

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ.C).

Lenders Name OWNER
Lenders Address _____

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C53 Lic. Number C53-423441
Date 10/21/97 Contractor John Dwyer Sr.
(Signature)

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)
 - I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).
 - I am exempt under Sec. _____ B & P C for this reason _____
- Date _____ Owner _____
(Signature)

In issuing this building permit, the applicant represents, and the City relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative of this city to enter upon the abovementioned property for inspection purposes.

Date 10/21/97 Signature of Applicant or Agent John Dwyer Sr.

BUILDING SITE ADDRESS <u>4721 BREUNER AV.</u>		SUITE	INSP. AREA <u>1R</u>
ASSESSOR PARCEL NO. <u>005-0031-007</u>	COMMUNITY PLAN NO.		PLAN CHECK NO.
NAME OF APPLICANT	ADDRESS	ZIP CODE	PHONE NO.
LICENSED CONTRACTOR <u>OS DESIGN</u>	<u>1806 VERANO ST</u>	<u>95838</u>	<u>925-8448</u>
PROPERTY OWNER <u>A. PASCAL</u>	<u>4721 BREUNER AV</u>	<u>95819</u>	<u>731-7164</u>
ARCH. ENGR.	LICENSE NO.		

NO. OF STORIES	NO. OF ROOMS	ROOF COVERING	AREA 1ST FLOOR	TOTAL AREA	GARAGE AREA	PATIO AREA	USE ZONE <u>R-1</u>	STREET WIDTH
THIS PERMIT IS FOR: <input type="radio"/> BUILDING <input checked="" type="radio"/> MECHANICAL <input checked="" type="radio"/> PLUMBING <input checked="" type="radio"/> ELECTRICAL <input type="radio"/> SITE <input type="radio"/> FIRE								OCCUP. GROUP

NATURE OF WORK IN DETAIL
FIBERGLASS SWIM SPA
Upgrade Service to 200A & move weathhead to clear area pos
Setback OK
WT per W.W.

FLOOD STATUS () SPECIAL CONDITIONS ATTACHMENTS:

CITY OF SACRAMENTO PERMIT SERVICES BUILDING INSPECTION DIVISION 264-7619		VALUATION \$ <u>120006.00</u>	FIRE SP.
WORKER'S COMPENSATION DECLARATION		ISSUED BY: <u>[Signature]</u>	FED CODE
I hereby affirm under penalty of perjury one of the following declarations:		DATE ISSUED <u>11-25-97</u>	PERMIT NO.
<input type="checkbox"/> I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.		BUILDING PERMIT FEE \$ <u>336.00</u>	97
<input type="checkbox"/> I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:		PLUMBING PROC. FEE \$ <u>113.00</u>	
Carrier _____		S.M.I. FEE \$ <u>120</u>	1
Policy Number _____		CONST. EXCISE TAX \$ <u>0</u>	
<input checked="" type="checkbox"/> (This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.		CITY BUS LICENSE \$ <u>480</u>	4
Date: <u>10/21/97</u> Applicant: <u>John Dwyer Sr.</u> (Signature)		TECH. FEE \$ <u>1796</u>	
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE. INTEREST AND ATTORNEY'S FEES.		WATER DEV. FEE \$	7
		CITY SEWER DEV. FEE \$	
		REG. SEWER FEE \$	3
		RESIDENTIAL CONST. TAX \$	
		TOTAL FEES \$	0

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS.

PERMIT NO.

9714730

CITY OF SACRAMENTO
1231 I. ST. ROOM 200
BUILDING INSPECTIONS DIVISION

AREA NO.

102

WHEN CORRECTIONS HAVE BEEN MADE, CALL 264-5191 FOR REINSPECTION OF WORK.

JOB LOCATION 4721 Bremer Ave

INSPECTION REQUESTED Final

THE UNDERSIGNED BUILDING PLUMBING MECHANICAL ELECTRICAL
INSPECTOR THIS DAY INSPECTED THIS STRUCTURE FOR THE REQUESTED INSPECTION AND FOUND THE FOLLOWING VIOLATIONS OF CITY AND/OR STATE LAWS GOVERNING SAME: **F 01986**

① Provide manufacturer materials & plumbing fixtures for Spa Deck showing approvals for vent system. Is Type B vent required on outdoor locations? (etc)
This information was requested on exhaust notice dated 12-9-98

② If single wall vent is approved provide three screens per point specifying vent connection to duct for

INSPECTOR

Bill [Signature]

DATE 3/5/98

BUILDING INSPECTIONS 264-5716

INSPECTOR'S COPY

CITY OF SACRAMENTO

Permit No: 9714730

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 4721 BREUNER AV SAC

Sub-Type: NOTHR

Parcel No: 0050031007

Housing (Y/N): N

CONTRACTOR

GS DESIGN
1808 VERANO ST
SACRAMENTO CA 95838
Phone: 916-925-8448

OWNER

PASCAL RON
4721 BREUNER AV
SACRAMENTO CA 95819
Phone: 916-731-7164

ARCHITECT

Phone:

Nature of Work: INSTALL FIBERGLASS SWIM SPA

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Lender's Name

Lender's Address

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License Class C53 License Number 42331 Date 11/25/97 Contractor Signature John G...

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Date _____ Owner Signature _____

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Date _____ Applicant/Agent Signature _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

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I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11/25/97 Applicant Signature John G...

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

SUBMIT TWO COPIES

92-14730

THIS COPY SHALL BE ON JOB SITE AT ALL TIMES

CONTRACTOR/OWNER **B. D. F. C. W.**

ADDRESS: **4721 BREWSTER** TOTAL SQ. FT. **1910**

LOAD CALCULATION - N.E.C. 220-30

SACRAMENTO DIVISION
 NOV 22 1997
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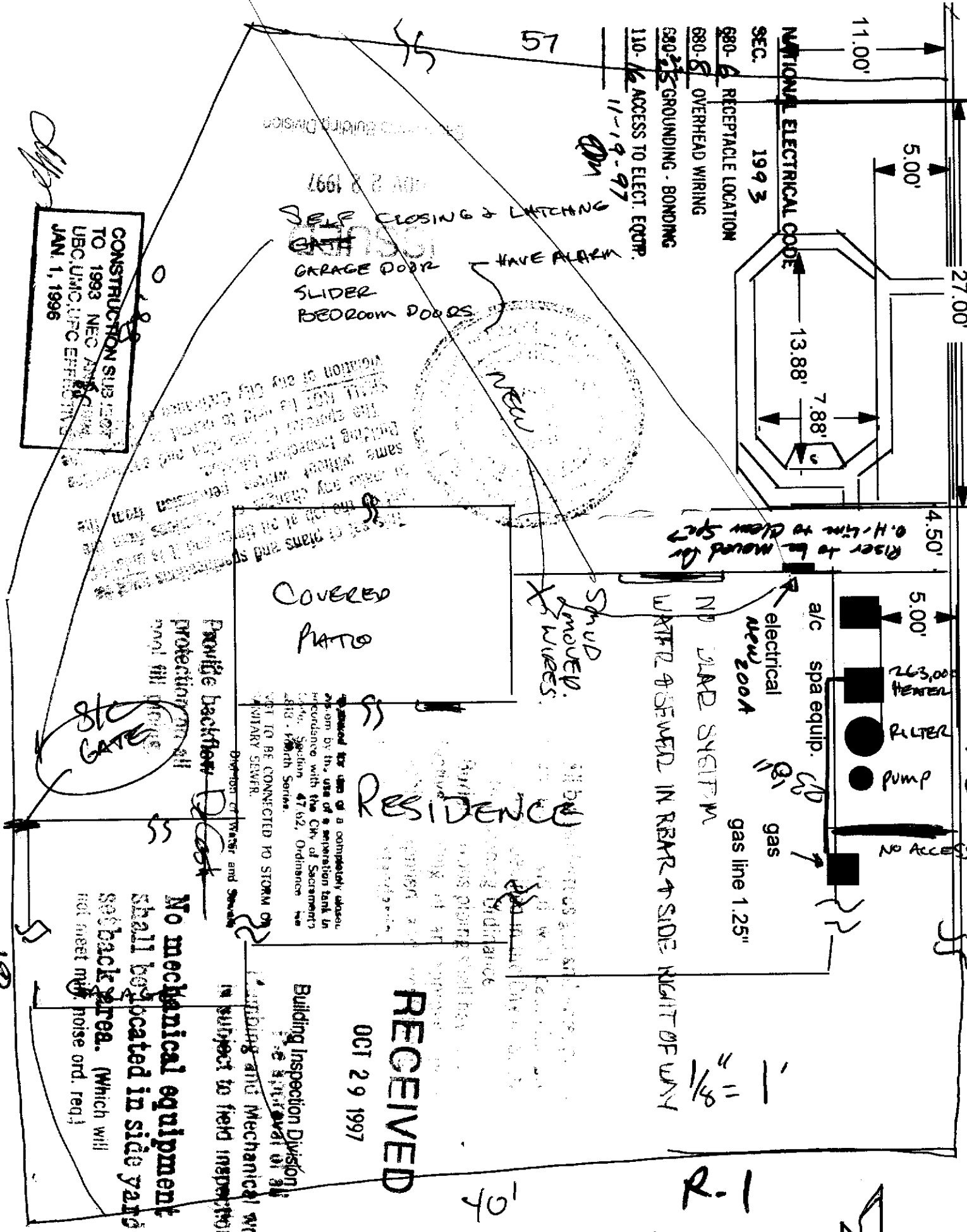
NUMBER	ITEM	WATTS	AMPS
410	Sq. ft @ 3 watts per sq. ft.	4230	
	20 Amp. Appliance circuits @ 1,500 watts each	1500	
	Range (Nameplate Rating = N.P.R.)	6700	
	Oven (N.P.R.)	5800	
	Cooking Units (N.P.R.)		
	Water Heater (N.P.R.)		
	Dishwasher (N.P.R.) 15	920	
	Disposal (N.P.R.) 15	190	
	Washer (1500 watts min. - N.E.C. 220-16(b))	1500	
	Dryer (5000 watts min. or N.P.R. if larger) N.E.C. 220-18)	5000	
	Meters (N.P.R.)		
	Other (N.P.R.) 2030	5060	
	Other (N.P.R.) 100W	100	
Air Conditioning Equipment			
	Air Conditioning [cooling @ (N.P.R. X 100%)] = 825A	5380	
	Electrical Heating @ (N.P.R.) X 65% =		
NOTE: USE THE LARGEST LOAD - HEAT OR COOL =			
Heat pump (compressor & fans) X 100% =			
Aux. heat strips (or elect. furnace) X 65% =			
Total Heat Pump Load =			
NOTE = AMPS X CIRCUIT VOLTAGE = WATTS 6380			

Heat Pump Note:
 Be careful when doing load calculations where heat pumps are installed. The load for most heat pumps that are equipped with auxiliary heat strips will be larger under the demand for heat. For the purposes of load calculations only, on heat pumps, use 100% of the heat pump compressor and fans and 65% of auxiliary heat load to show total heat pump load.

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Heat Pump Example
 Compressor 20 Amps
 Fans 5 amps
 Heat Pump Load = 25A X 240V = 6,000W
 Aux. Heat Strip = 6,000W X 65% = 3,900W
 Total Heat Pump Load = 9,900W

Sub-Total = **31500**
 (less 1st 10KW) - 10,000 @ 100% = **10,000** Watts
 Remainder @ 40% **21500** @ 40% = **8600** Watts
 Total Air Cond. and/or heat pump load = **5380** Watts
 Total Service Load = **23982** Watts
 Service Size **100A** (100A) Amps
 Total Service Load = **23982** Watts
 watts + 240V = **99.9** Amps



CONSTRUCTION SUBJECT TO 1993 NEC AND UBC, UMC, UPC EFFECTIVE JAN 1, 1996

1661 8 2 1007
 SELF CLOSING & LATCHING GARAGE DOOR SLIDER BEDROOM DOORS
 HAVE ALARM
 NEW

Profile backflow protection on all pool fill lines
 GATES

COVERED PATIO

SHOULD REMOVE WIRES

4.50' Riser to be moved for 0.11' line to allow spa
 5.00' a/c spa equip.
 263.00 PENTON
 FILTER
 PUMP
 NO ACCESS
 NO DRAIN SUMP
 WATER & SEWERED IN REAR & SIDE RIGHT OF WAY
 1/8" gas
 gas line 1.25"

RESIDENCE

Approved for use of a completely unobstructed area for the use of a generation tank in accordance with the City of Sacramento's Ordinance 4752, Ordinance No. 4752, North Series.
 SET TO BE CONNECTED TO STORM OR SANITARY SEWER.

Building Inspection Division
 Building and Mechanical work is subject to field inspection.

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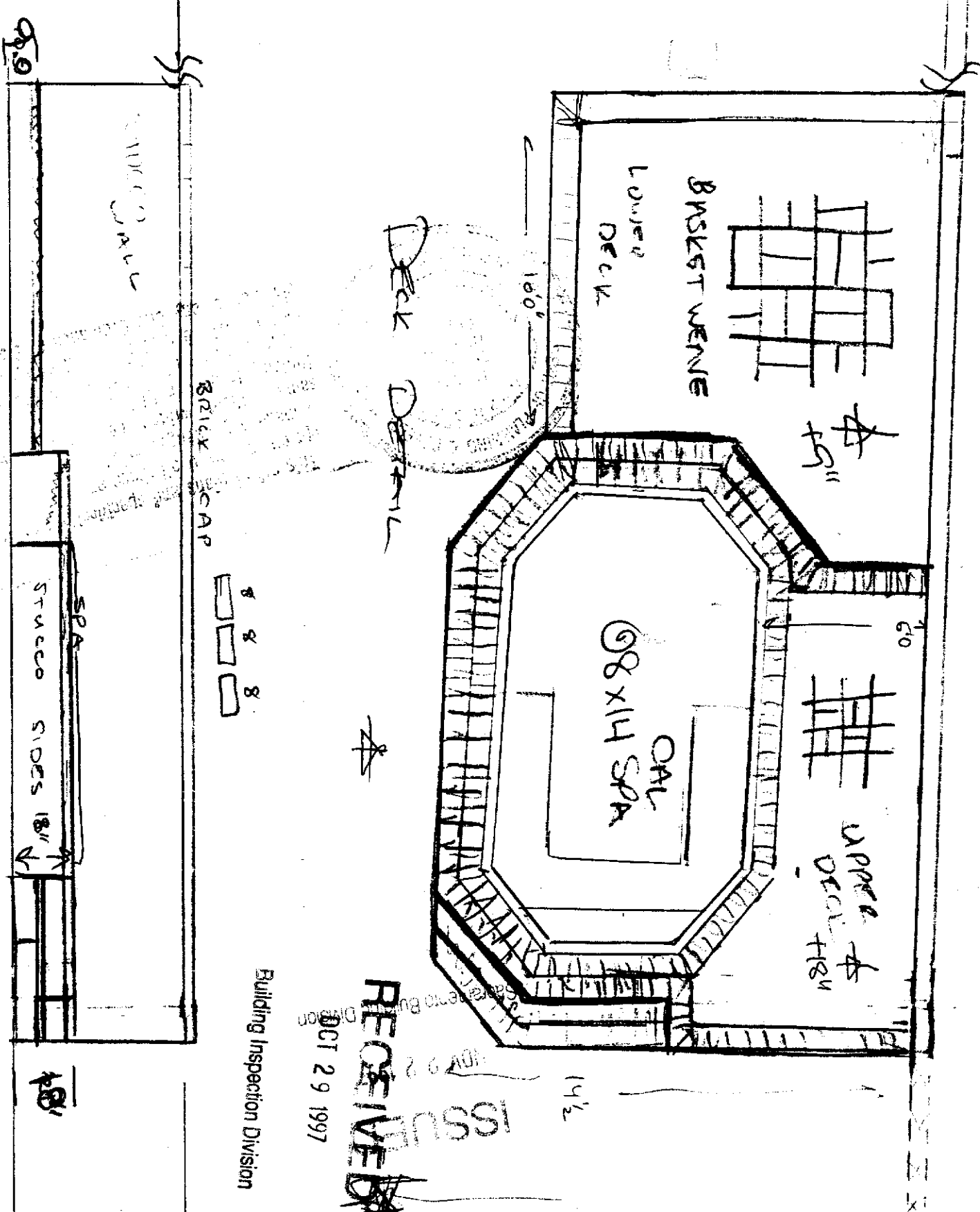
OCT 29 1997

No mechanical equipment shall be located in side yard setback area. (which will not meet min. noise ord. req.)

4721 BREUNER AVE.

R-1 DRIVE

2



Handwritten note: 15'

Handwritten note: Deck Detail

Handwritten note: BRICK SCAP



Handwritten note: SPA
STUCCO SIDES 18"

Building Inspection Division

OCT 29 1997

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ISSUED

14 1/2

18'