

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, July 7, 1999 the Zoning Administrator approved with conditions a Special Permit Modification to allow the addition of a portable classroom to expand kindergarten and day care classes at an existing church facility for the project known as Z99-051. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

Project Information

Request: Zoning Administrator Special Permit Major Modification to install a 1,440 square foot manufactured building to expand the church's preschool program by 15 children and the kindergarten by 15 children on 3.468± partially developed acres in the Agricultural (A) zone.

Location: 924 San Juan Road (D1, Area 4)

Assessor's Parcel Number: 250-0010-082, 083

Applicant: Peace Lutheran Church (Contact: Fran Borcalli)
924 San Juan Road
Sacramento, CA 95834

Property Owner: Same as applicant

Project Planner: Sandra Yope

General Plan Designation: Medium Density Residential (16-29 du/na)
South Natomas
Community Plan Designation: Medium High Density Residential (11-21 du/na)
Existing Land Use of Site: Church and facilities
Existing Zoning of Site: Agricultural (A)

Surrounding Land Use and Zoning:
North: R-1A (PUD)/R-2B(PUD); Vacant and Apartments
South: R-1; School
East: R-1A(PUD) Church
West: A; Vacant

Property Dimensions: Irregular
Property Area: 3.468± acres
Square Footage of Buildings: Existing: 7,440 square feet
Proposed: 1,440 square feet

	Total:	8,880 square feet
Height of Building:	One story, 10 feet	
Topography:	Flat	
Street Improvements:	Existing	

Project Plans: See Exhibits A-D

Previous Files: P87-402, P82-193

Background Information: On October 22, 1999, the Planning Commission approved a special permit modification for an addition to the existing church facilities (P87-402). Any additions to an existing special permit requires a modification of the original special permit.

Additional Information: The applicant is requesting to locate a 1,440 square foot portable classroom on the site. The building will be located at the center of the site behind all existing structures. The classroom is to enable the current day care and kindergarten programs to expand by 30 more children for a total 92 children. The portable classroom will be constructed out of wood with a metal roof and composition shingles. Although no additional parking will be provided, there are 35 spaces on site that are adequate for the proposed additional students.

The site is located within the Natomas Community Association area. The project plans have been sent to the association and staff received no comments. The project has been noticed and staff has not received any calls.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15301(e)}.

Conditions of Approval

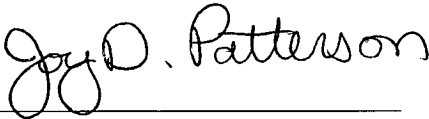
1. The day care and kindergarten student population shall not exceed 92 total students combined.
2. The portable classroom shall be on an approved foundation and have a skirt around the entire perimeter of the structure. The classroom and skirt shall be painted to match the existing buildings.
3. The applicant shall construct a six foot masonry wall along the west property line when the adjacent property begins development (when the lot line adjustment is completed then the wall requirement will not be necessary).
4. The applicant shall obtain a building permit for the portable classroom.
5. The proposed portable classroom shall conform to submitted plans.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that

the proposed modification will not substantially alter the characteristics of the site or the surrounding residential neighborhood.

2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. adequate on-site parking and setbacks will be provided; and
 - b. the proposed classroom will be located behind existing buildings and will not be visible from the street.
3. The project is consistent with the General Plan and South Natomas Community Plan which designate the subject site as Medium Density Residential (16-29 du/na) and Medium High Density Residential (11-21 du/na) respectively. Churches, private schools, and day care centers are allowed in the A zone with a special permit.

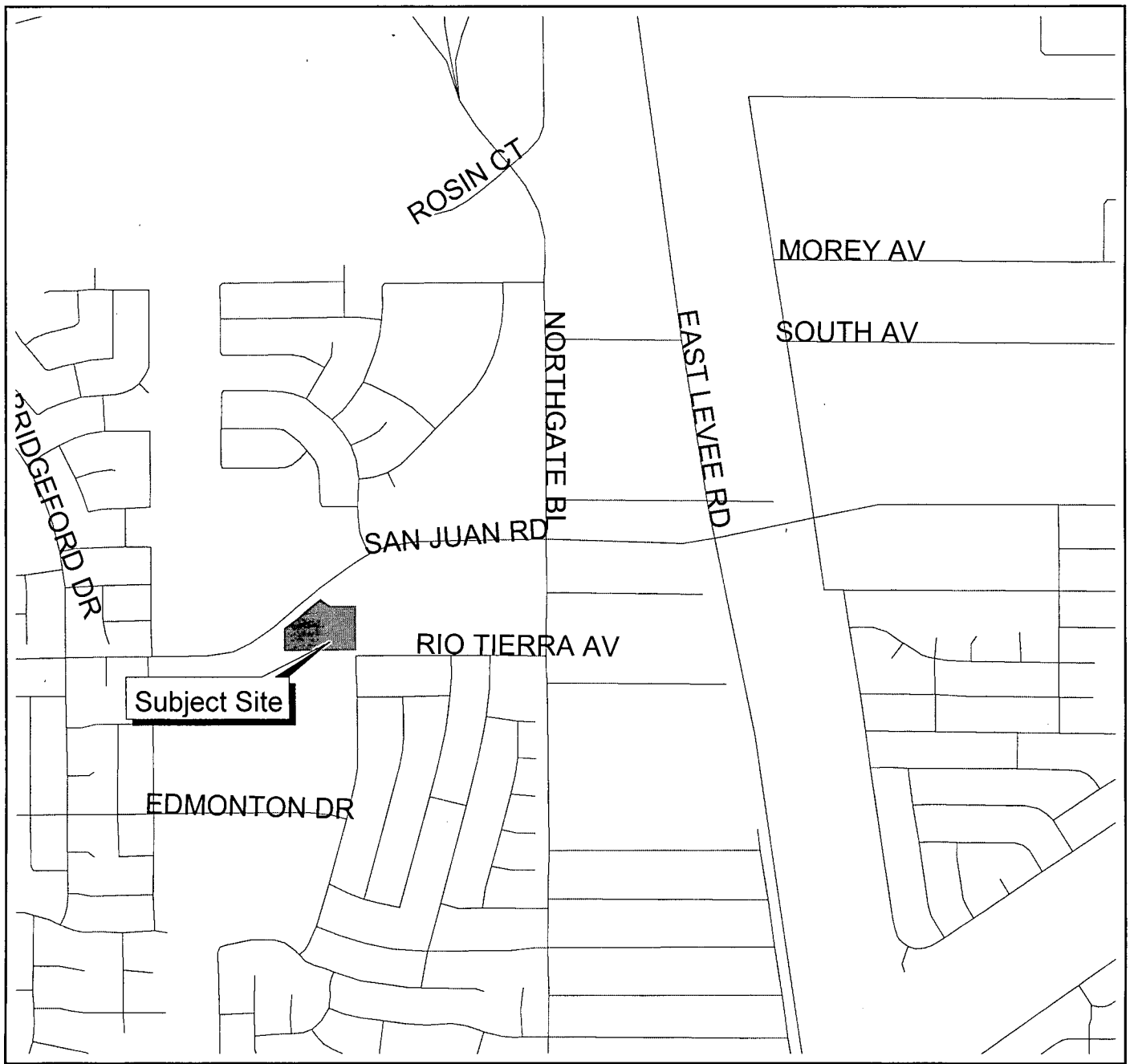



Joy D. Patterson
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

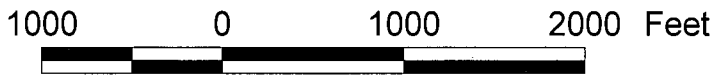
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File Applicant ZA Log Book

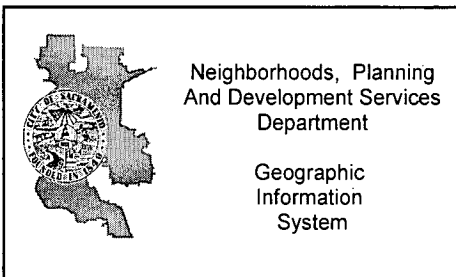
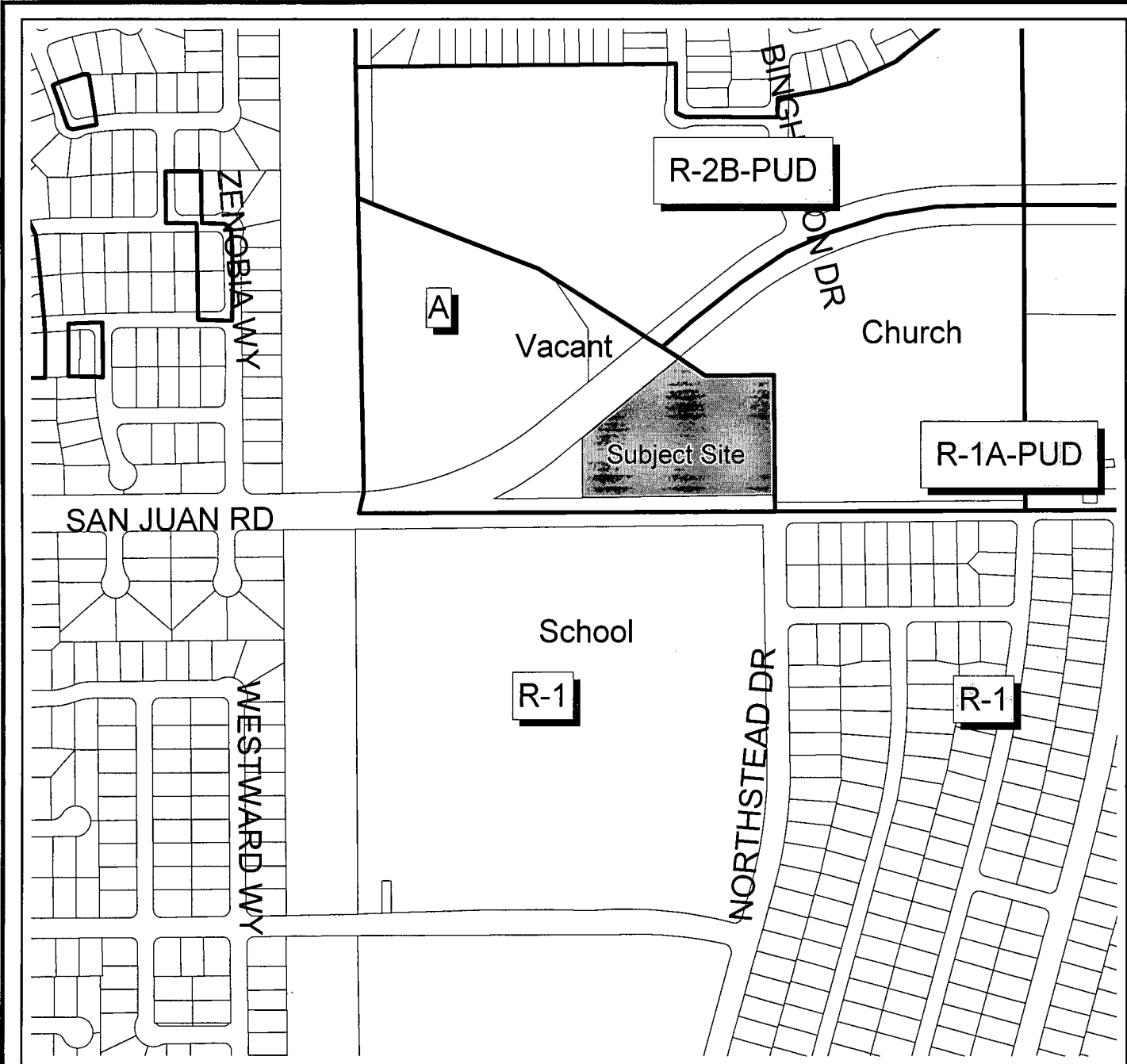



Neighborhoods, Planning
And Development Services
Department

Geographic
Information
System



VICINITY MAP



LAND USE AND ZONING



AREA 25415 SQ. FT.

N00°09'00.1"W 157.05'

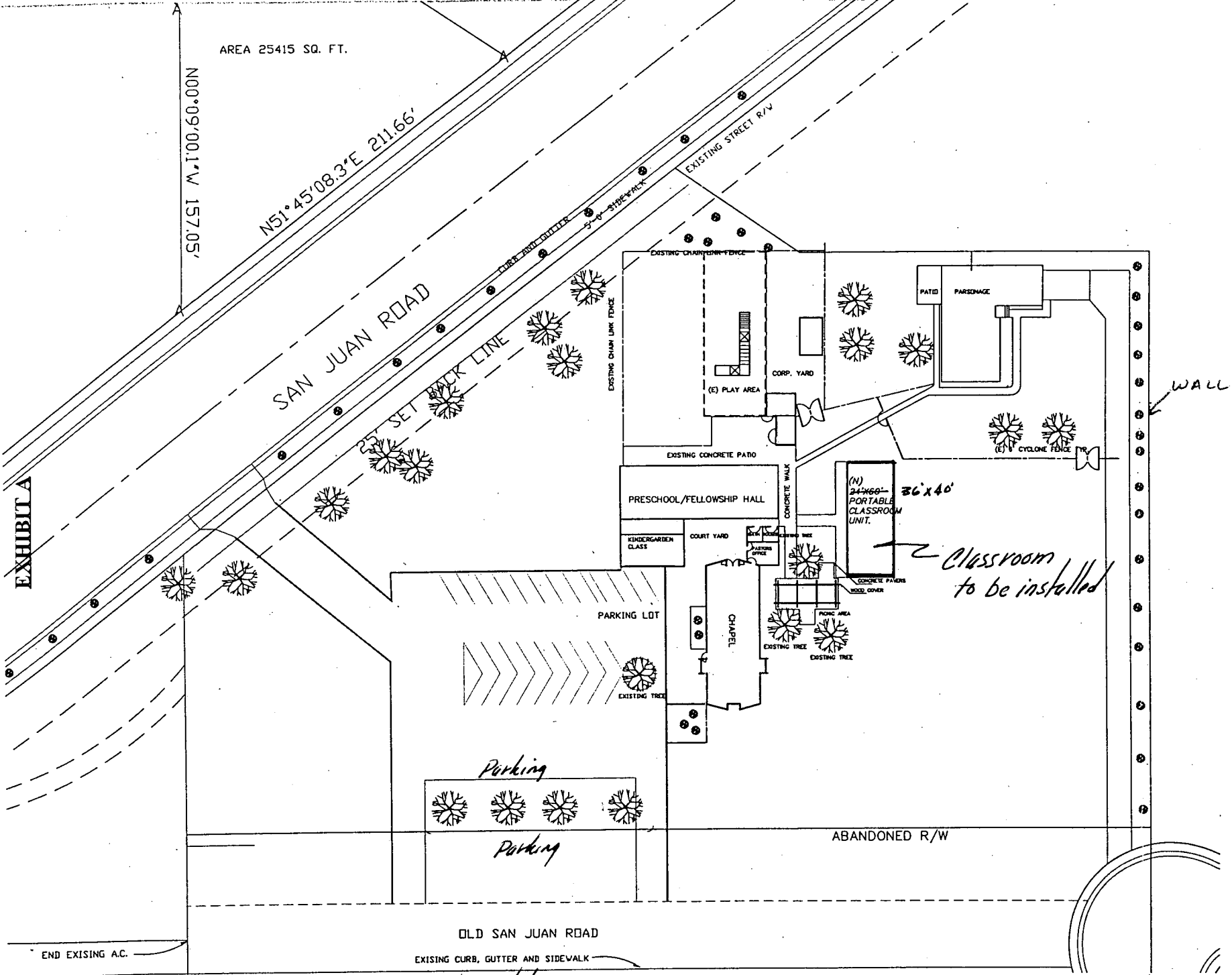
N51°45'08.3"E 211.66'

SAN JUAN ROAD

SET BACK LINE

EXISTING STREET R/W

EXHIBIT A



PC
architects, inc.

TPC Architects, Inc.
A Full Service Architectural Company

7805 Madison Ave. Suite 100
Fair Oaks, CA 95628
(916) 965-4003
Fax: (916) 965-4031

ITEMS

Peace Lutheran Church

JULY 7, 1999

924 San Juan Rd.
Sacramento, CA
95833

Conceptual Design

SHEET TITLE
PHASE 1
(E) SITE PLAN
(N) PORTABLE

Z99-051

A-1

Z99-051

Rio Tierra Fundamental
Junior High

PHASE 1 (E) SITE PLAN

1" = 20'-0"

END EXISTING A.C.

EXISTING CURB, GUTTER AND SIDEWALK

OLD SAN JUAN ROAD

ABANDONED R/W

PARKING LOT

Parking

Parking

Classroom to be installed

WALL

36'x40'

(N) 24'x60' PORTABLE CLASSROOM UNIT.

EXISTING CHAIN LINK FENCE

EXISTING CHAIN LINK FENCE

EXISTING CONCRETE PATIO

PRESCHOOL/FELLOWSHIP HALL

KINDERGARTEN CLASS

COURT YARD

CHAPEL

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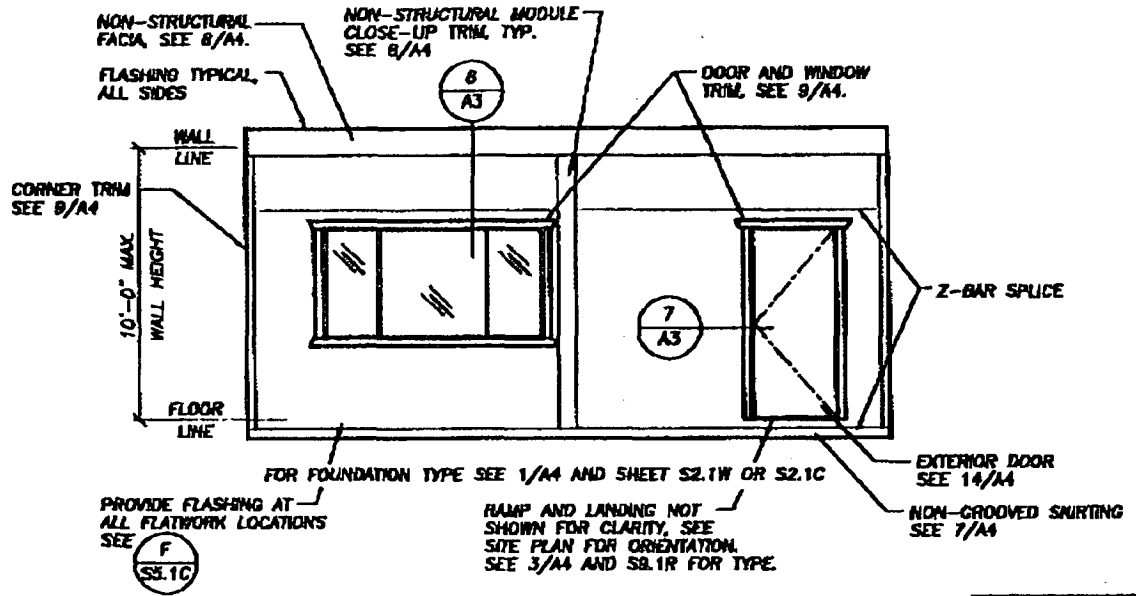
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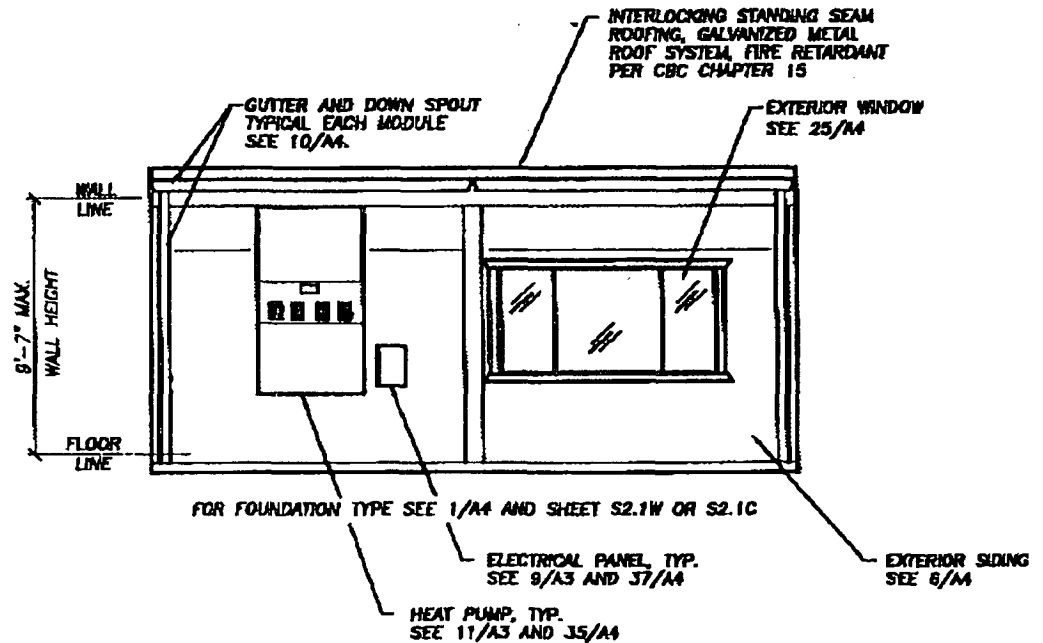
EXISTING TREE

BID ALT. #1:
24'x 40' ELEVATIONS



FRONT ELEVATION

BID ALT. #1
24'x40' CLASSROOM
ELEVATIONS



REAR ELEVATION

Z 99 - 051

Z99-051

JULY 7, 1999

ITEM 8

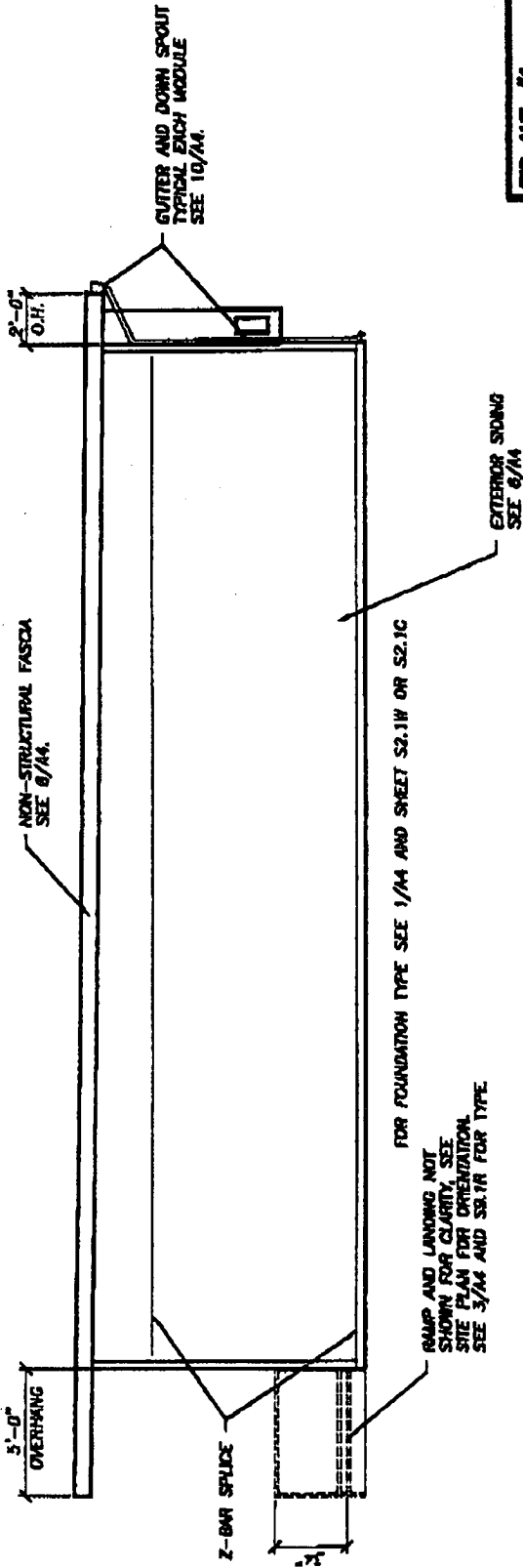
APR-20-1999 09:57

GARY DOLPNIK MFG.
EXHIBIT B

1 916 652 9021

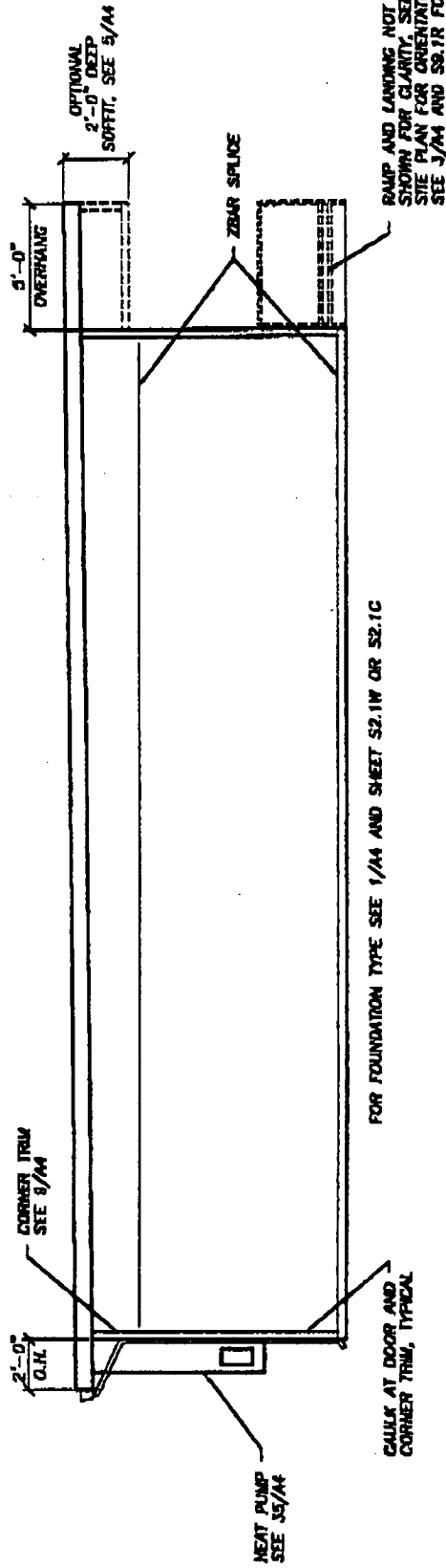
P.06

BID ALT.#1:
24'x 40' ELEVATIONS



**BID ALT.#1
24'x40' CLASSROOM
ELEVATIONS**

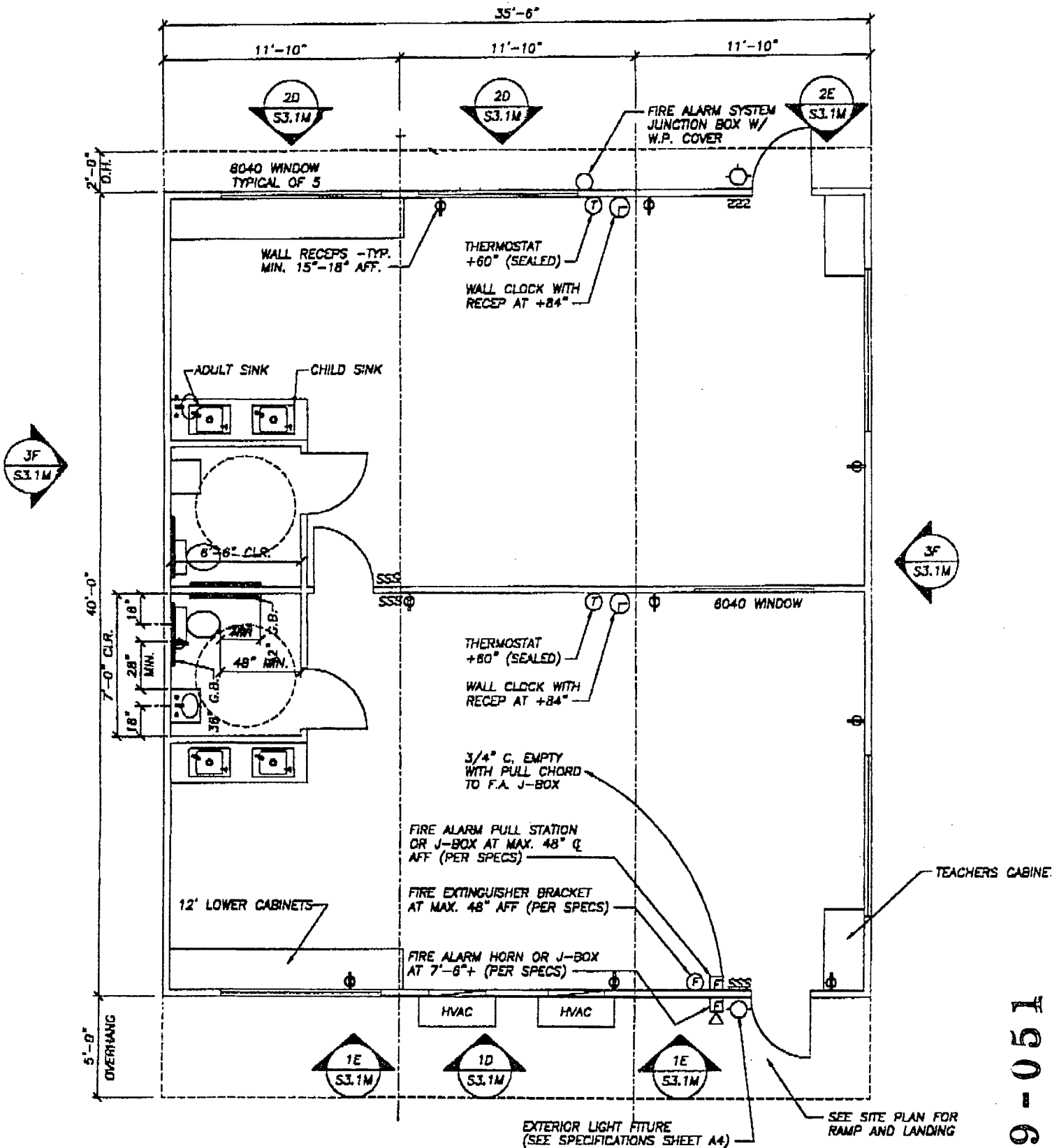
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Z99-051

EXHIBIT D



FLOOR PLAN

SEE ELECTRICAL NOTES AND SPECS SHEET A4

PROP/PEACE LUTHERAN

GARY DOUPNIK MANUFACTURING, INC.

JULY 7, 1999

Z99-051
799-667