

# CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Murray Smith & Associates, 3020 Explorer Drive, Sacramento, CA 95827				
OWNER	H. C. Elliott, Inc., 11093 Suncenter Drive, Rancho Cordova, CA 95670				
PLANS BY	Murray Smith & Associates, 3020 Explorer Drive, Sacramento, CA 95827				
FILING DATE	4/6/84	50 DAY CPC ACTION DATE		REPORT BY:	SD:bw
NEGATIVE DEC.	4/30/84	EIR		ASSESSOR'S PCL. NO.	225-240-10 and 33

- APPLICATION:
1. Negative Declaration
  2. Rezone a portion of 28± acres from Townhouse (R-1A) to Single Family (R-1) zone (Sec. 13);
  3. Tentative Map (P84-142)

LOCATION: North of the intersection of Fairweather Drive and Erin Drive

PROPOSAL: The applicant is requesting the necessary entitlements to resubdivide 281 vacant acres into 138 single family lots.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1978 South Natomas Community  
Plan Designation: Residential (4-12 du/ac.; 7 average)  
Existing Zoning of Site: R-1 and R-1A  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single Family and Halfplex; R-1, R-1A  
South: Single Family; R-1  
East: Power line easement and Single Family; R-1  
West: Vacant; R-1A

Property Dimensions: Irregular  
Property Area: 28± acres  
Density of Development: 7.3 du/ac. net  
Topography: Flat  
Street Improvements/Utilities: To be provided  
North/South Lot Orientation: 26 percent

BACKGROUND INFORMATION: On November 13, 1979 the City Council approved a tentative map, rezoning and special permit to develop standard single family, corner duplexes, and corner and interior halfplexes for the subject site, as well as the area due north (P-8370). The map for this portion of the site expired. On January 14, 1981, an identical map was approved by the City Council (P-9599), but has since expired.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On April 25, 1984, by a vote of seven ayes and two absent, the Subdivision Review Committee voted to recommend approval of the tentative map. The applicant shall satisfy each of the following conditions unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code, including an 18-foot lane on the west side of Mendel Way, south of Wiese Way;

2. Prepare a sewer and drain study for the review and approval of the City Engineer; coordinate with the County Sanitation District;
3. Name the streets to the satisfaction of the City Engineer;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 regulations of the Uniform Building Code;
7. Off-site dedication required for Mendel Way. City will condemn at the developer's expense, if necessary;
8. Redesign the map to provide a minimum interior lot width of 52 feet at the front property line.

STAFF EVALUATION: Staff has the following comments:

1. The current request is a rezoning and a tentative map in order to develop 138 standard single family lots. The density of 7.3 dwelling units per net acre is compatible with the South Natomas Community Plan designation of four through 12 units per acre with a minimum density of seven units per net acre. The request is also compatible with surrounding residential development. Staff, therefore, supports the requested entitlements.
2. The site plan indicates 26 percent north/south lot orientation. In order to comply with the conservation element of the General Plan, the subdivision must achieve 80 percent north/south lot orientation. Existing development dictates the street pattern of the subject site. Staff, therefore, finds 80 percent lot orientation infeasible. The applicant must, therefore, indicate on the final map which lots and units meet orientation requirements, or comply with Title 24 requirements of the Uniform Building Code.
3. The Planning and Community Services Departments have determined that 2.056 acres of land are required for Parkland Dedication purposes and that fees are required in lieu of the required dedication. The applicant shall submit an appraisal of the land to be subdivided. Said appraisal shall be dated and submitted not more than 90 days prior to filing the final map.
4. Plans for this project were routed to the South Natomas Advisory Committee. A representative of that group stated, in a telephone conversation, that the Committee is supportive of the proposed project.

5. The minimum width for a single family lot is 52 feet at the front property line. The map has been conditioned so that all of the lots meet this requirement.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

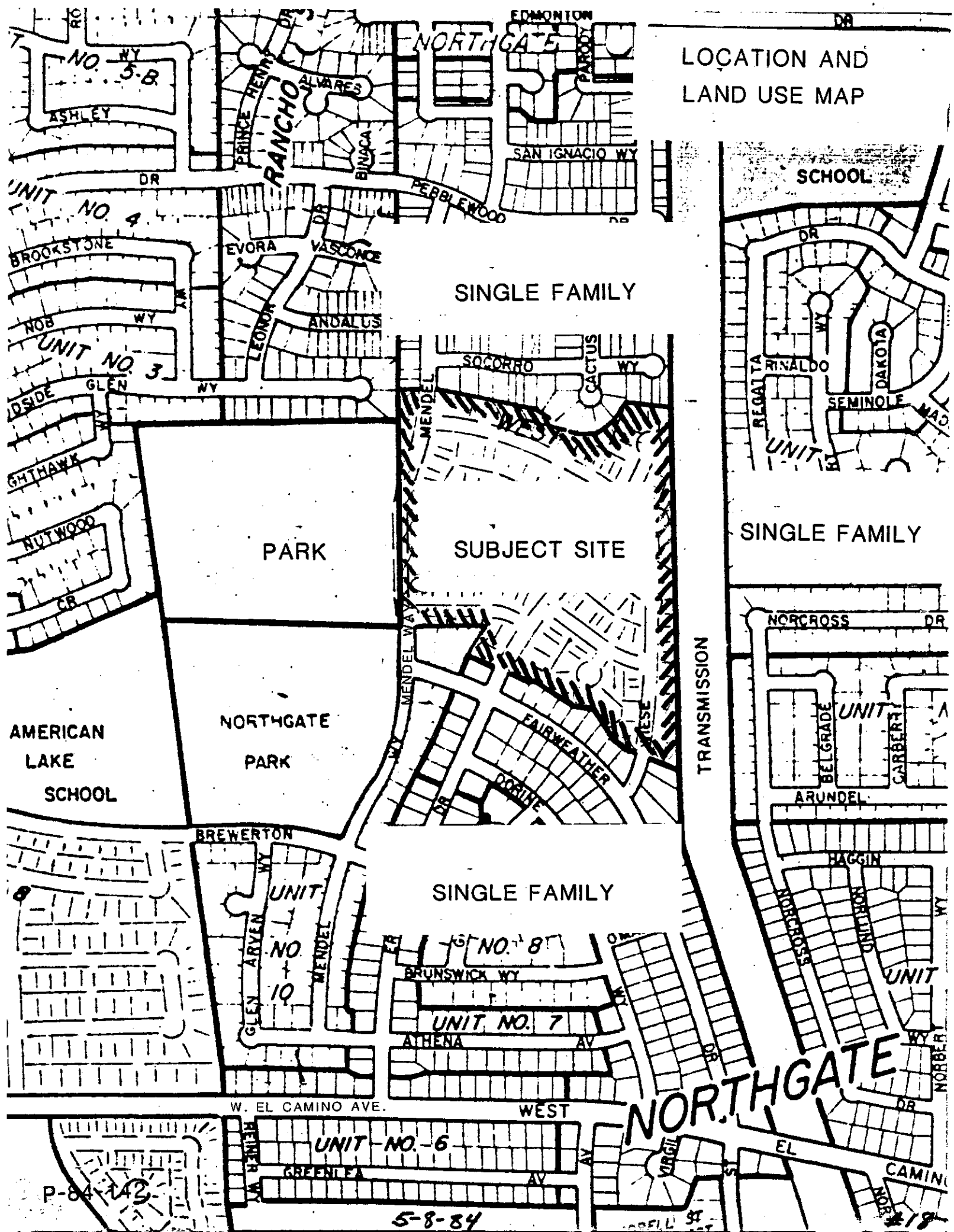
STAFF RECOMMENDATION: Staff recommends the following:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning of a portion of 28 acres from Townhouse (R-1A) to Single Family (R-1) zone;
3. Approval of the Tentative Map.

The applicant shall satisfy each of the following conditions unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code, including an 18-foot lane on the west side of Mendel Way, south of Weise Way;
- b. Prepare a sewer and drain study for the review and approval of the City Engineer; coordinate with the County Sanitation District;
- c. Name the streets to the satisfaction of the City Engineer;
- d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- e. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
- f. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 regulations of the Uniform Building Code;
- g. Off-site dedication required for Mendel Way. City will condemn at the developer's expense, if necessary;
- h. Redesign the map to provide a minimum interior lot width of 52 feet at the front property line.

LOCATION AND LAND USE MAP



SINGLE FAMILY

SUBJECT SITE

PARK

NORTHGATE PARK

AMERICAN LAKE SCHOOL

SINGLE FAMILY

SINGLE FAMILY

UNIT NO. 8

UNIT NO. 7

UNIT NO. 6

UNIT

NO. 10

UNIT

UNIT

P-84-142

5-8-84

118

TENTATIVE MAP

**WOODGATE WEST UNIT 2**  
A Portion of Section 24, T.9N., R.4E. M.D.M

City of Sacramento, California  
April, 1984 Scale: 1" = 100'

MURRAY SMITH & ASSOCIATES

**OWNER:** H. C. ELLIOTT, INC.  
11045 VAN COTT BLVD  
SACRAMENTO, CALIF. 95826  
PROJECT # 130-14-136

**SUBDIVIDER:** SAME AS ABOVE

**ENGINEER:** MURRAY SMITH & ASSOCIATES  
2002 CAPITOL AVENUE  
SACRAMENTO, CALIF. 95817  
PHONE (916) 441-5667

**INSTRUMENTS:** AS REQUIRED BY CITY OF SACRAMENTO  
RECORD INSTRUMENT OF MAPS # 2000

**EXISTING MAP:** SACRAMENTO

**PROPOSED USE:** SINGLE FAMILY RESIDENTIAL HOUSING

**EXISTING ZONING:** R1 & R1A

**PROPOSED ZONING:** R1

**ASSessor'S PARCEL NUMBER:** 270-240-10 & 51

**CITY OF SACRAMENTO**

**MAILING:** CITY OF SACRAMENTO

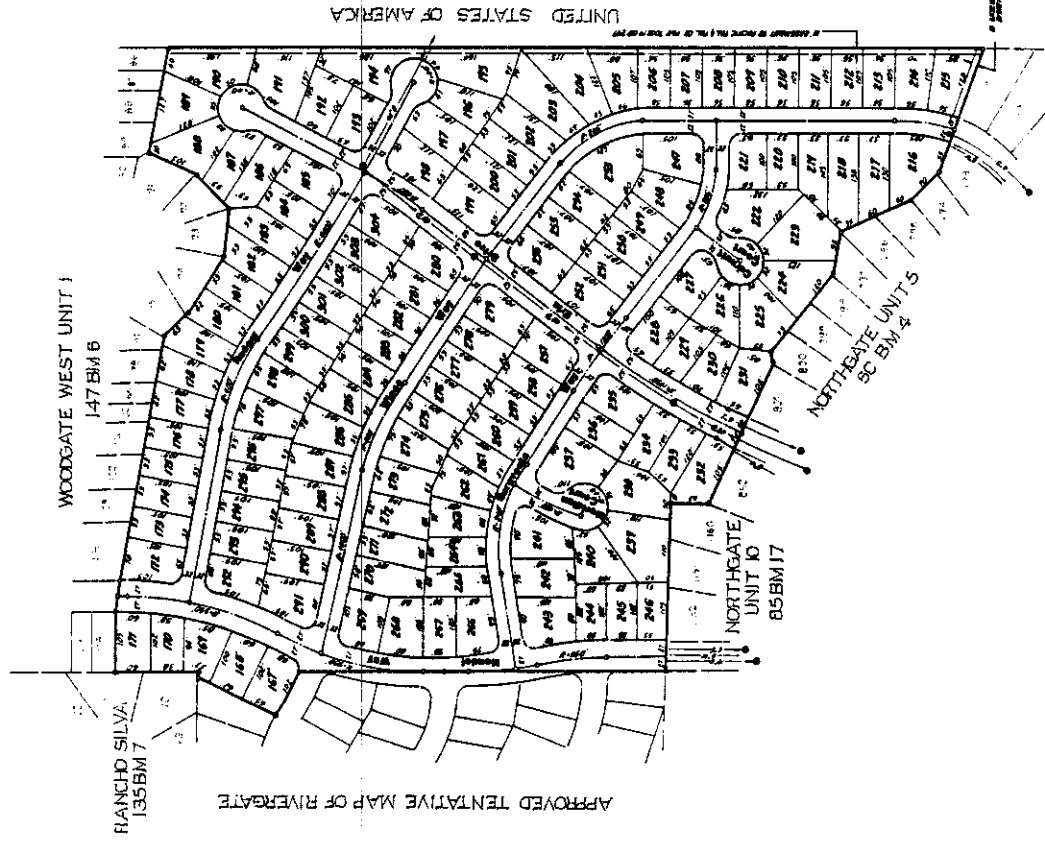
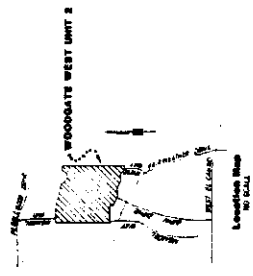
**FILE PROJECTION:** CITY OF SACRAMENTO

**MAP DISTRICT:** CITY OF SACRAMENTO

**ACREAGE:** 27.8 ACRES (APX)

**NO. OF LOTS:** 138

**LOT 511:** 45,34044



APPROVED TENTATIVE MAP OF RIVERGATE

DATE APR 1984	SHEET 1	OF 1	OWNER	CAD	DATE
			PROJECT #	SCALE	
CONSTRUCTION PLANS CITY OF SACRAMENTO, CALIFORNIA			BENCH MARK		
SUBMITTED BY: <b>Murray Smith</b> AN ASSOCIATED ENGINEERING			DESCRIPTION		
ENGINEER			REVISIONS		
PROJECT NO.			DATE		

