

P98-132 - Northern California Prep School

- NOTICE OF DECISION:
- A. **Environmental Determination:** Categorical Exemption (CEQA Section 15301)
  - B. **Special Permit** to establish a 10,000± square foot, 50± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone;
  - C. **Plan Review** for establishment of a 10,000± square foot, 50± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone;
  - D. **Variance** to waive the solid masonry wall requirement for a non-residential land use abutting residential zoned or used properties.

LOCATION: 6046 Lemon Hill Avenue  
APN: 038-0091-016  
South Sacramento Community Plan Area  
Council District 6

APPLICANT:	Tamre Burns, 369-0130 4370 Mather School Road Rancho Cordova, CA 95655
OWNER:	Tamre Burns, 369-0130 4370 Mather School Road Rancho Cordova, CA 95655
APPLICATION FILED/COMPLETED:	December 2, 1998
STAFF CONTACT:	Brad Shirhall, 916-264-7483

**BACKGROUND:** On May 13, 1999 the Planning Commission heard and considered public testimony regarding a the above entitlements. Based on verbal and documentary evidence presented at said hearing, the Commission approved an intent motion to approve the Special Permit, the Plan Review, and the Variance. This Notice of Decision presents the

findings of fact necessary for the Planning Commission to formally approve all three entitlements.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny A, B, C, and D. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION:

Staff recommends the Planning Commission take the following actions:

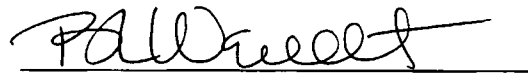
- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15301;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to establish a 10,000± square foot, 40± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Plan Review for establishment of a 10,000± square foot, 40± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone.
- D. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to waive the solid masonry wall requirement for a non-residential land use abutting residential zoned or used properties.

Report Prepared By,

Report Reviewed By,



Brad Shirhall, Associate Planner



Barbara Wendt, Senior Planner

Attachments

- Attachment 1      Notice of Decision & Findings of Fact
- Exhibit 1A        Site Plan
- Exhibit 1B        Floor Plans
- Exhibit 1C        Floor Plans
- Exhibit 1D        Elevations

**AMENDED NOTICE OF DECISION AND FINDINGS OF FACT FOR  
NORTHERN CALIFORNIA PREP SCHOOL, LOCATED AT 6046 LEMON HILL  
AVENUE SACRAMENTO, CALIFORNIA IN THE  
MULTI-FAMILY REVIEW (R2B-R) ZONE. (P98-132)**

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At the regular meeting of May 27, 1999, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination:** Categorical Exemption (CEQA Section 15301);
- B. **Approved a Special Permit** to establish a 10,000± square foot, 40± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone;
- C. **Approved a Plan Review** for establishment of a 10,000± square foot, 40± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone.
- D. **Approved the Variance** to waive the solid masonry wall requirement for a non-residential land use abutting residential zoned or used properties.

These actions were made based upon the following findings of fact and subject to the following conditions:

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**FINDINGS OF FACT**

- A. Categorical Exemption: The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section 15301 of the CEQA Guidelines.
- B. The Special Permit to establish a 10,000± square foot, 50± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone is approved subject to the following findings of fact:
  1. The proposed use is based upon sound principles of land use in that the proposed use, as conditioned, is compatible with the surrounding residentially used and zoned properties;
  2. Granting of the Special Permit shall not be detrimental to the public health, safety, or welfare, and it will not create a public nuisance in that, as

conditioned, the use will appropriately screened from the surrounding residentially used and zoned properties;

3. The proposed use will be compatible with the objectives of the general plan for the area in that it promotes assisting school districts to provide quality educational facilities.

C. The Plan Review for establishment of a 10,000± square foot, 50± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone is approved subject to the following findings of fact:

1. The proposed school, when granted a Special Permit, is consistent with the General Plan land use designation of High Density Residential;
2. Facilities, including utilities, access roads, sanitation, and drainage are all existing and consistent with City standards, and the proposed improvements, as conditioned, are properly related to existing and proposed streets and highways;
3. The property involved is of more than adequate size and shape to accommodate the existing structures;
4. Approval of the Plan Review will not be contrary to the public health or safety or injurious to the property or improvements of the adjacent properties.

D. The Variance to waive the solid masonry wall requirement for a non-residential land use abutting residential zoned or used properties is approved based on the following findings of fact:

1. The Variance would not constitute a special privilege extended to one individual property owner in that other property owners specifically associated with public school districts wanting to place non-residential land uses next to residentially zoned or used properties would not have been required to construct a six foot tall solid masonry or brick wall;
2. The Variance is not a use Variance in that this land use is allowed in this zone with a Special Permit;
3. The project will not be injurious to the public welfare and to the property in the vicinity of the project in that implementation of the project, without the wall, will not present a nuisance to adjacent property owners;
4. The Variance is in harmony with the purpose and intent of the Zoning

Ordinance as it will not conflict with the goals of the General Plan of the City.

**CONDITIONS OF APPROVAL**

- A. The Special Permit to establish a 10,000± square foot, 40± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone is hereby approved subject to the following conditions:
- A1. Students shall be limited to 4<sup>th</sup> grade through 12<sup>th</sup> grade.
  - A2. School shall be limited to a maximum of 50 students.
  - A3. School shall be limited to hours of operation from 8:00 A.M. to 4:00 P.M. on Monday through Friday.
  - A4. Existing Single family residential structures can be converted to office use as long as that use is directly related to Northern California Preparatory School.
  - A5. Prior to issuance of final Certificate of Occupancy, applicant or owner shall construct a six foot solid masonry, brick, or other similar material wall around the perimeter of the property consistent with requirements found in Section 3-D of the City's Zoning Ordinance.
  - A6. Prior to issuance of Certificate of Occupancy, applicant shall design and construct a trash enclosure, to the satisfaction of the Planning Department. Trash enclosure and location shall comply with Section 34 of the City Zoning Ordinance.
- B. The Plan Review for establishment of a 10,000± square foot, 50± student school in existing buildings on 2.8± developed acres in the R2B-R (Multi-family Review) zone is hereby approved subject to the following conditions:
- B1. The applicant shall obtain all necessary building permits prior to commencing construction.
  - B2. Applicant shall redesign project to indicate location of trash enclosure, to the satisfaction of the Planning Department. Trash enclosure size, construction, and location shall comply with Section 34 of the City Zoning Ordinance and shall be constructed prior to issuance of Certificate of Occupancy.
  - B3. Any signage shall comply with the City's Sign Ordinance.

*Public Works Department*

The following are conditions for subject project that shall be satisfied prior to issuance of any building permit:

- B4. Dedicate a standard 12½ foot public utility easement for underground and overhead facilities and appurtenances adjacent to Lemon Hill Avenue.
- B5. Remove and reconstruct existing deteriorated curb, gutter, and sidewalk per City standards.
- B6. Gates at driveways shall be a minimum of 20 feet from the public street right of way.
- B7. The driveway shall be a minimum width of 24 feet and a maximum width of 35 feet.
- B8. Standard vehicular sight distance shall be maintained at the driveway. This may require alterations to the existing wall at the back of sidewalk.
- B9. Front gates shall have a Knox Lock prior to issuance of Certificate of Occupancy.
- B10. "No Parking" shall be posted on the east side of the parking lot prior to issuance of Certificate of Occupancy.
- B11. A "turn-around" area meeting the requirements of the Fire Department shall be constructed/included in the parking lot prior to issuance of Certificate of Occupancy.

*Utilities Department*

- B12. The proposed development is located within Sacramento Sanitation District No. 1. Contact the Regional Sanitation District for sanitary sewer conditions.

*Advisory notes*

The proposed project is located in the 100 year flood plain, designated as

an AR zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. With the AR zone the following regulations will apply:

- All new residential and commercial development will be required to be constructed with the lowest floor, including basement, at or above the base flood elevation, or 3 feet above the highest adjacent grade, whichever is lower.
- Commercial projects will have the option of flood proofing in lieu of the elevation requirements.

Special Note: The Army Corps of Engineers is currently considering reducing the estimated 100-year flows on the American River. If the estimated flows are reduced, the AR flood zone may be replaced with a less restrictive flood zone thus precluding the requirement to elevate or flood proof this project.

C. The Variance to waive the solid masonry wall requirement for a non-residential land use abutting residential zoned or used properties is hereby approved subject to the following conditions of approval:

- C1. Should the specific land use as a "school," for a maximum number of 50 students, associated with public school districts in the northern California region, change to another non-residential use, the property owner shall be required to construct a six foot tall solid masonry wall along all property lines abutting residentially zoned or used properties. In lieu of constructing said wall, the property owner shall be required to apply for, and be granted a Variance from this requirement, as found in the City Zoning Ordinance.

ATTEST:



SECRETARY TO CITY PLANNING COMMISSION

5-27-99

DATE (P98-132)

  
CHAIRPERSON

Exhibit 1A Site Plan  
Exhibit 1B Floor Plans  
Exhibit 1C Floor Plans  
Exhibit 1D Elevations

Exhibit 1A - Site Plan

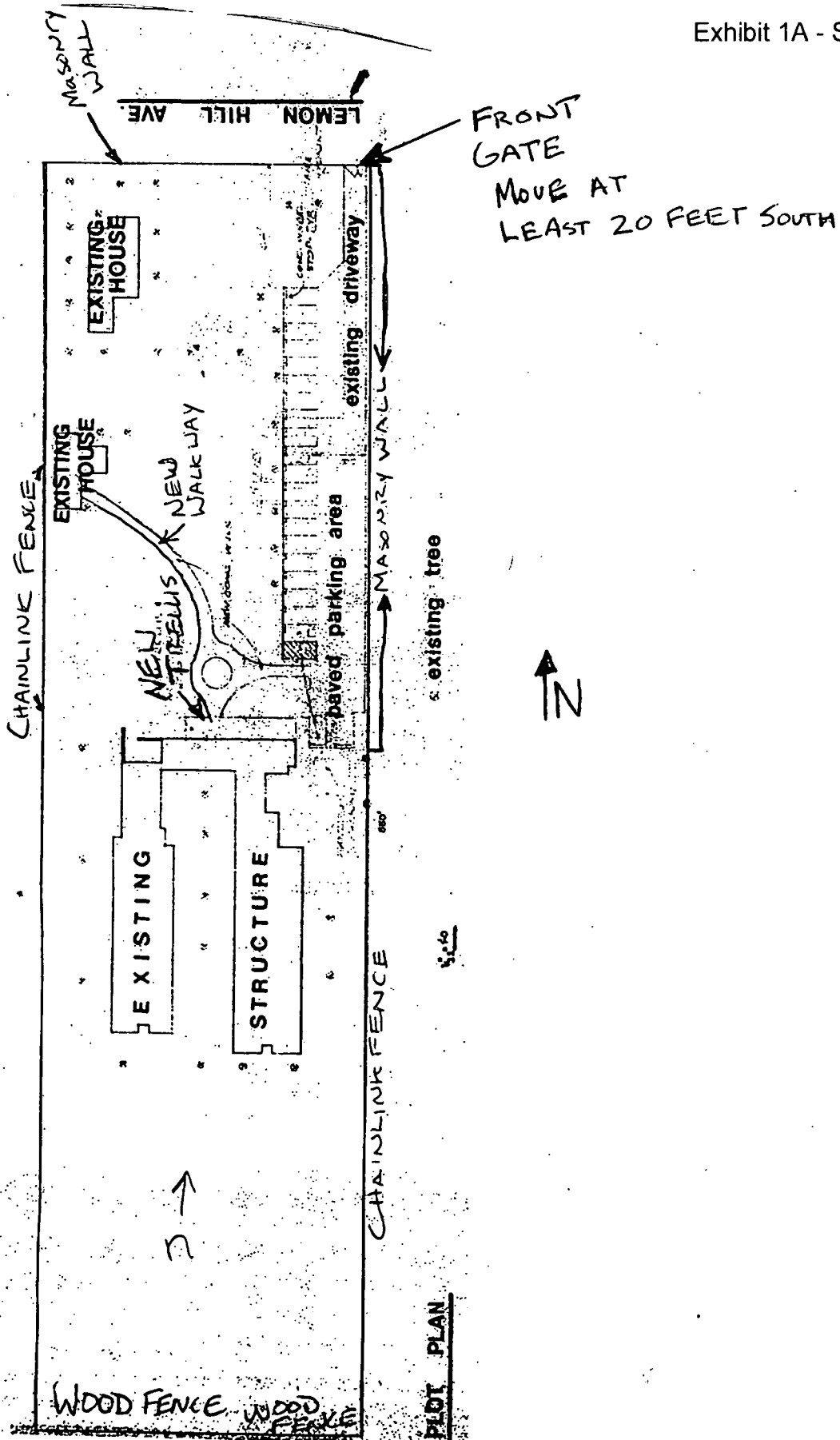
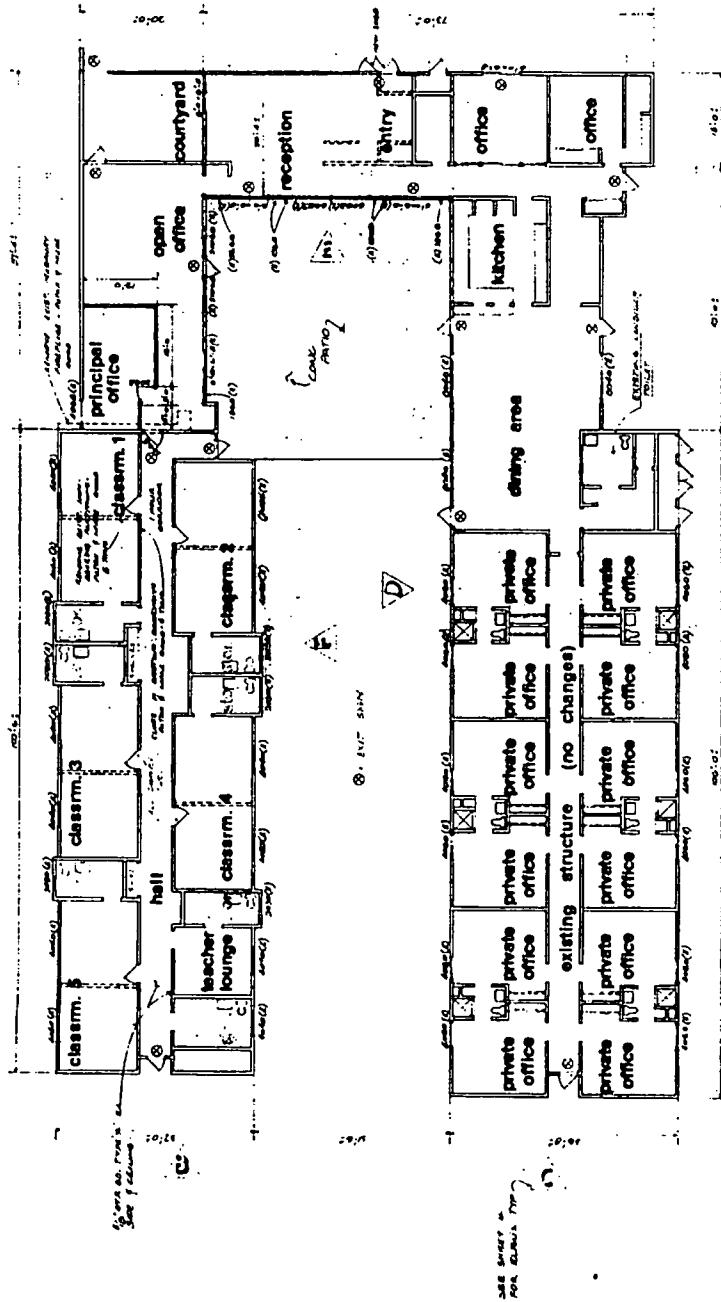
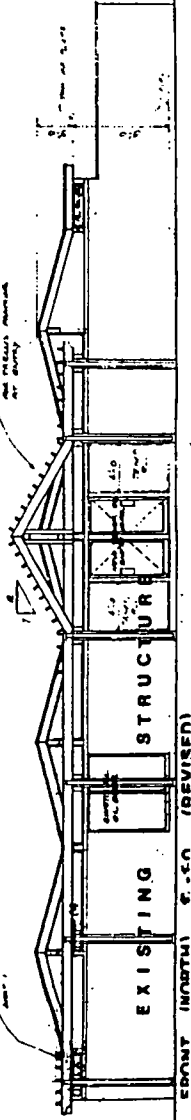




Exhibit 1B - Floor Plans



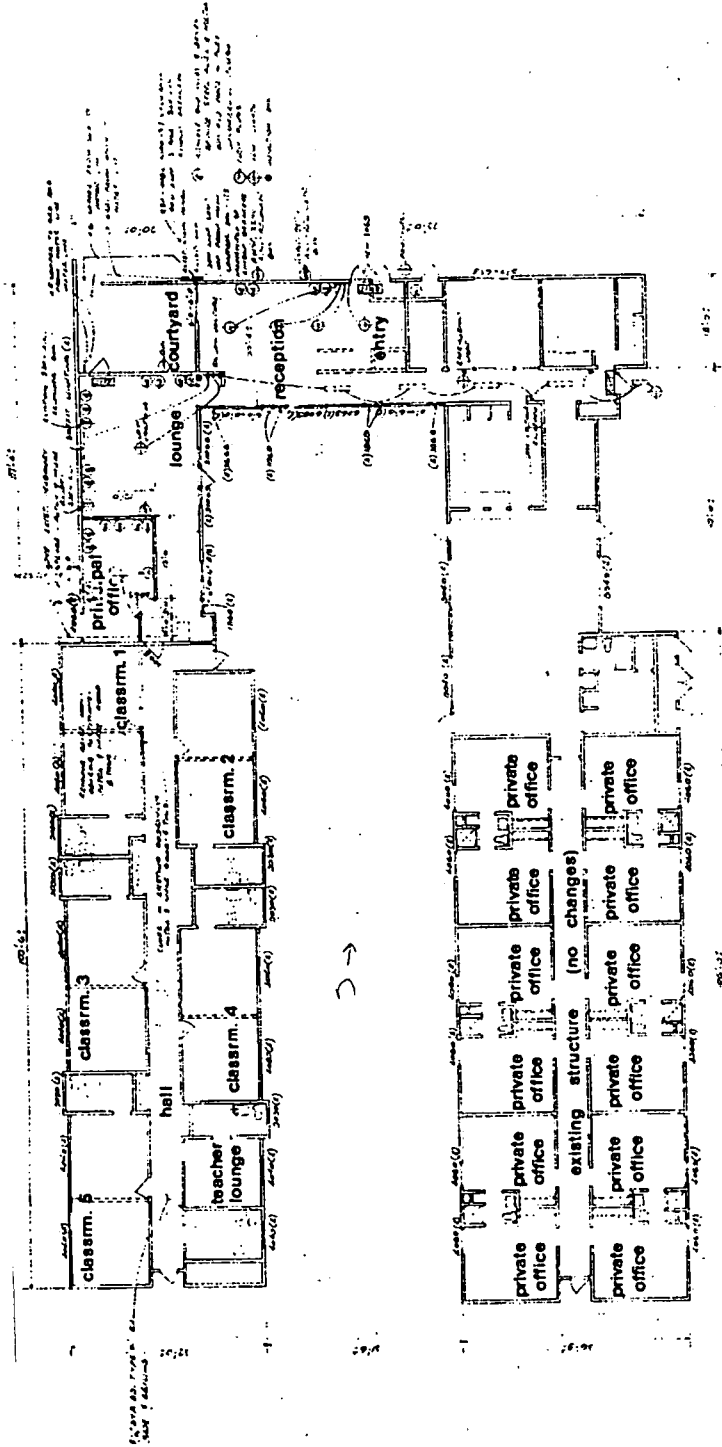
FLOOR PLAN 1/8 I-0



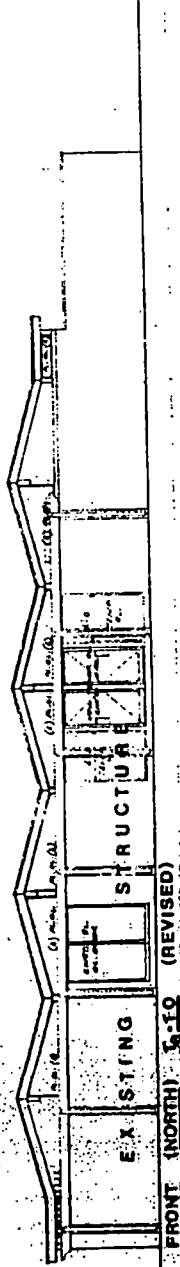
**RE** Project Consultants Engineers  
 1710 West Broadway, Suite 200  
 San Francisco, CA 94111  
 Remodel Northern California  
 Education Center  
 05/27/99 1/8 I-0



Exhibit 1C - Floor Plans



FLOOR PLAN 1/8"=1'-0" ELECTRICAL



Remodel - Northern California Education Center	
floor plan; front elev. 3 of 3	

Exhibit 1D - Elevations

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
Architect elevations										Interior Elevations										Exterior Elevations										4																																																																					

