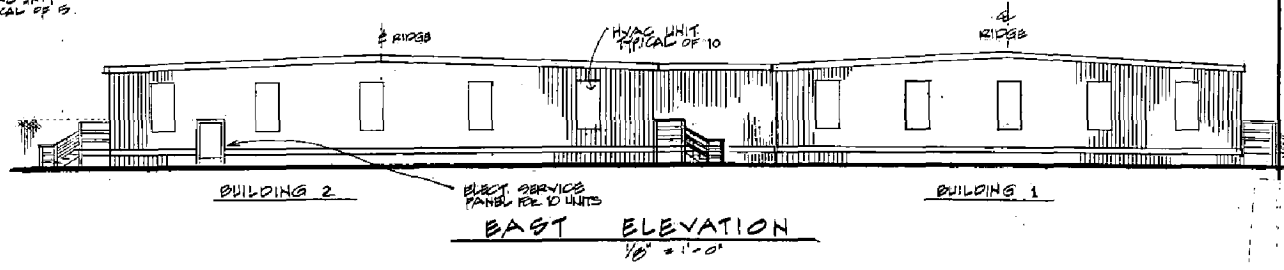
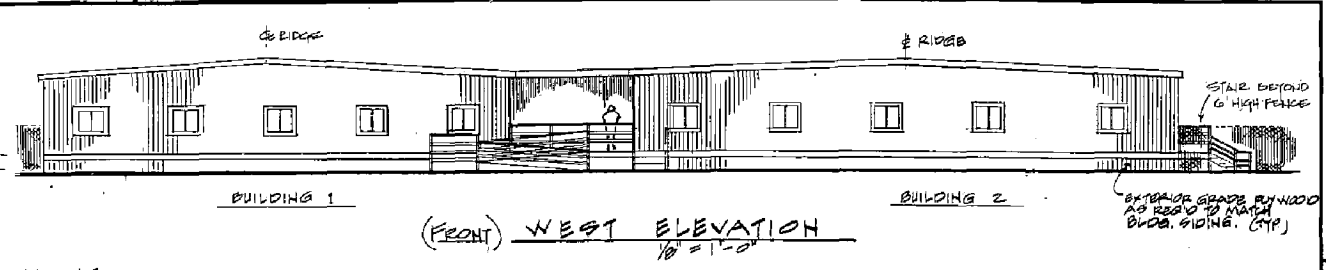
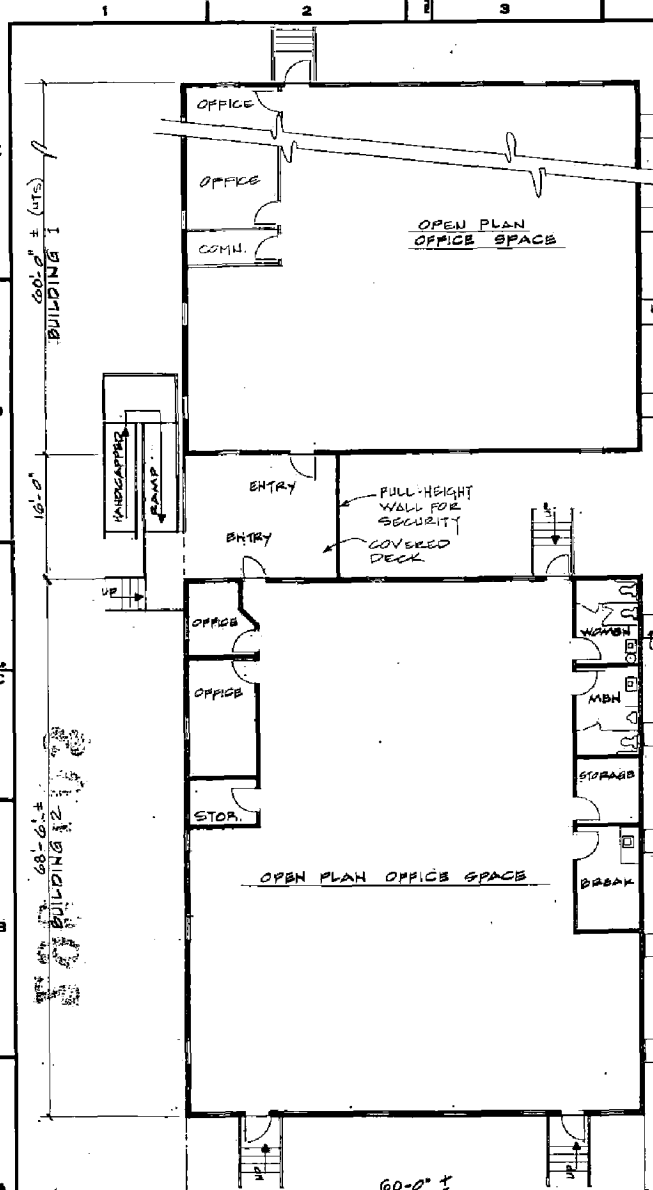
EXHIBIT - A

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293-103

DECEMBER 7, 1993

ITEM 2



- GENERAL NOTES:**
- CODES AND DESIGN LOADS:
    - CODE - LATEST EDITION
    - USE - TITLE 18
    - WIND LOAD - 20 PSF
    - FLOOR LIVE LOAD - 20 PSF
    - MINOR LOAD - 10 LB/SPRINKLER
    - WIND LOAD (UP/LIFT FACTOR) - 1/2
    - SEISMIC ZONE 4
    - OCCUPANCY - B
    - TOTAL OCCUPANCY LOAD - 20
    - CONSTRUCTION TYPE B - IV
  - EXTERIOR DOORS: STAIRWAYS AND HALLS SHALL MEET MINIMUM REQUIREMENTS AS STATED IN TITLE 18, SECTIONS 4375 AND 511 (18A LING)
  - GLASS DOORS SHALL OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
  - GLASS SPREAD PATTERNS OF ALL INTERIOR WALLS AND CEILING ROOMS AND AREAS TO BE EXPOSED IN ELEVATORS AS SHOWN ON FLOOR PLAN.
  - ALL INTERIOR FINISH SURFACES TO BE 1/2" THICK AND BACKED BY A NON-COMBUSTIBLE MATERIAL.
  - HVAC UNITS SHALL COMPLY WITH AIR FILTRATION REQUIREMENTS OF TITLE 18, SEC. 1809
  - GLAZING SHALL COMPLY WITH 28 (CHAPTER 3, SEC. 4317)
  - LANDINGS AT EXIT DOORWAYS SHALL COMPLY WITH SECTION 3303 OF UBC (1991 EDITION)
  - ROOF COVERING SYSTEM SHALL BE PER 28, ARTICLE 1109, SECTION 02 - 5
  - EXTERIOR DOORS:
    - DOORS - 36" x 84" SOLID CORE WOOD HANDICAP DOOR WITH 1/2" MIN. SAFETY GLASS VIEW WINDOW (TYP. 2)
    - HANDICAP - "SIGNAGE" - ACCESSION PASSAGE LATCHSET AND B - HOLD OPEN OR CLOSABLE OVER CUR OVER DOOR.
  - INTERIOR DOORS:
    - DOORS - 36" x 84" HOLLOW CORE WOOD HANDICAP
    - HANDICAP - "SIGNAGE" - ACCESSION PASSAGE LATCHSET.
  - EXTERIOR WINDOWS:
    - 48" x 96" HORIZONTAL SLIDING ALUMINUM WINDOW WITH CLEAR BRONZE ANODIZED FINISH, TUNG GLASS INSULATED GLASS UNITS AND WINDRAGE DRIP CAP OVER WINDOW.
  - EXTERIOR WINDOWS:
    - 48" x 96" HORIZONTAL SLIDING ALUMINUM WINDOW WITH CLEAR BRONZE ANODIZED FINISH, TUNG GLASS INSULATED GLASS UNITS AND WINDRAGE DRIP CAP OVER WINDOW.
  - ELECTRICAL:
    - CONDUIT - LATEST EDITION
    - SUBPANELS - 100 AMP SINGLE PHASE, 120/240 VOLT, WALL MOUNTED METAL ENCLOSURE WITH MAIN BREAKER AND BUS BAR (TYP. 3) (MOUNT PANELS - 4" x 4" x 1/2")
    - RECEPTACLES - 15 AMP 120 VOLT TYPE 1 RECEPTACLES MOUNT - 18" x 4" x 1/2"
    - EXTERIOR RECEPTACLES - 15 AMP 120 VOLT TYPE 1 RECEPTACLES MOUNT - 18" x 4" x 1/2"
    - EXTERIOR RECEPTACLES SHALL NOT EXCEED 15 WATTS PER SQ. FT. COMPLY WITH TITLE 24, PART 4, ARTICLE 2, DIVISION 9
  - INTERIOR LIGHTING:
    - 48" x 24" T8 TUBE LAMP IN RECESSED LIGHT FIXTURE (TYP. 3)
    - 30W T8 FLUORESCENT LIGHT FIXTURE (TYP. 2)
    - SWITCHING AS SHOWN ON FLOOR PLAN.
  - FOR ROOMS AND AREAS IN EXCESS OF 180 SQ. FT. ALTERNATE SWITCHING OF LIGHTS IS REQUIRED WHEN LIGHTING INTENSITY EXCEEDS 15 WATTS PER SQ. FT. DIVISION 2, SEC. 4302
  - HVAC:
    - CODE - AS/E, TITLE 18 AND LATEST EDITION
    - UNITS - 24" DIA. TYPICAL FLOOR PLATE UNIT, 20V, SINGLE PHASE, 120/240V
    - RECYCLE AIR
    - RETURN AIR
    - RETURN AIR BY 14" RETURN AIR AT UNIT
    - RETURN AIR AT UNIT TRAP THE AIR AT UNIT PASS THERMISTERS AT THE TRAP TO MAINTAIN
    - EACH HVAC UNIT TO BE SUPPLIED WITH AT LEAST ONE THERMISTERS AT THE TRAP TO MAINTAIN
    - SET POINTS BETWEEN 55°F AND 65°F HEATING AND COOLING IN ACCORDANCE WITH AIR SUPPLY
    - EQUIPMENT SHALL BE CAPABLE OF TERMINATING THE HEATING AT 70°F AND COOLING AT 70°F
    - INSTALL A VENTILATION SYSTEM CONFORMING TO THE REQUIREMENTS OF SECTION 908 OF THE UBC (1991 EDITION)
  - MISCELLANEOUS NOTES:
    - THIS SPREADER SYSTEM IS TO BE INSTALLED AND FACTORY INSTALLED BY MANUFACTURER'S SUB CONTRACTOR, PROVIDE CALCULATIONS FOR THIS
    - PROVIDE SCAFFOLD MATERIAL TO MATCH EXISTING VENTS PER IBC.
  - INSULATION REQUIREMENT:
    - R-19 BETWEEN JOISTS
    - R-11 BETWEEN STUDS
    - FLOOR - R-11 BETWEEN JOISTS

EXHIBIT - B

A-2

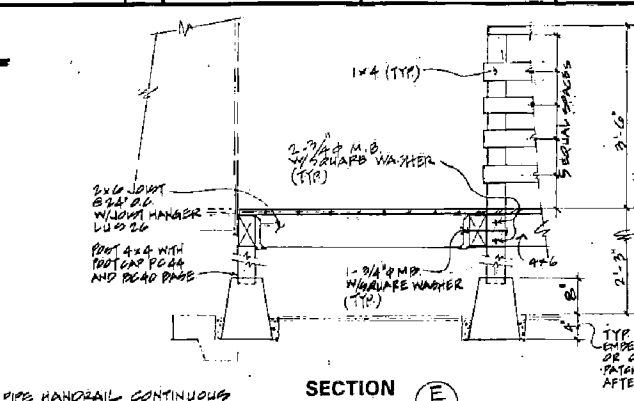
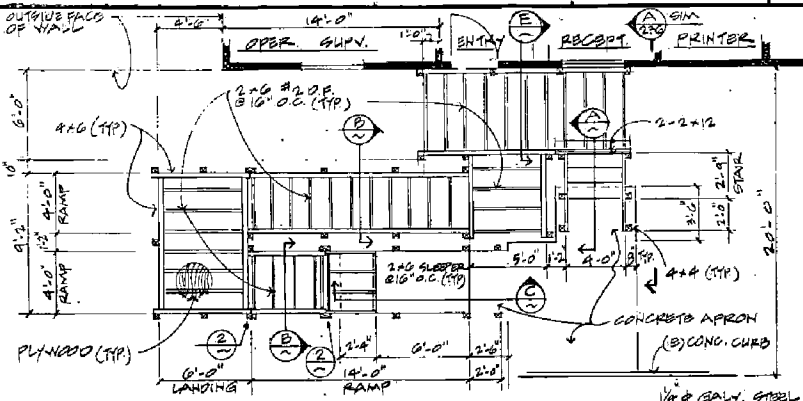


FLOOR PLAN  
1/8" = 1'-0"

REVISION 1	ARCHITECTURAL FLOOR PLAN & ELEVATIONS SACRAMENTO SERVICE CENTER	PROJECT NO.	359861
DESIGNED BY	PACIFIC GAS AND ELECTRIC COMPANY	SHEET NO.	01
CHECKED BY	SAN FRANCISCO, CALIFORNIA	DATE	
SUPV.			
APVD.			
APVD.			
APVD.			

REV	DATE	DESCRIPTION	DESIGNER	CHECKER	SUPV.	APVD.	REV	DATE	DESCRIPTION	DESIGNER	CHECKER	SUPV.	APVD.

11/10/93 YELLOW, 61-4112-1 PLAN (REV. 11/11/93)



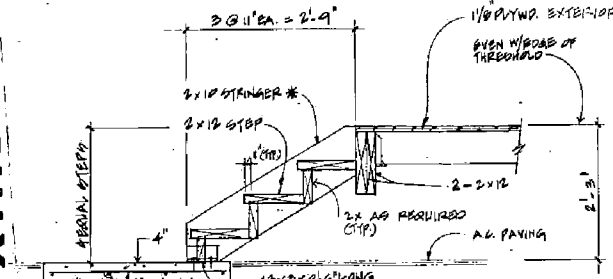
- STRUCTURAL NOTES**
- 1 ALL WORK SHALL BE IN CONFORMANCE WITH UBC 1991, A.S.C., A.W.S., A.C.I AND OTHER APPLICABLE LOCAL BUILDING CODE AND ORDINANCES.
  - 2 CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITION AND DIMENSION. ANY DISCREPANCIES BETWEEN DRAWING AND FIELD CONDITION SHALL BE BROUGHT UP TO THE ATTENTION OF PG&E ENGINEER FOR SOLUTION. PRIOR TO PROCEEDING WITH WORK.
  - 3 ALL REBAR SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
  - 4 ALL WOOD SHALL BE DOUGLAS FIR #2 OR BETTER U.N.D.
  - 5 ALL HARDWARES SHALL BE PRODUCT OF "SIMPSON".
  - 6 ALL REBAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS (5 1/2 SACKS OF CEMENT PER YD).
  - 7 REINFORCING STEEL SHALL BE DEFORMED REBAR ASTM 615 GRADE 40 OR 60.
  - 8 ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
  - 9 ALL EXISTING CONCRETE SLAB OR AC PAVEMENT DAMAGED DUE TO THIS CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING.

\* INDICATED TREATED D.F. #2

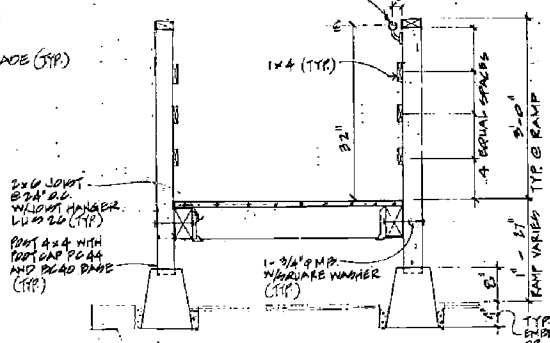
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SECTION E  
1\"/>

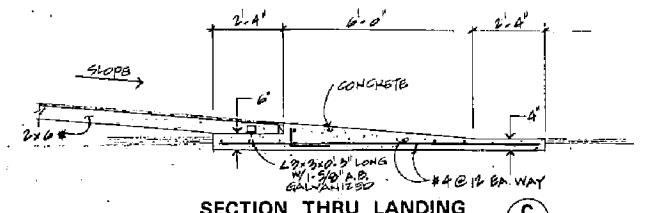
FRAMING PLAN AT MAIN ENTRANCE  
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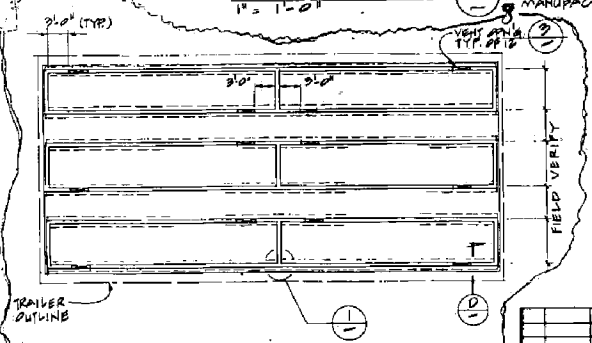
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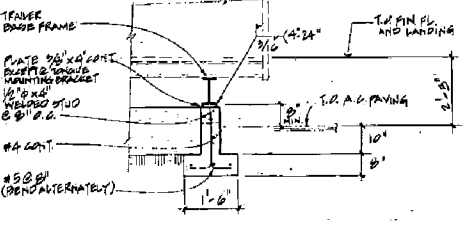
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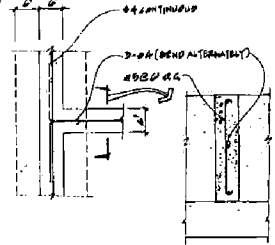
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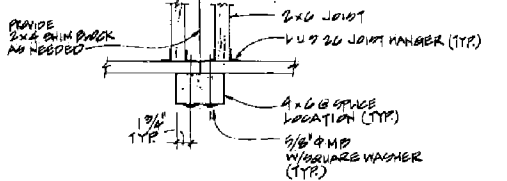
FOUNDATION PLAN  
SCALE: 1/8\"/>



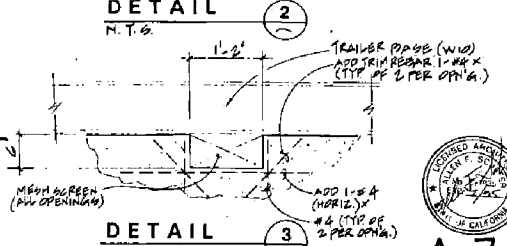
TYP. FOOTING  
1/2\"/>



DETAIL 1  
N.T.S.



DETAIL 2  
N.T.S.



DETAIL 3  
1\"/>



A-3

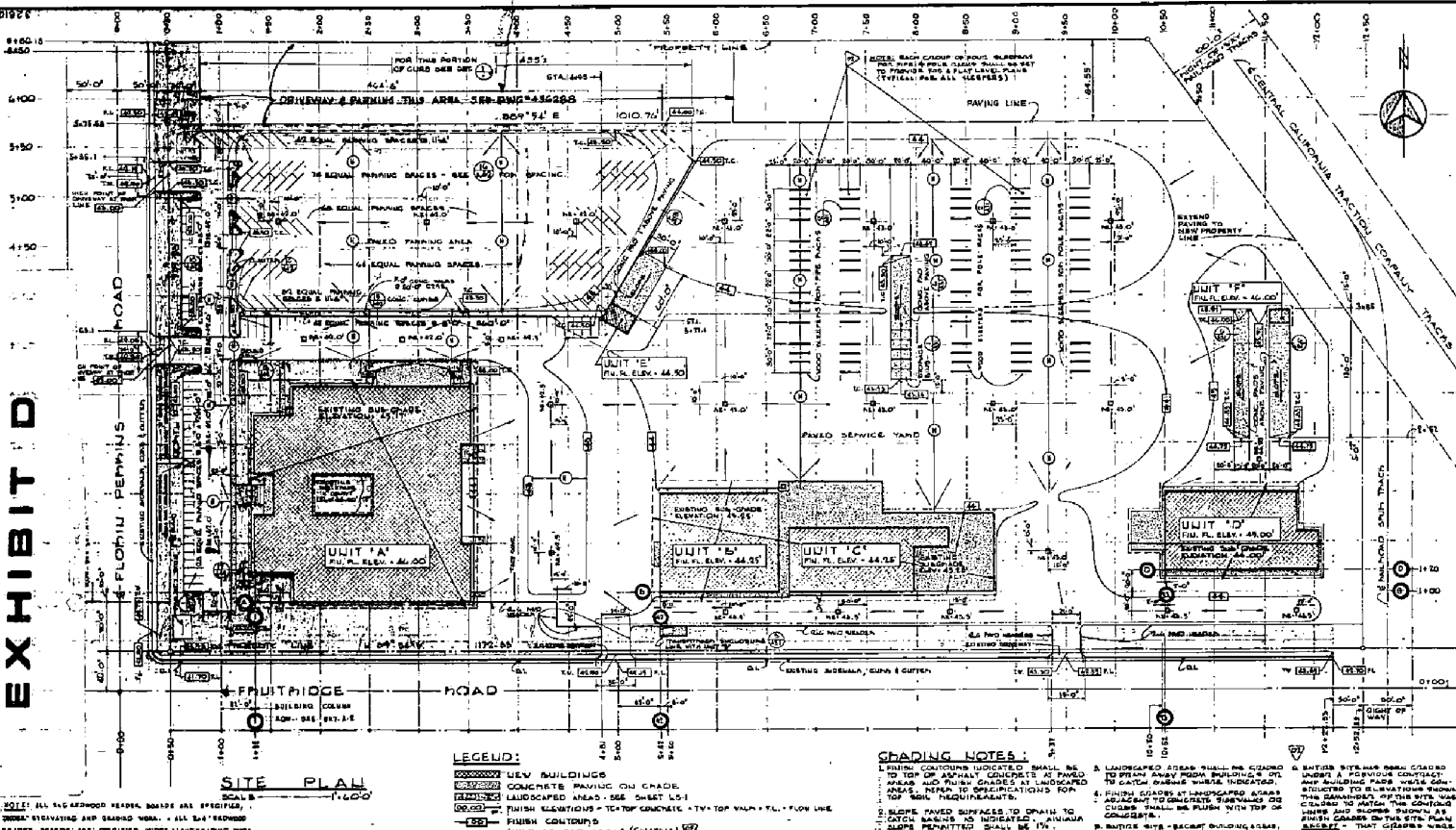
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REVISION 1	ARCHITECTURAL	MICROFILM
	TYPICAL DETAILS (FOOTINGS, RAMP)	
	ROHNERT PARK MATERIAL CENTER	
	ROHNERT PARK	
	PACIFIC GAS AND ELECTRIC COMPANY	363237
	SAN FRANCISCO, CALIFORNIA	02

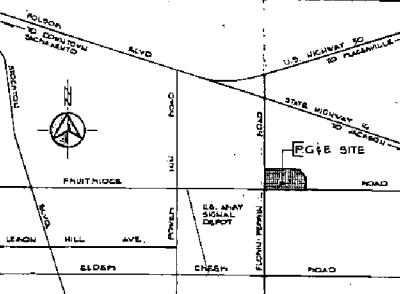
REFERENCE DRAWING



EXHIBIT D



REUCO MAPS: U.S.C. & G.S. DATA
S.A. 1 ELEV. 42.00' ... SOUTH SIDE OF FLORIAN PERPINS ROAD BY AILE SOUTH OF FRUITRIDGE ROAD AT S.W. CORNER TRYS



VICINITY MAP OF SITE AREA
SCALE: 1" = 100'

ABBREVIATIONS & SYMBOLS

Table with columns for ABBREVIATIONS & SYMBOLS and FIRE EXTINGUISHERS. Includes symbols for various materials and fire extinguisher types.

NOTE: ALL 4" X 4" WOOD STUDS, BOARDS ARE SPECIFIED
WOODS: STEELING AND SHAPED WOOD. ALL 2" X 4" REDWOOD
SHAPED BOARDS AND SPECIFIED STUDS: LADDERING WOOD.

SITE PLAN
SCALE: 1" = 100'

LEGEND:

- NEW BUILDINGS
CONCRETE FINISH ON GRADE
LANDSCAPED AREAS - SEE SHEET 101
FINISH CONTOUR
BUILDING PAD AREAS (EXISTING)
RISE PRINT OR HIGH RISE OF FINISH TO FINISH IN 1/4" = 1" DRAIN.

SHADING NOTES:

- LANDSCAPED AREAS WILL BE GRADED TO FINISH GRADE FROM EXISTING OR ADJACENT TO CONCRETE FINISH ON GRADE.
FINISH CONTOUR SHALL BE FINISH WITH TOP OF CONCRETE.
FINISH GRADES ON THIS SITE SHALL BE FINISH WITH TOP OF CONCRETE.

INDEX TO DRAWINGS table with columns: ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, LANDSCAPING, FIRE SPRINKLERS. Lists drawing numbers and descriptions for each category.

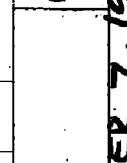
INDEX TO DRAWINGS 102 SHEETS

TABLE OF CHANGES
2 SHEETS AS SHOWN REVISED
1 SHEET APPROVED FOR CONSTRUCTION
DATE: 12/7/58
BY: [Signature]

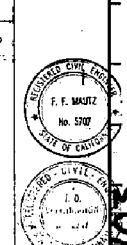
APPROVED: [Signature]
DATE: 12/7/58
SHEET NO. 102 OF 102
SHEET TOTAL: 102
DATE: 12/7/58

SITE PLAN AND INDEX OF DRAWINGS
SACRAMENTO SERVICE CENTER
DEPARTMENT OF ENGINEERING
PACIFIC GAS AND ELECTRIC COMPANY
SAN FRANCISCO, CALIFORNIA

L. COX & LIKKE ASSOCIATES
ARCHITECTS
1000 MARKET STREET, SUITE 1000
SAN FRANCISCO, CALIFORNIA



NO PARKING SHALL BE PERMITTED ON ANY SIDE OF THE STREET EXCEPT AS SHOWN OTHERWISE ON THIS PLAN.



PART ENLARGED PLAN
SCALE: 1/4" = 1'-0"

326102

DECEMBER 7, 1958