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CITY OF SACRAMENTO

CITY PLANNING DEPARTMENT

915 "I" STREET
CITY HALL - ROOM 308

SACRAMENTO, CALIF. 95814
TELEPHONE (916) 449-5804

ETHAN BROWNING, JR.
PLANNING DIRECTOR

January 3, 1980

City Council
Sacramento, California

Honorable Members in Session:

- SUBJECT: 1. Environmental Impact Determination
 2. Tentative Map (P-8810)

LOCATION: Southwest corner of Northgate Boulevard and West El Camino Ave.

SUMMARY

This is a request to divide a 10+ acre site into seven ~~commercial~~ lots located in the C-2 zone. The purpose of the division is to expand an existing shopping center and to allow the sale and lease of commercial space. The staff and Subdivision Review Committee recommended approval of the request subject to conditions.

BACKGROUND INFORMATION

Land divisions involving four lots or less that do not have concurrent variance, rezoning, or plan amendment requests, can be reviewed by staff and transmitted directly to the City Council, thus eliminating the requirement for consideration by the Planning Commission.

Surrounding land use and zoning are as follows:

- North: Residential and Commercial; R-3 and C-2
- South: Vacant and commercial; C-2
- East: Commercial; C-2
- West: Vacant; SC and R-3

A Negative Declaration for the project was filed on November 9, 1979.

The subject site is partially developed with a shopping center that consists of a grocery store, bank, and other convenience-type commercial uses. The applicant proposes to expand the shopping center to include another grocery store (to replace existing), retail shops, and financial type uses.

FILED
City Clerk
Office of the City Clerk
Cont No
1-15-80
JAN 6 1980

The only concern staff has is relative to landscaping of the site. The existing shopping center has a minimal amount of landscaping along Northgate Boulevard, and there is a planter along West El Camino Avenue. However, there is no landscaping within these planter strips. The proposed site design for the expansion does not clearly show the areas that will be landscaped. The areas that appear to be landscaped are minimal. In addition there are long and continuous rows of parking with no landscaping islands and there is only six feet of landscaping along Northgate.

In order to improve the landscaping for the entire complex, staff suggests that additional landscaping be provided as illustrated on Exhibit "A." Generally, this includes a minimum 10 feet along Northgate Boulevard and West El Camino Avenue and additional landscaping islands to break the long parking aisles.

A portion of the site is located adjacent to residentially zoned property. Staff suggests that a decorative masonry wall be required where the site abuts residential property (north and west sides).

RECOMMENDATION

The Parcel Map Advisory Agency (Planning Director and City Engineer), based upon review by the Subdivision Review Committee, recommends approval of the tentative map subject to the following conditions:

1. That the applicant show existing sewer, water and drainage easements or lines on final map; the applicant provide reciprocal water, sewer and drainage easements as required and delineate those easements on the final map; the applicant delineate proposed easements where relocation is necessary and abandon easements on the final map.
2. The applicant shall pay off in full existing assessments.
3. Prior to recordation of final map, the applicant shall eliminate the existing driveway located nearest the southern property line along Northgate Boulevard to the satisfaction of the Traffic Engineer.
4. Landscaping shall be provided in areas as shown on Exhibit "A."
5. Reciprocal easements shall be shown on the final map to assure ingress and egress to common parking and driveway areas.
6. Provide a six-foot high decorative masonry wall along the westerly and northerly property line where there is residential zoning that abuts the site.

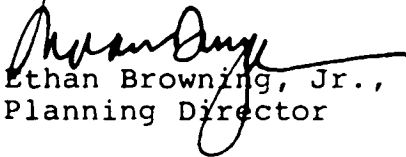
City Council

-3-

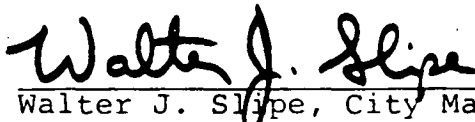
January 3, 1980

If the City Council concurs with this recommendation, the proper action would be to adopt the attached Tentative Map resolution.

Respectfully submitted,

for 
Ethan Browning, Jr.,
Planning Director

RECOMMENDATION APPROVED:

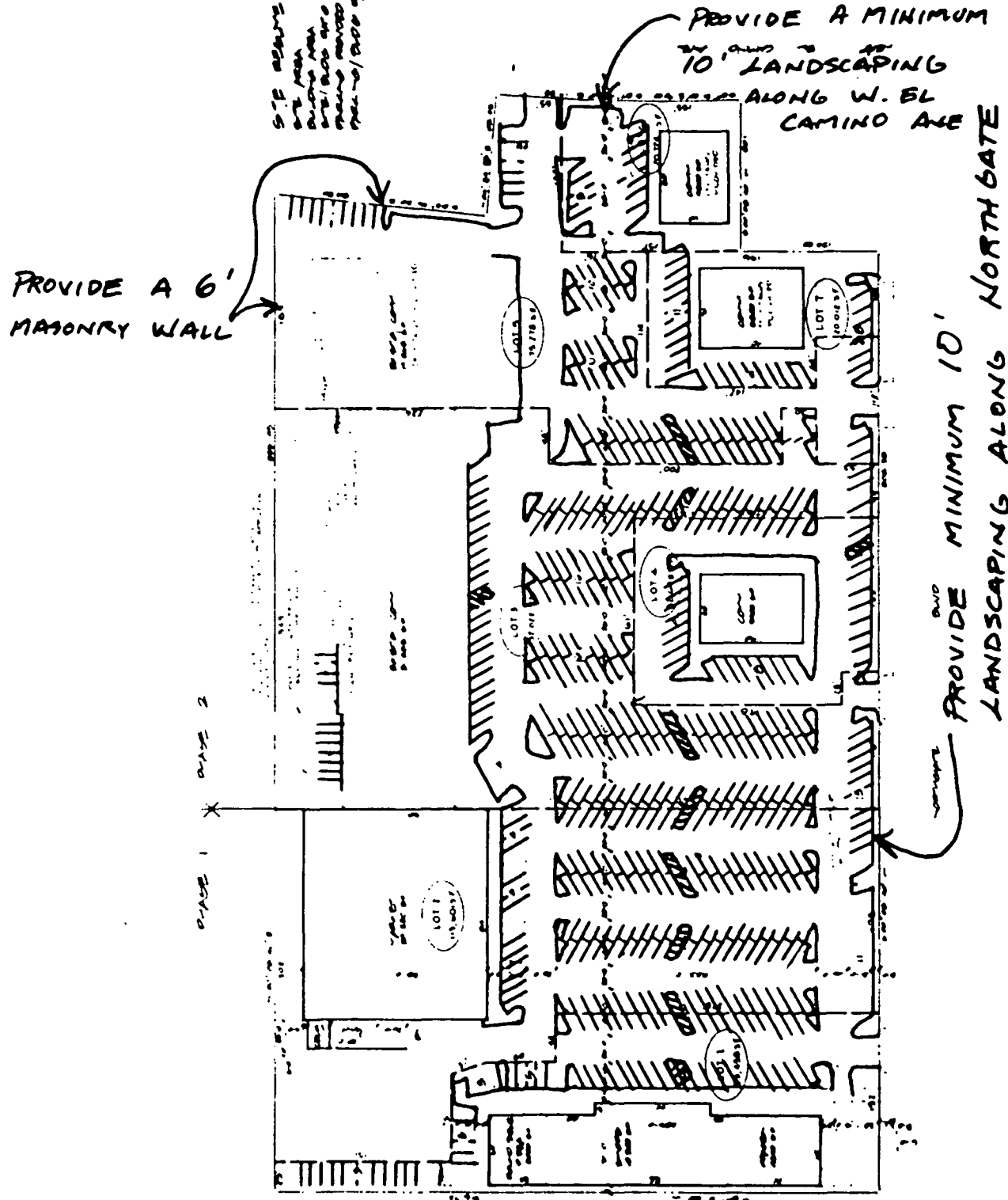

Walter J. Slipe, City Manager

January 8, 1980
District No. 1

EBj:HY:bw

Attachments
P-8810

EXHIBIT "A"



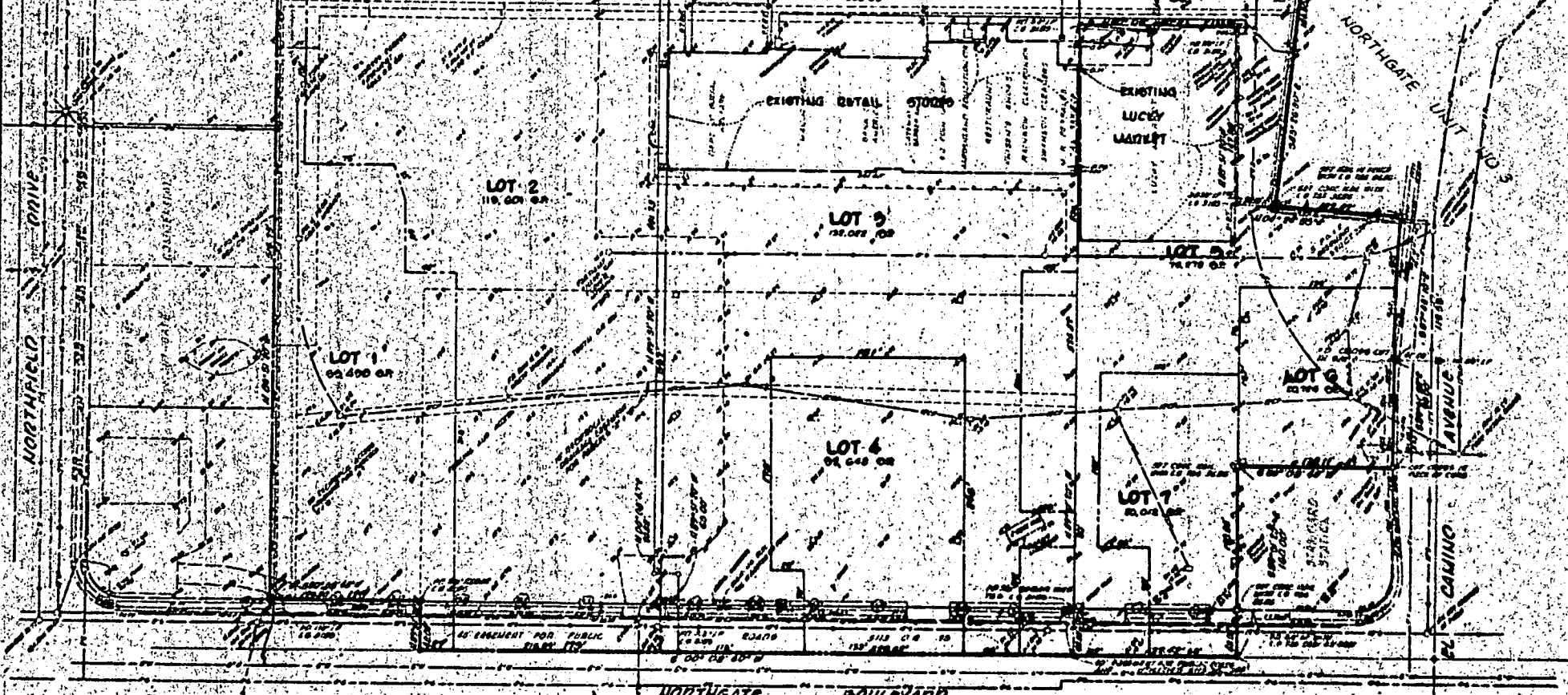
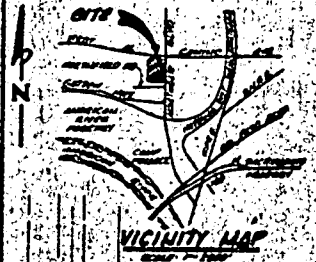
PROVIDE A 6'
MASONRY WALL

PROVIDE A MINIMUM
10' LANDSCAPING
ALONG W. EL
CAMINO AVE

PROVIDE MINIMUM 10'
LANDSCAPING ALONG
NORTH GATE

PROVIDE LANDSCAPING IN THESE
AREAS.

P-8810



LEGEND

- PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING DRIVE AND DRIVEWAY
- EXISTING SIDEWALK AND PAVEMENT
- EXISTING UNDERGROUND UTILITY
- EXISTING EASEMENT
- EXISTING FENCE
- EXISTING CURB
- EXISTING DRIVEWAY
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING FENCE
- EXISTING CURB
- EXISTING DRIVEWAY
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING PAVEMENT

NO. OF SHEETS	1 OF 1
TITLE	NORTHGATE SHOPPING CENTER
DATE	1967
DRAWN BY	
CHECKED BY	
APPROVED BY	
SCALE	
PROJECT NO.	

COOPER, GOOD & ASSOCIATES INC.
 CIVIL ENGINEERING & LAND SURVEYING
 8011 ADAMS WAY, SUITE 10
 SACRAMENTO, CALIFORNIA
 (916) 917-6400

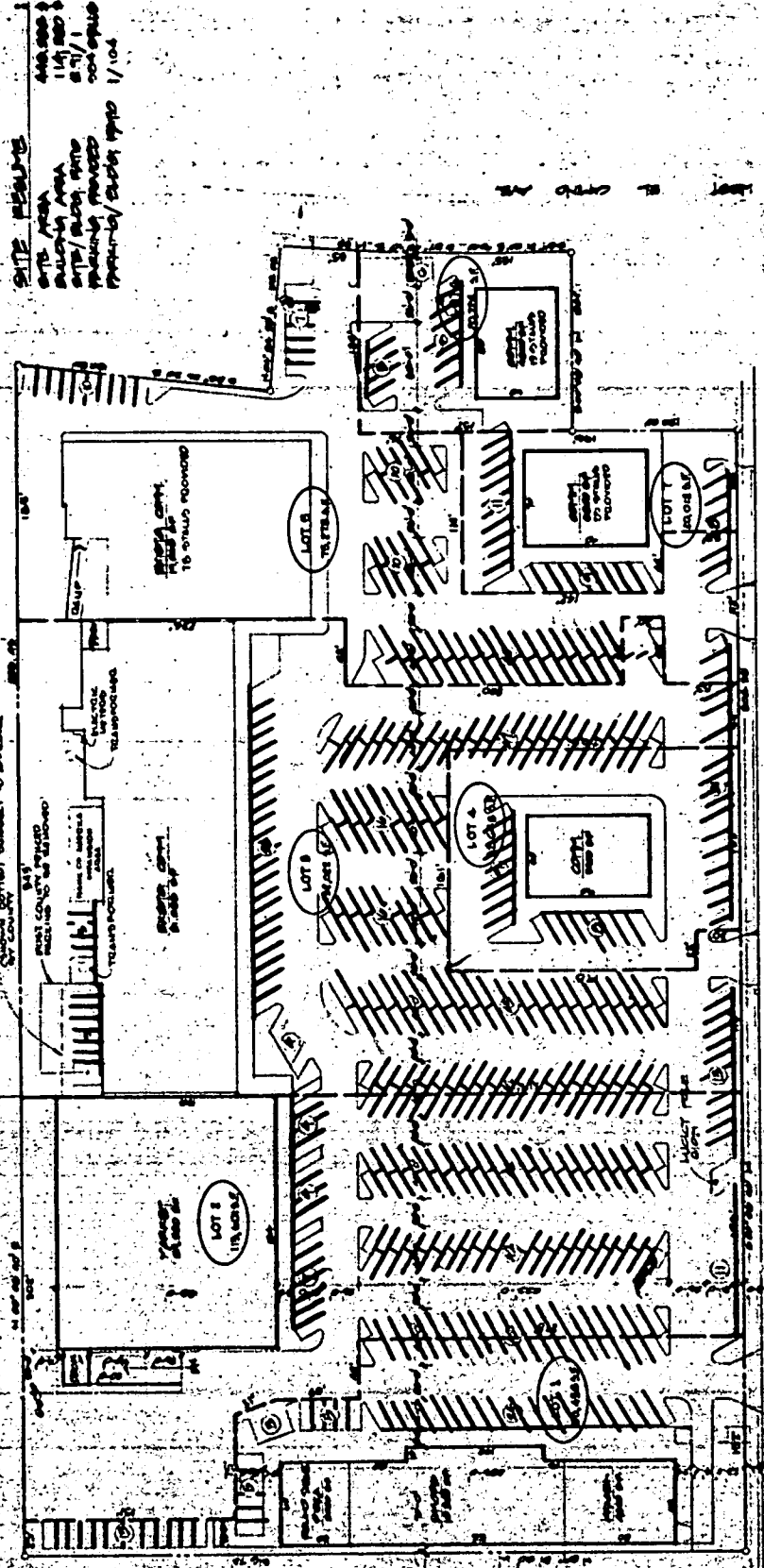
TENTATIVE PAVEMENT MAP
NORTHGATE SHOPPING CENTER
 SACRAMENTO, CALIFORNIA

COOPER, BODOLF & ASSOCIATES
Lead Surveying
Civil Engineering
3021 Arden Way, Suite 10
Berkeley, CA 94705 (415) 841-1300

NORTHGATE SHOPPING CENTER
NORTHGATE SHOPPING CENTER
NORTHGATE SHOPPING CENTER

SITE PLAN TO ACCOMPANY
TENTATIVE PARCEL MAP
NORTHGATE SHOPPING CENTER

PHASE 1 * PAGE 2



100' / 1
150' / 2
150' / 3
150' / 4
150' / 5

100' / 1
150' / 2
150' / 3
150' / 4
150' / 5

SCALE: 1" = 40'
SANTA ANITA DEVELOPMENT CORP.

NORTHGATE

17-05-0000

RESOLUTION NO.

Adopted by The Sacramento City Council on date of

ADOPTING FINDINGS OF FACT, APPROVING A REQUEST
FOR TENTATIVE PARCEL MAP FOR NORTHGATE SHOPPING
CENTER (P-8810) (APN: 274-245-05, 06;
274-110-20, 37, 38)

WHEREAS, the Parcel Map Advisory Agency has submitted to the City Council its report and recommendations concerning the tentative parcel map for 10+ acres that are located at the southwest corner of Northgate Boulevard and West El Camino Avenue (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearings conducted on January 8, 1980, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the South Natomas Community Plan in that the plans designate the subject site for Commercial-Shopping Center.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator, who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.
- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision, in that there are no access easements for use by the public at large on the subject site.
- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing County of Sacramento treatment plants have a design capacity for which the discharge from the proposed project will not create a condition exceeding the design capacity.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Sacramento as follows:

1. That the Negative Declaration be ratified; and
2. That the tentative map be approved subject to the following conditions:
 - a. That the applicant show existing sewer, water and drainage easements or lines on final map; the applicant provide reciprocal water, sewer and drainage easements as required and delineate those easements on the final map; the applicant delineate proposed easements where relocation is necessary and abandon easements on the final map.
 - b. The applicant shall pay off in full existing assessments.
 - c. Prior to recordation of final map, the applicant shall eliminate the existing driveway located nearest the southern property line along Northgate Boulevard to the satisfaction of the Traffic Engineer.
 - d. Landscaping shall be provided in areas as shown on Exhibit "A."
 - e. Reciprocal easements shall be shown on the final map to assure ingress and egress to common parking and driveway areas.
 - f. Provide a six-foot high decorative masonry wall along the westerly and northerly property line where there is residential zoning that abuts the site.

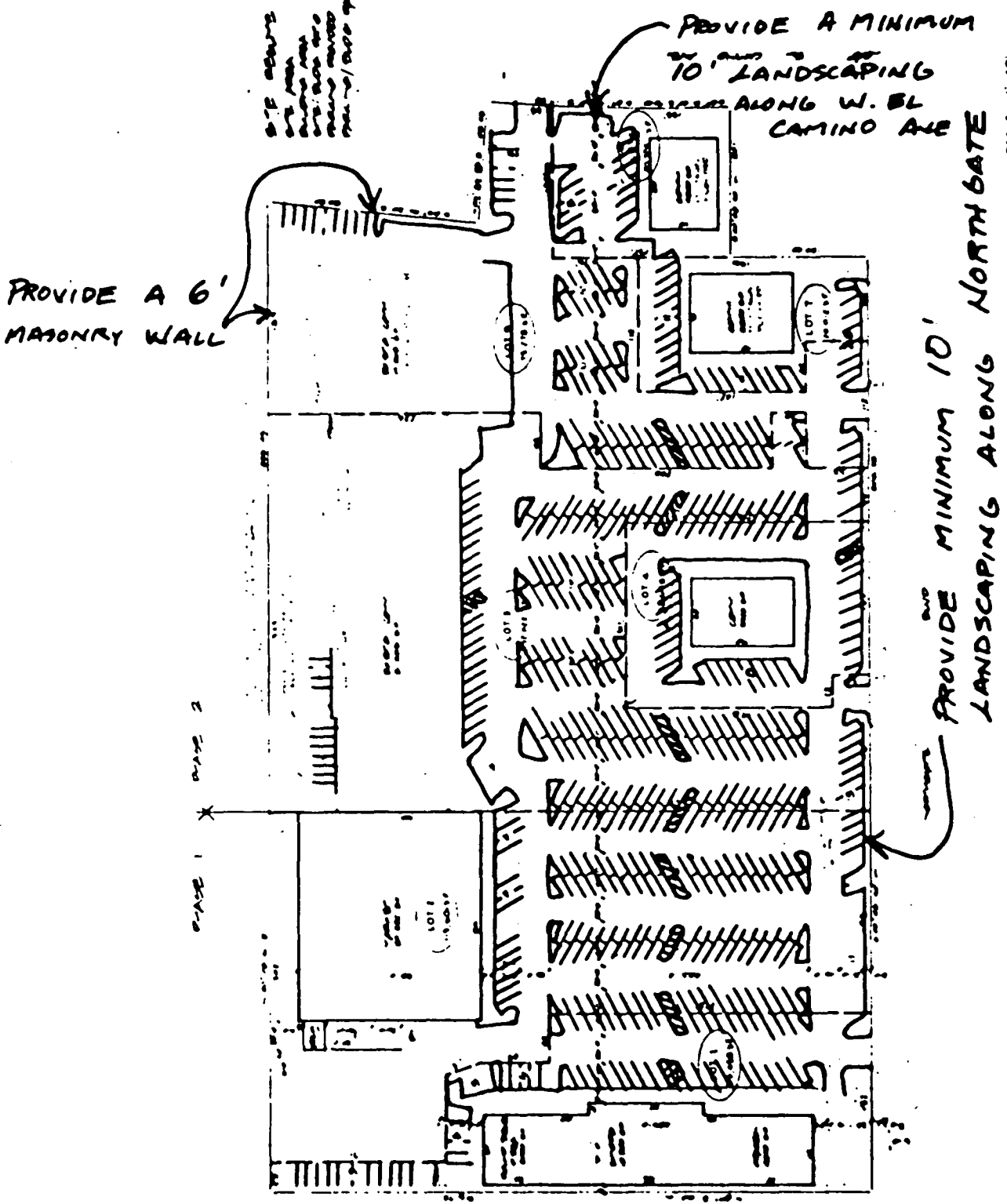
MAYOR

ATTEST:

CITY CLERK

P-8810

EXHIBIT "A"



PROVIDE LANDSCAPING IN THESE AREAS.