

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Thursday, October 17, 2002, the Zoning Administrator approved with conditions a special permit to build a garage that will exceed the maximum allowed wall and total height for the project known as Z02-165. Findings of Fact and conditions of approval for the project are listed on pages 2-4.

Project Information

Request: Zoning Administrator Special Permit to allow a two story 1,252 square foot accessory building (three car garage with recreation room above) with a 18 foot wall height and a 24 foot overall building height (zoning code requirements: maximum- 10 foot wall height, 18 foot building height) for a single family dwelling on 0.24± vacant acres in the Standard Single Family (R-1) zone.

Location: 5 Reyes Court (D7, Area 2)

Assessor's Parcel Number: 030-0840-019

Applicant: Arthur and Susan Burbridge
 762 Clipper Way
 Sacramento CA 95831

Property Owner: Same as applicant

Project Planner: Sandra Yope

General Plan Designation: Low Density Residential (4-15 du/na)
Pocket

Community Plan Designation: Residential (3-6 du/na)

Existing Land Use of Site: Single Family Residence

Existing Zoning of Site: Standard Single Family (R-1)

Surrounding Land Use and Zoning:	Setbacks (Residence)	Required	Proposed
North: R-1; Single Family Residence	Front:	25'	25'
South: R-1; Single Family Residence	Side (N):	5'	5'
East: R-1; Single Family Residence	Side (S):	5'	5'
West: R-1; Single Family Residence	Rear:	15'	40'

Property Dimensions: Irregular
Property Area: 0.18± acres
Square Footage of Buildings: House- 3,726 square feet
 Garage/loft 1,252 square feet

	Total-	4,978 square feet
Height of Garage Building:	Two Stories;	24 feet
Exterior Building Materials:	Stucco and Stone Veneer	
Roof Materials:	Tile	
Topography:	Flat	
Street Improvements:	Existing	
Utilities:	Existing	

Project Plans: See Exhibits A-E

Previous Files: None

Additional Information: The applicant is requesting to construct a 1,252 square foot three car garage with a second story recreation room above the garage. The structure will be 4.67 feet from the main dwelling. The proposed structure will have a wall height of 18 feet and a total height of 24 feet. The Zoning Code allows a maximum wall height of 10 feet for an accessory building and a maximum overall height of 18 feet. The proposed structure will not be located in any setback area. A Zoning Administrator Special Permit is necessary to vary from the accessory building requirements.

The project has been noticed and staff received several calls requesting additional information and stating concern about the future drainage of the site and the potential impact of the structure to the heritage oak trees on the adjacent property to the west. The property owners to the west came to meet with staff regarding the issues. The Department of Utilities have placed specific conditions on the project regarding the grading and drainage of the site. Staff continued the project from the October 3, 2002 until the October 17, 2002 hearing in order to allow the City Arborist to visit the site and assess the potential impacts to the heritage oak trees. The City Arborist also provided specific conditions for the project to protect the trees during and after construction. The adjacent property owners were satisfied with City's efforts and had no actual objection to the project. Staff also received a letter of support from the property owner to the north.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15303(e).

Conditions of Approval

1. The accessory structure shall not be used for a living unit. If the property owner wishes to convert the accessory structure to a guesthouse or second residential unit in the future, all necessary entitlements must be obtained.
2. Size and location of the structure shall conform to the plans submitted.
3. The applicant shall obtain all necessary building permits prior to commencing construction.
4. All roof jacks and roof ventilation protruding from the roof shall be painted to match the roof color or the trim.
5. There shall be no HVAC or mechanical equipment located on the roof.

6. Hire an ISA certified arborist to do any required pruning. Contact city arborist (Dan Pskowski) at 768-8604 for permit.
7. Natural grade shall be maintained in the 15-foot wide area that abuts the property line. In the 15 foot wide area under the drip line of the tree only native, drought tolerant plants shall be planted.
8. There are six existing trees on this lot. All of them can be saved or removed at owner's discretion. Listed below are the trees.
 1. 21-inch diameter black walnut (*Juglans sp.*)
 2. 10-inch diameter Fremont poplar (*Populus fremontii*)
 3. 16-inch Monterey pine (*Pinus radiata*)
 4. 13-inch Monterey pine " "
 5. 12-inch Monterey pine " "
 6. 11-inch Monterey pine " "
9. The applicant shall prepare the lot pad consistent with the approved grading plan of Lot 16 of River Front Estates, prior to issuance of a building permit. Note, the rear 20 feet of the parcel slopes to the rear and drainage is to be picked up in existing drainage inlets. There is existing drainage pipes located within 5 foot wide easements along both sides of the parcel. These drainage pipes and drain inlets shall be protected at all times.
10. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This Ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
11. **Advisory Note:** The proposed project is located in a FEMA designated A-99 zone. The site is also within the Morrison Creek 100-year flood plain with a base flood elevation of 10.3 feet. Within the Morrison Creek 100-year flood plain the following regulations will apply:
12. All new residential development, excepting single family residential infill areas will be required to be constructed with the lowest floor, including basement, at or above 10.3 feet or 3 feet above the highest adjacent grade, whichever is lower.

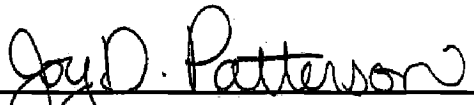
This project is within the infill area and therefore there are no requirements to elevate or flood proof.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
 - a. the proposed garage will not substantially alter the characteristics of the site or the surrounding neighborhood; and
 - b. the proposed garage will meet all setback requirements.

2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. the proposed garage is compatible in design with the existing house and other properties in the neighborhood;
 - b. the second floor area will not be used as living area;
 - c. there will still be adequate yard area; and
 - c. the structure will not impact the adjacent heritage oak tree.

3. The project is consistent with the General Plan and the Pocket Community Plan which designate the subject site as Low Density Residential (4-15 du/na) and Residential (3-8 du/na) respectively.

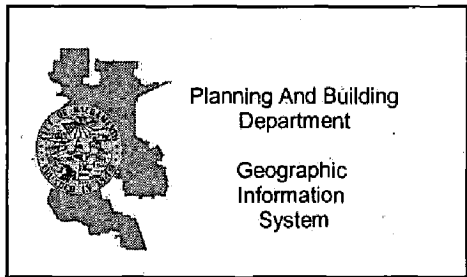
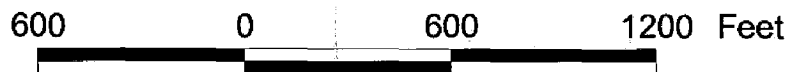
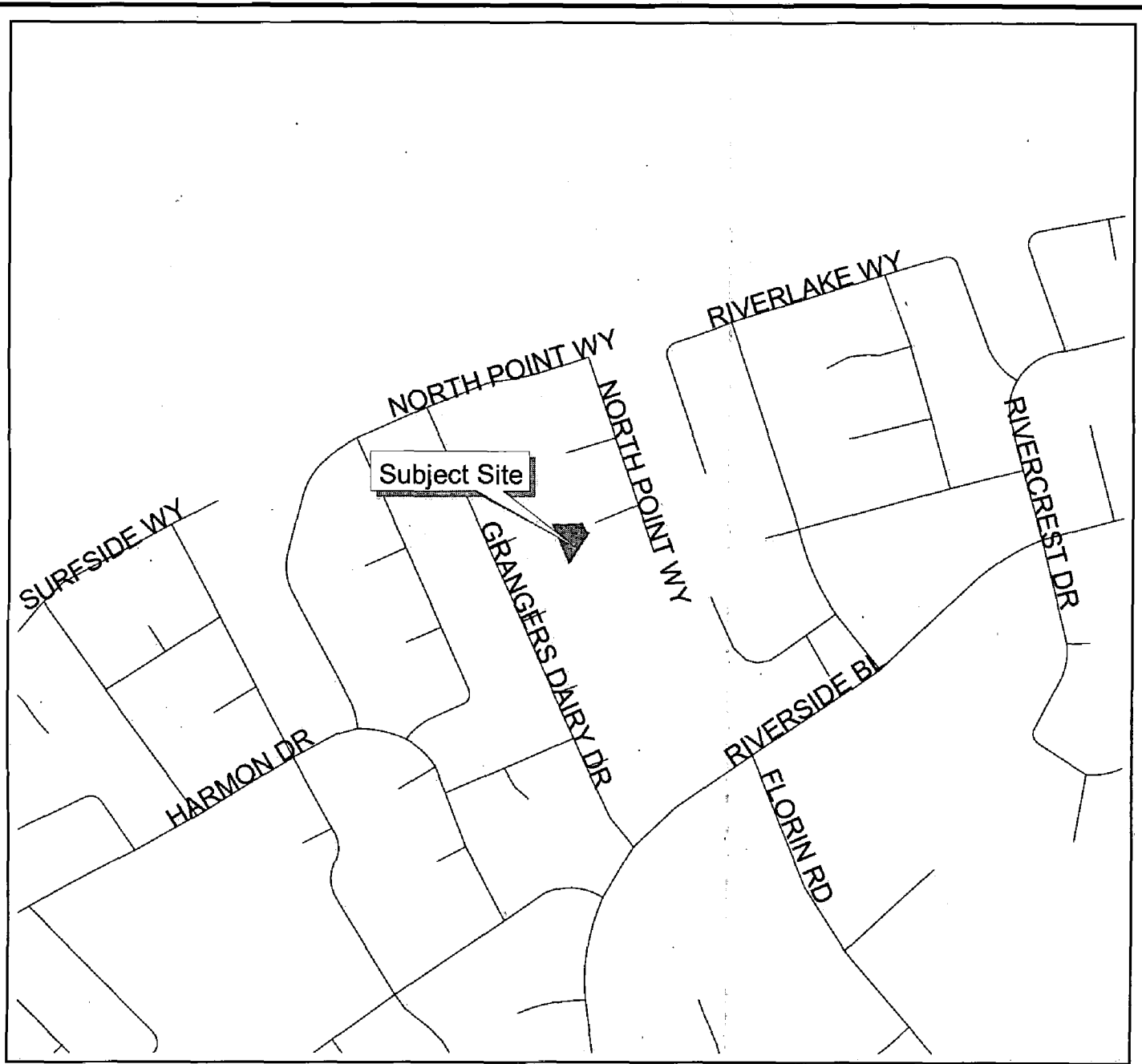


Joy D. Patterson
Zoning Administrator

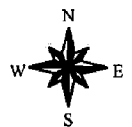
A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

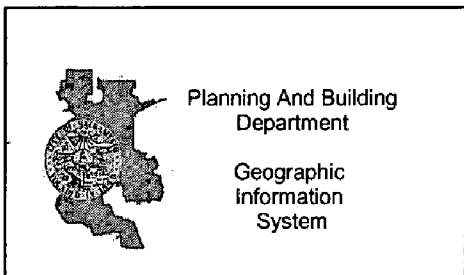
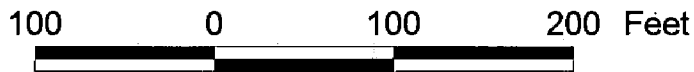
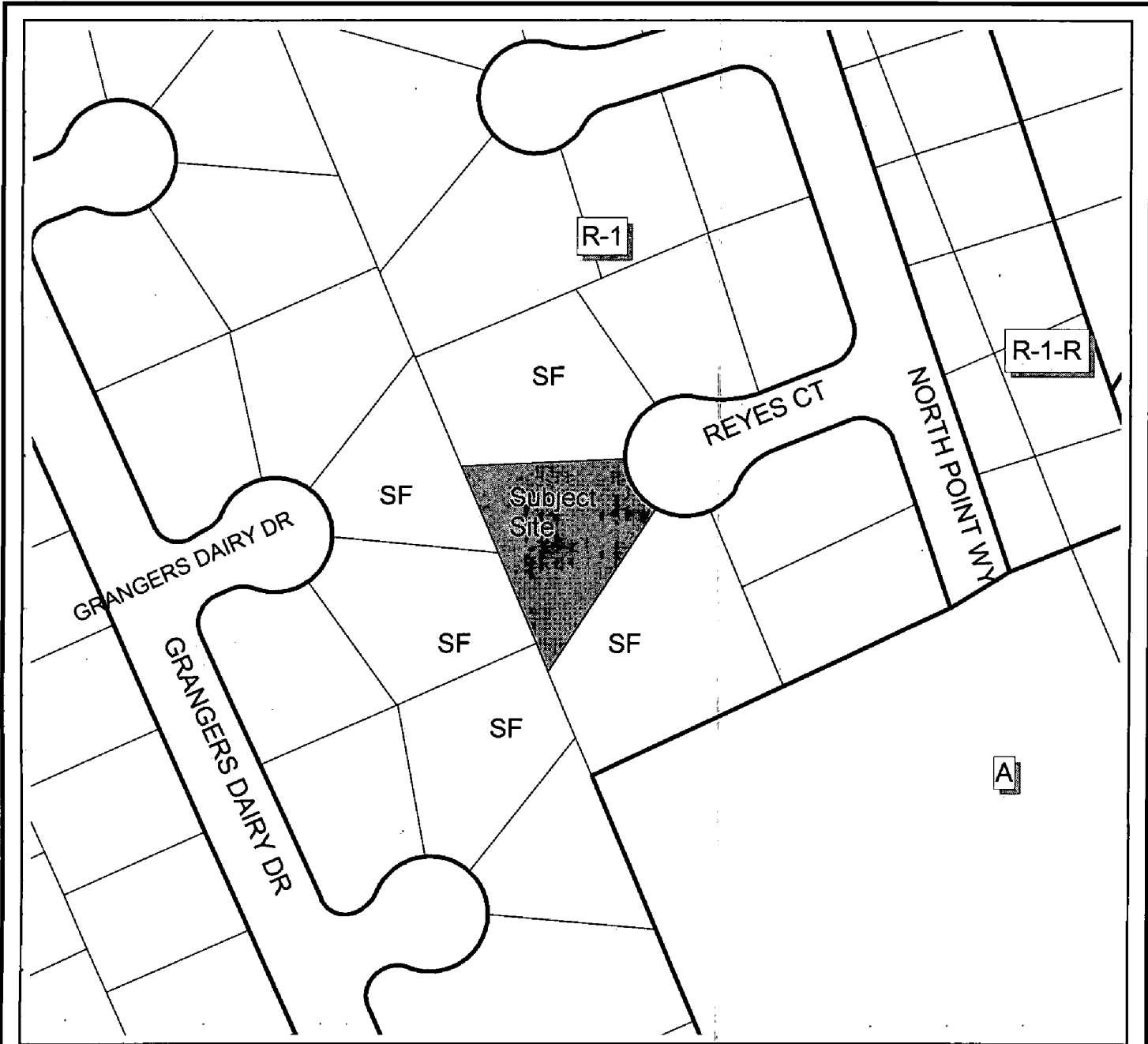
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File Applicant ZA Log Book



VICINITY MAP





LAND USE AND ZONING

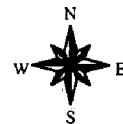
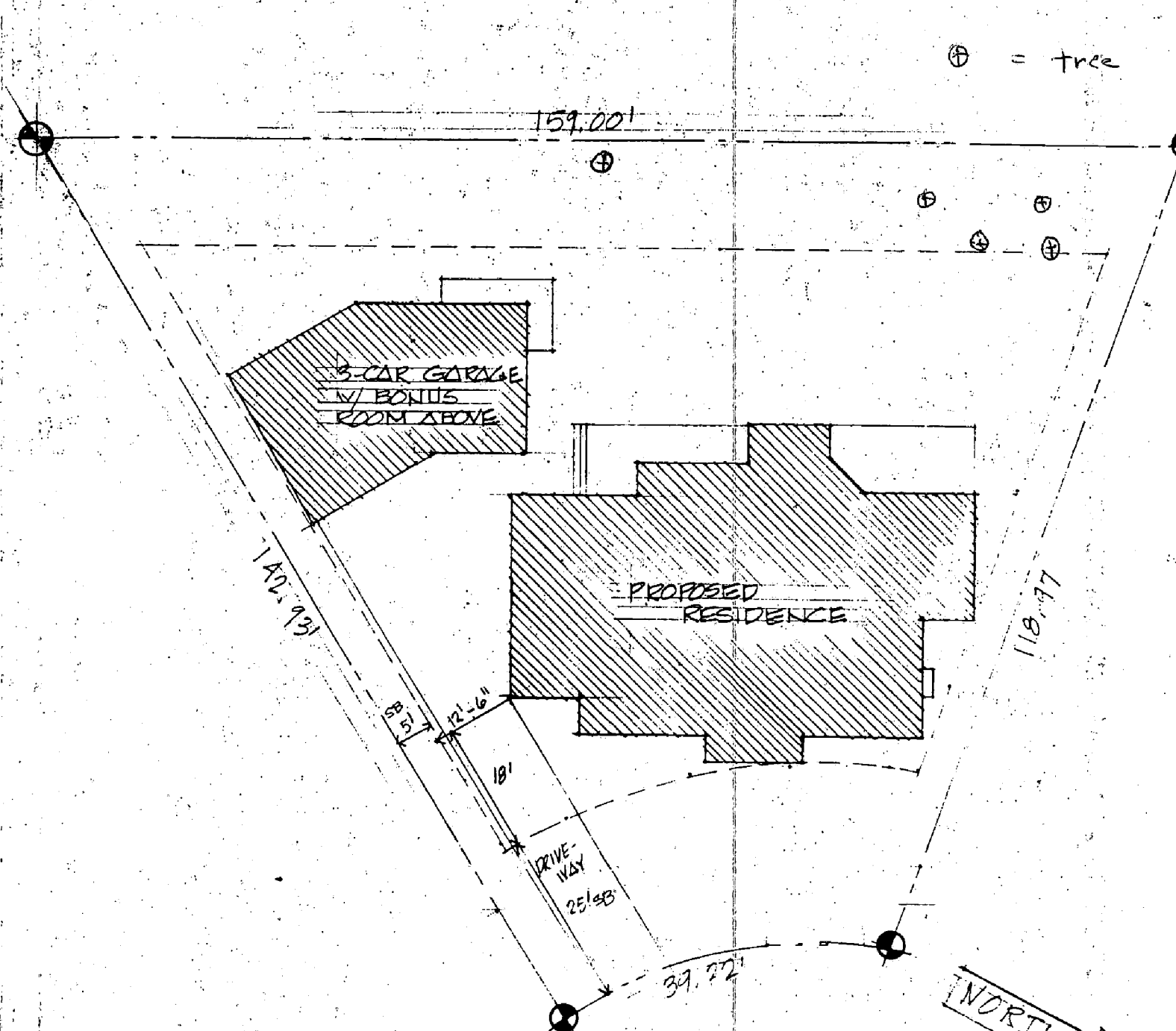


EXHIBIT A

⊕ = tree



LOT # 15
REYES CT.

PLOT PLAN

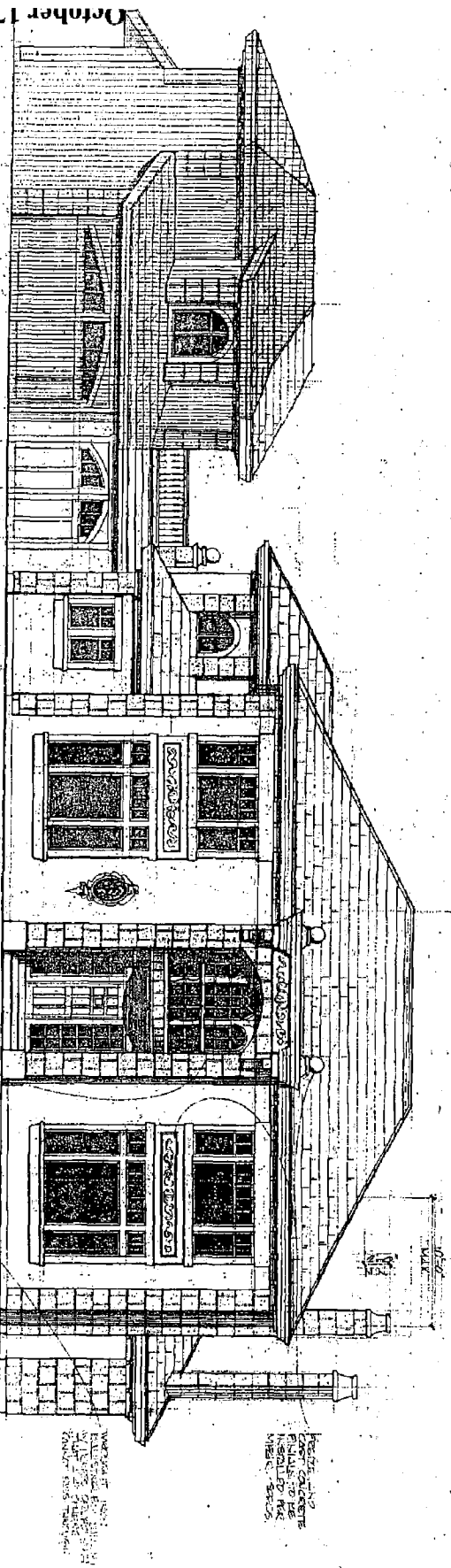
SCALE: 1" = 20'-0"

Z02-165
REC'D AUG 09 2002

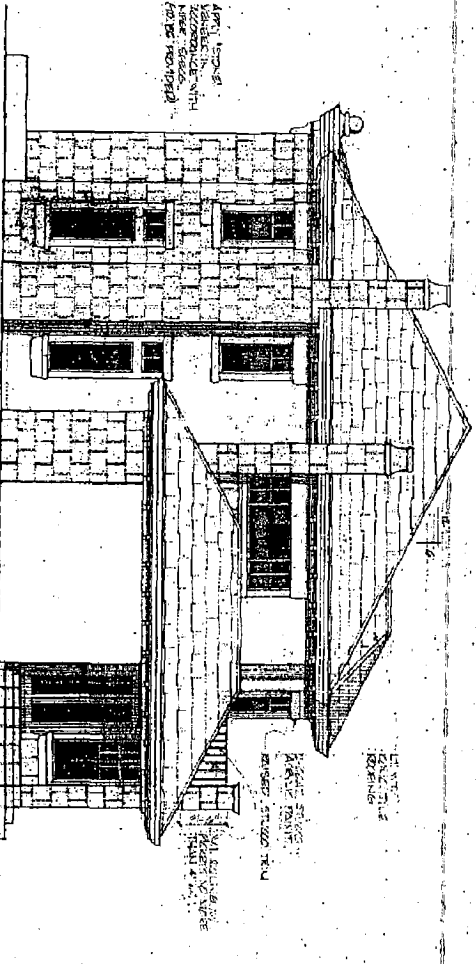
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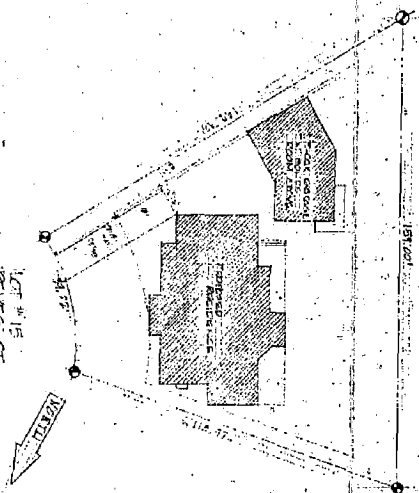


FRONT ELEVATION SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"

LOT # 15 REYES CT. SCALE: 1/4" = 1'-0"



October 17, 2002

PLEASE NOTE: ALL WORK DONE ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE 1995 CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.

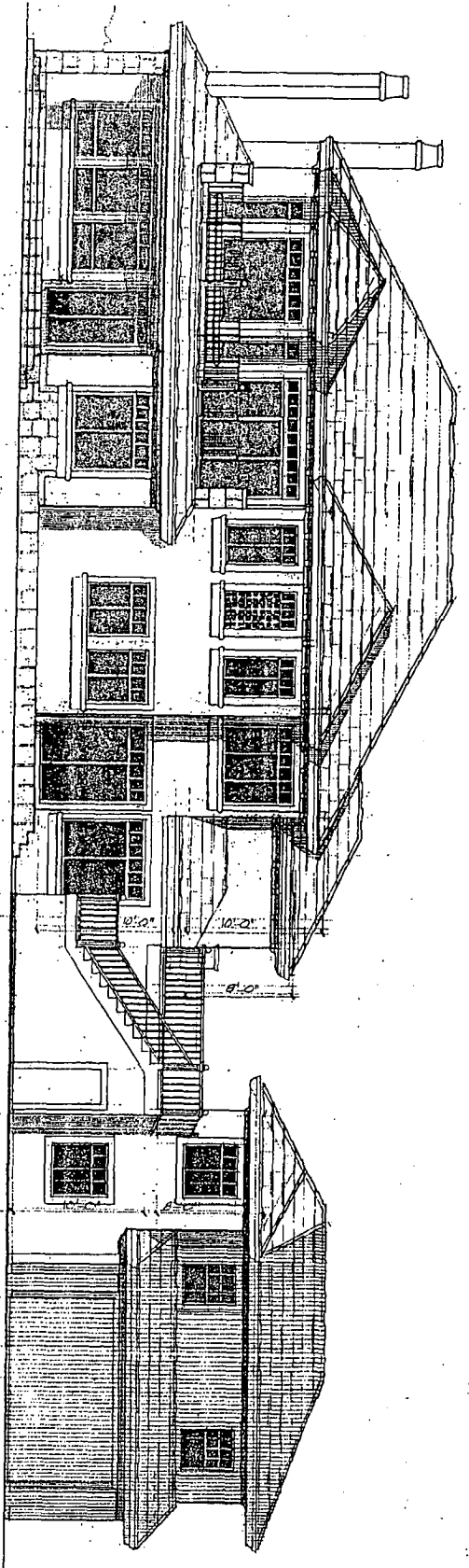
Art & Susan Burbridge Res.
 762 Clipper Way
 Sacramento, CA 95831
 For a home to be built at Lot # 16 Reyes Court

Architectural drawings are prepared for the purpose of illustrating the proposed construction of a building or structure. They are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of any information obtained from these drawings. The architect is not responsible for the accuracy of any information obtained from these drawings. The architect is not responsible for the accuracy of any information obtained from these drawings.

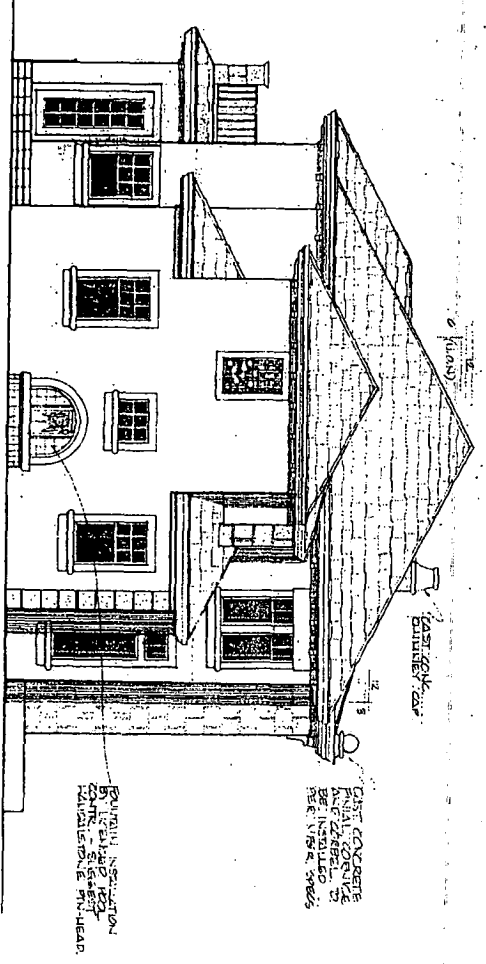
Gylvia Link Design
 735 Sunrise Avenue
 Suite 220
 Roseville, CA 95661
 (916) 773-8300 FAX (916) 783-4110 CELL (916) 769-1860

FRONT ELEVATION

RECD AUG 09 2002



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. DESIGN TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE ORDINANCES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE ORDINANCES.
4. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL TREES AND PLANTS ON THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL HISTORIC FEATURES ON THE SITE.

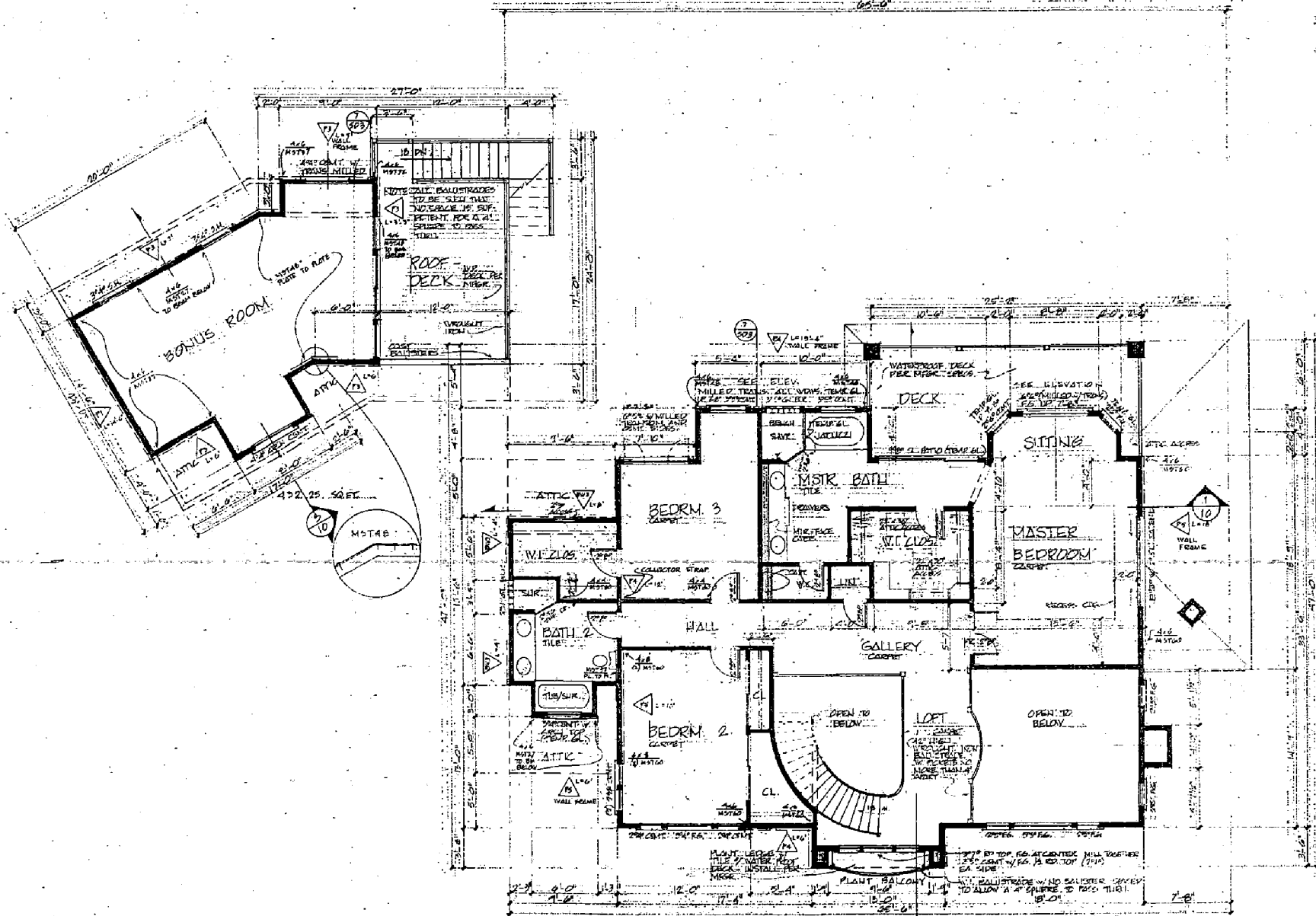
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Art & Susan Burbridge Res.
762 Clipper Way
Sacramento, CA 95831
For a home to be built at Lot #15 Reyes Court



UPPER LEVEL FLOOR PLAN - 1478 SQ. FT.

SCALE: 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN

Sylvia Link Design
 735 Sunrise Avenue
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 (916) 773-3300 Fax (916) 783-4110 Cell (916) 789-1880

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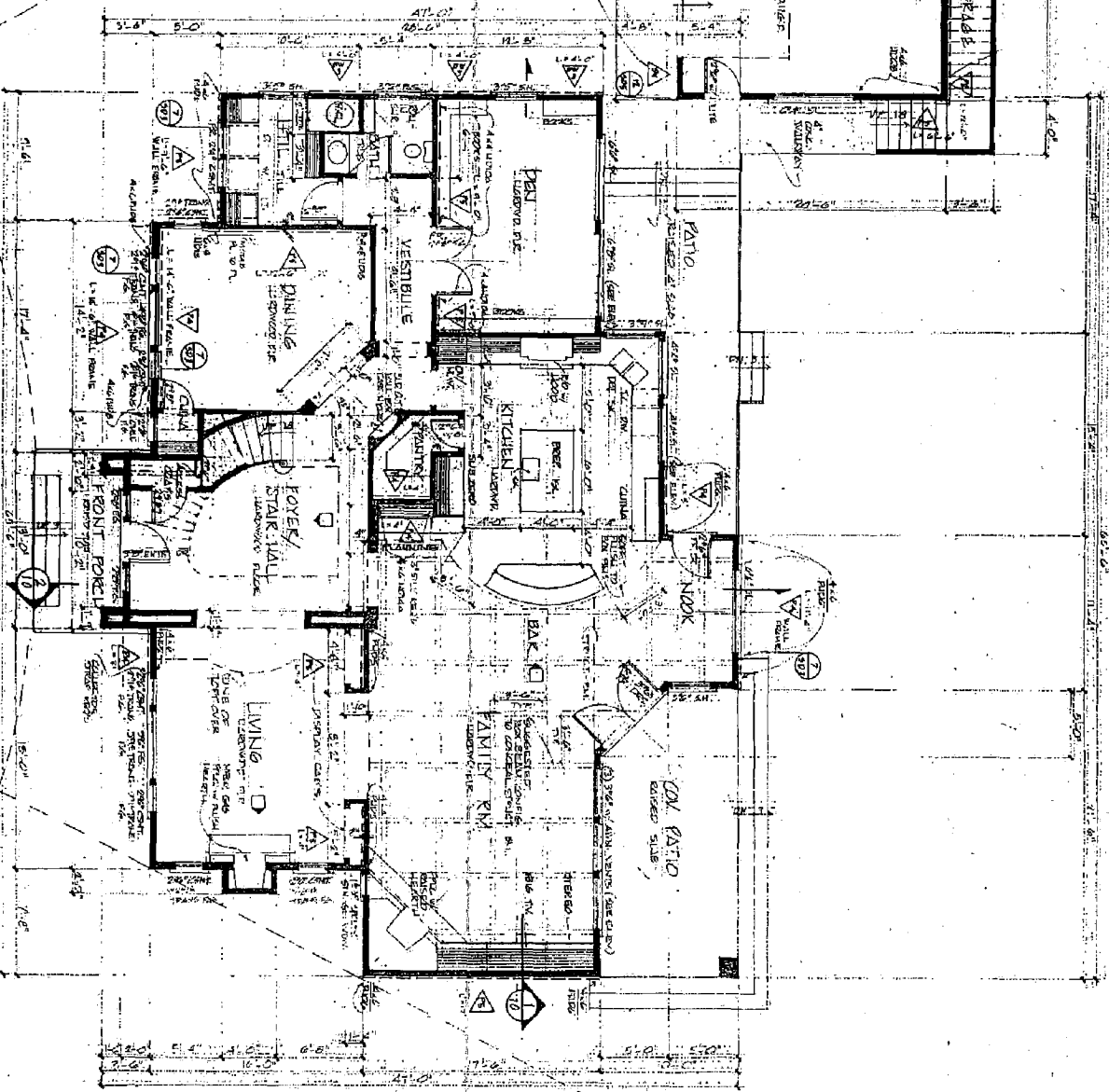
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202-165
REC'D AUG 9 2002

MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

INTERIOR WALLS 1/2"

- GENERAL NOTES:
1. ALL FINISHES SHALL BE PERMITTED TO BE CHANGED BY THE ARCHITECT AT ANY TIME.
 2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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MAIN FLOOR PLAN

Art & Susan Burbridge Res.
762 Clipper Way
Sacramento, CA 95831
For a home to be built at Lot #15 Reyes Court

Some but design assumes as
likely of errors or omissions
on their part unless advised
in writing prior to
construction. Without any
liability assumed, the
owner shall be responsible for
any errors or omissions
on their part.

Gylvia Link Design
735 Sunrise Avenue
Suite 220
Roseville, CA 95661
(916) 773-8300 Fax (916) 783-4110 Cell (916) 769-1060