

August 22, 1986

City Planning Commission
Sacramento, California

Members in Session:

SUBJECT: Appeal of Design Review Board's Denial of Federal Express parcel drop-off facility proposal for 1600 J Street

BACKGROUND INFORMATION: On June 12, 1986, the Commission approved a Special Permit for a drive-up Federal Express facility on the 16th Street frontage of the subject site. On July 16, 1986 the proposal was denied by the Design Review Board. The Board was concerned with the aesthetics of the project. The Board considered the proposal out of character with the urban setting in which it would be located.

Staff will provide more specific comments regarding the concerns of the Design Review Board at the time of the Commission's hearing of the appeal.

STAFF RECOMMENDATION: Staff recommends that the Commission deny the applicant's appeal of the Design Review Board's action based on the following Findings of Fact.

Findings of Fact:

1. The project, as proposed, is not in character with the downtown location of the project site.
2. The project, as proposed, is not in compliance with the Design Review Board Design Criteria.

Respectfully submitted,

Richard Hastings
Richard Hastings
Design Review/Preservation Director

RL:lhc

DESIGN REVIEW & PRESERVATION BOARD
1231 T Street - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Anthony J. Parxel/Federal Express, 1610 Arden Way, Sacramento, CA 95815		
OWNER	Ray and Lorayne Jacobes, Samuel D. Tarpin, 1001 G St., Ste. 300, Sacto, 95814		
PLANS BY	Harry Grendel Architects, 1800 W. Loop S., Ste, 1770, Houston, TX 77027		
FILING DATE	5-6-86		REPORT BY: RL:tc
NEGATIVE DEC	EIR	ASSESSOR'S PCL. NO.	006-123-01

LOCATION: 1600 J Street

PROPOSAL: The applicant proposes establishment of a drive-thru parcel drop-off facility on the subject site.

PROJECT INFORMATION:

Existing Zoning of Site:	C-3
Existing Land Use of Site:	Sign Shop, Bar, other general commercial

Surrounding Land Use and Zoning:

North:	Gas station, car wash;	C-3
South:	Rental car sales;	C-3
East:	Parking lot;	C-3
West:	Auto sales;	C-3

Parking Required:	One
Parking Proposed:	0
Property Dimensions:	80' x 160'
Property Area:	12,800 sq. ft.
Density of Development:	
Square Footage of Building:	600 sq. ft.
Height of Building:	19' - 7 1/2" (14' - 7 1/2" to top of dish antenna)
Exterior Building Colors:	Gray
Exterior Building Materials:	Metal, tinted glass, plastic

BACKGROUND INFORMATION: The City Planning Commission approved the proposed drive-up facility on June 12, 1986, based on findings of fact adopted June 26. Staff had recommended denial of the proposal out of concern that alley traffic and movement to existing onsite parking spaces would be interfered with by vehicles waiting in line at the proposed facility. Approval was conditioned to require conformance with the requirements of Public Works.

PROJECT EVALUATION: Staff has the following comments and concerns regarding the proposed project:

1. Staff considers the site to be over developed.
2. The revised site plan results in increase stacking distance for the drive-through land and a lesser potential for blockage of the alley. Off

8-28-86

27

setting this advantage, however, is the reduced clearance for ingress and egress to the existing onsite parking spaces used by building tenants and their customers. The stacking area for the drive-through lane coincides with the maneuvering area for several parking spaces.

3. Signage appears to be in conformance with the provisions of the sign ordinance. The designs are acceptable to staff.
4. Public Work indicates that the applicant will be required to reduce the width of the existing driveway curb cut to 20 feet and limit its use to exiting only. Extension of existing vertical street curb, repair and/or replacement of sidewalks and provision of a barrier curb along the abutting frontages will be required.
5. The applicant is required by the City to utilize a handicapped accessible design for the project.
6. Design Review staff considers the addition of the proposed structure to an already cluttered blockface as contributing further to the existing street scape problem. To mitigate this visual impact staff suggests as a minimum effort the placement of shrubs and ground cover in the foreground of the structure (see staff exhibit).
7. One parking space is required to be added for the needs of the proposed use. A space can be provided between the staff proposed landscaped planter and the drive-through lane (see staff exhibit).

STAFF RECOMMENDATION: Staff recommends approval of the revised site plan of the Commission approved use subject to the following conditions:

1. The requirements of Public Works shall be complied with.
2. A planter with six inch raised concrete curb shall be provided in the foreground of the proposed structure. The design shall be subject to staff review and approval.
3. A handicapped parking space shall be provided as required by City codes. The placement shall be subject to staff review and approval.
4. A revised site plan and detailed landscape and irrigation plans shall be submitted for review and approval by staff.

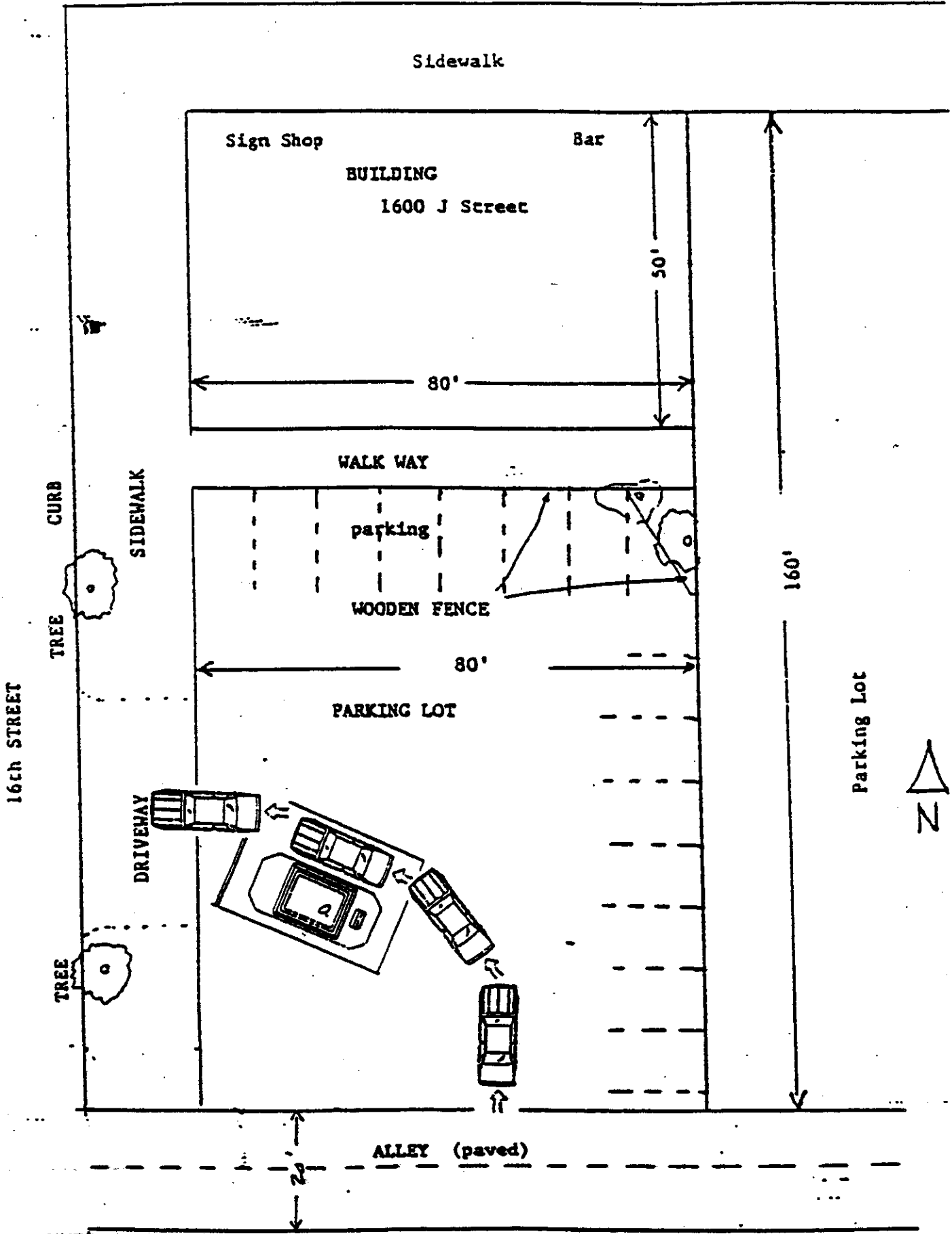
Approval is based on the following findings of fact:

1. The condition requiring landscaping will help to soften the visual impact of the project.

2. The conditions of approval are in conformance with the Board's design criteria.

APPROVAL BY THE DESIGN REVIEW/PRESERVATION BOARD DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITIES TO MEET REQUIREMENTS OF ALL ZONING ORDINANCES AND BUILDING CODES.

THE APPLICANT IS RESPONSIBLE FOR ANY DELAYS RESULTING FROM NONCOMPLIANCE WITH CONDITIONS OF APPROVAL.



HERTZ CAR LOT

POWER POLE

03.06.11A

2.11.86

HEM 6

J Street

STAFF EXHIBIT

Sidewalk

Sign Shop

Bar

BUILDING

1600 J Street

50'

80'

WALK WAY

parking

WOODEN FENCE

80'

PARKING LOT

160'

Parking Lot



16th STREET

CURB

SIDEWALK

TREE

TREE

DRIVEWAY

PLANTER

H.C.

ALLEY (paved)

20'

HERTZ CAR LOT

POWER POLE

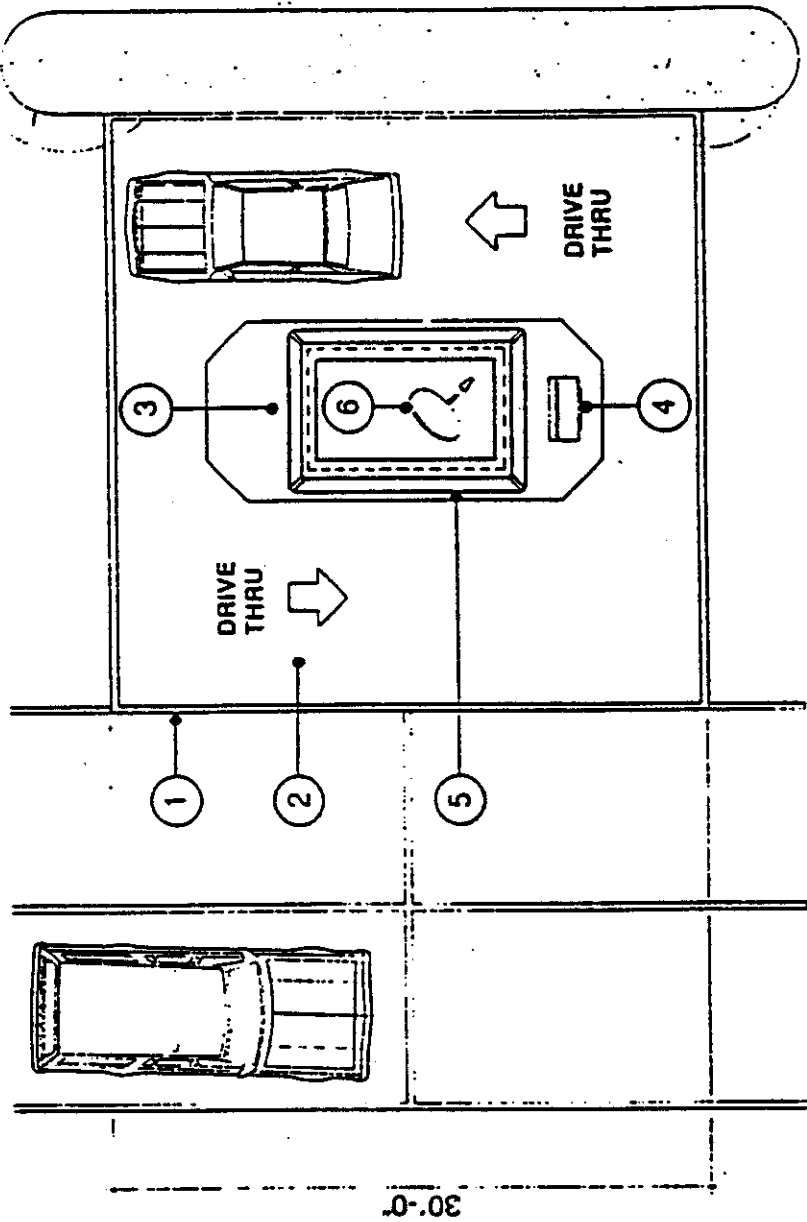
DR 86-149

7-16-86

MEM 6

KEY NOTES

- 1. LEASE LINE
- 2. PAVING
- 3. CONCRETE PAVING
- 4. DROP BOX
- 5. MINI BUSINESS SERVICE CENTER (ROOF VIEW)
- 6. SIMULATED ANTENNA SIGN. EXACT ORIENTATION TO BE DETERMINED IN FIELD



TYPICAL BUSINESS PARK PLOT PLAN



GENERAL NOTES

1. BUILDING UNIT IS AN EXISTING FULLY PREFABRICATED STRUCTURE, REMODELED TO FEDERAL EXPRESS' SPECIFICATIONS. BUILDING IS CONSTRUCTED IN ACCORDANCE WITH SUBSEQUENT PLANS AND SPECIFICATIONS.
2. ALL MATERIALS AND CONSTRUCTION ARE TO CONFORM TO APPLICABLE BUILDING CODES, LAWS, ORDINANCES AND REGULATIONS. ANY DEVIATIONS FROM THE SAME SHALL BE MADE ACCEPTABLE TO THE BUILDING DEPARTMENT BY THE GENERAL CONTRACTOR.
3. GENERAL CONTRACTOR SHALL CAREFULLY EXAMINE THE PREMISES BEFORE BUILDING INSTALLATION. IF CONTRACTOR HAS GOOD REASON FOR OBJECTING TO THE USE OF ANY MATERIAL, APPLIANCE, OR METHOD OF CONSTRUCTION AS SHOWN OR SPECIFIED, CONTRACTOR SHALL MAKE REPORT OF SUCH OBJECTION TO THE ARCHITECT AND OBTAIN PROPER AUTHORIZATION BEFORE PROCEEDING WITH THE INSTALLATION.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR BRINGING UNDERGROUND UTILITIES TO THE SITE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. SHOULD REQUIRED UTILITIES BE EXISTING, CONTRACTOR SHALL VERIFY THEIR SERVICABILITY FOR THE PRESENT INSTALLATION AND MAKE APPROPRIATE ADJUSTMENTS.



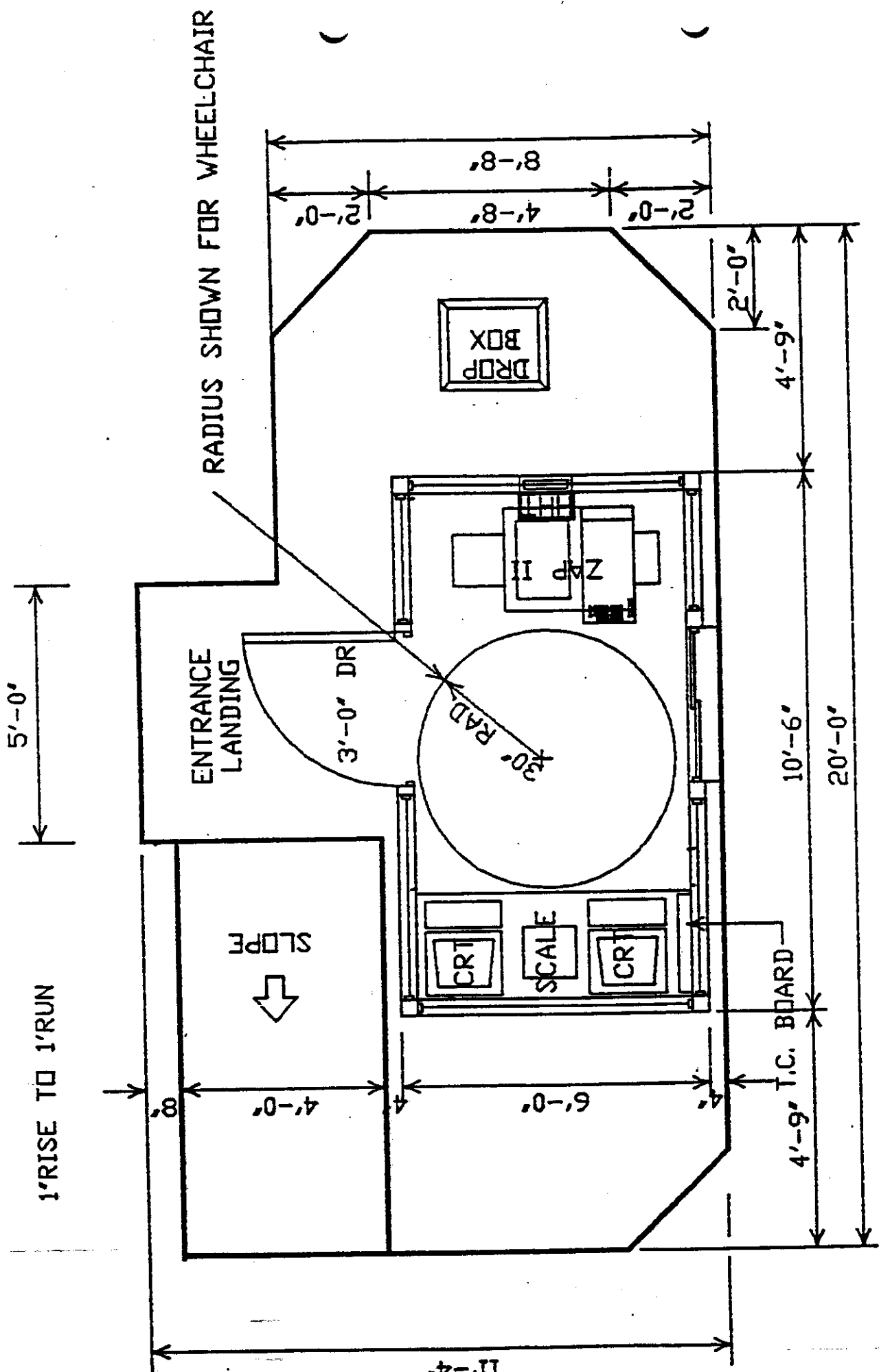
SITE PAVING GENERAL NOTES

1. LAY OUT SITE IN ACCORDANCE WITH APPLICABLE ZONING AND BUILDING ORDINANCES.
2. GRADES SHALL SLOPE AWAY FROM STRUCTURE AND DRAIN ENTIRE SITE WITHOUT PONDING.
3. GRADES SHOWN ON THE DRAWINGS ARE APPROXIMATE. MINOR ADJUSTMENTS MAY BE REQUIRED TO MEET EXISTING CONDITIONS AT THE SITE.
4. ASPHALT PAVING (IF REQUIRED):
 - A. SCOPE: INCLUDES ALL PAVEMENT PATCHING, COMPLETE WITH BASE, SHOULDERS AND TOPPING.
 - B. MATERIALS AND WORK:
 1. SELECT CRUSHED LIMESTONE BASE (6" COMPACTED THICKNESS)
 2. PRIME COAT.
 3. ASPHALT TOPPING TO MATCH EXISTING. (2" THICK MIN.)
 4. PARKING LOT PAINTING AND STRIPING.
 5. CONCRETE FOOTINGS UNDER BASE PLATES.
5. CONCRETE PAVING:
 - A. SCOPE: NEW CONCRETE CURB AROUND PREFABRICATED BUILDING.
 1. ALL PAVEMENT PATCHING OF EXISTING CONCRETE WHERE REQUIRED.
 - B. MATERIALS:
 1. AIR-ENTRAINED (4-6%) CONCRETE, 3000 PSI IN 28 DAYS, 5" SLUMP MAXIMUM.
 2. CONCRETE TO BE MIXED IN TRANSIT, AND THOROUGHLY VIBRATED DURING PLACEMENT TO ELIMINATE HONEYCOMBING.
 3. REINFORCING STEEL -- ASTM A615 GRADE 60
 4. COLORLESS MEMBRANE CURING COMPOUND WHICH WILL NOT STAIN, ABSORB MOISTURE, OR IMPAIR NATURAL BONDING OF FINISHES.
 - C. ADMIXTURES:
 1. AIR-ENTRAINMENT ADMIXTURE ASTM C260.
 2. ACCELERATOR OR RETARDER WHERE REQUIRED BY WEATHER CONDITIONS.
 3. CALCIUM CHLORIDE IS NOT PERMITTED

DR 86-49

7786 8-28-82

ITEM 18



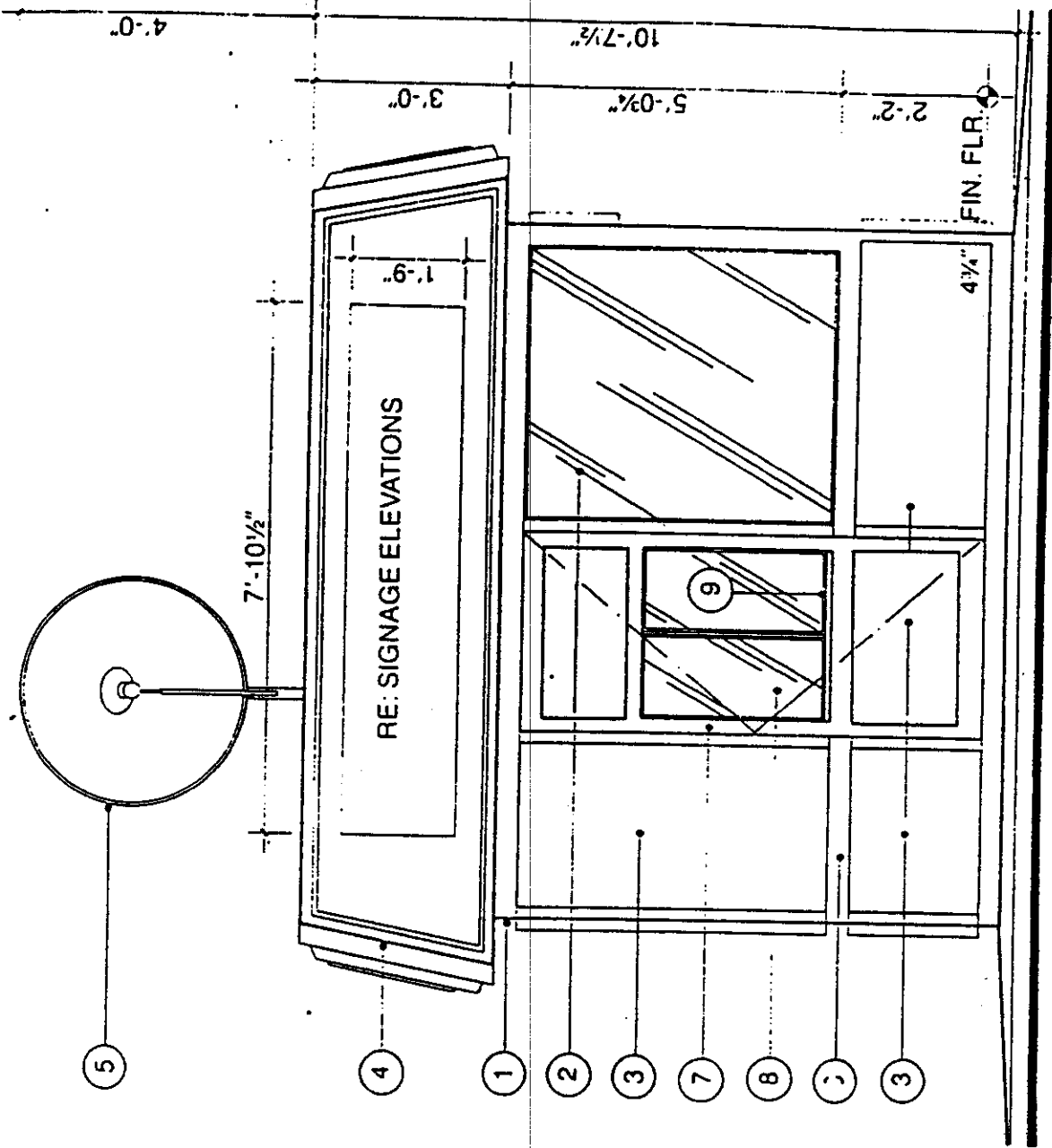
FLOOR PLAN (HANDICAPPED) 6' X 10'

SCALE 1/8" = 1'-0"

DR 86-149

7-11-86
11'-4"

- 1. STEEL TUBE SECTION (EXISTING) WITH METAL CLADDING
- 2. GREY TINTED GLASS IN ALUMINUM SASH (EXISTING)
- 3. ENAMEL COATED METAL FACE PANEL RE: PAGE 18 FOR SIGNAGE
- 4. MOLDED LEXAN ILLUMINATED ROOF RE: PAGE 18 FOR SIGNAGE
- 5. ROOF MOUNTED "KYDEX" SIMULATED ANTENNA WITH STEEL SUPPORTS
- 6. VINYL STRIP OVER METAL CLADDING
- 7. ALUMINUM DOOR (EXISTING) 3'-0" x 7'-0" WITH TEMPERED GREY GLASS
- 8. ALUMINUM SLIDING WINDOW WITH TEMPERED GREY GLASS
- 9. STAINLESS STEEL OR MOLDED PLASTIC SERVICE COUNTER (EXISTING)

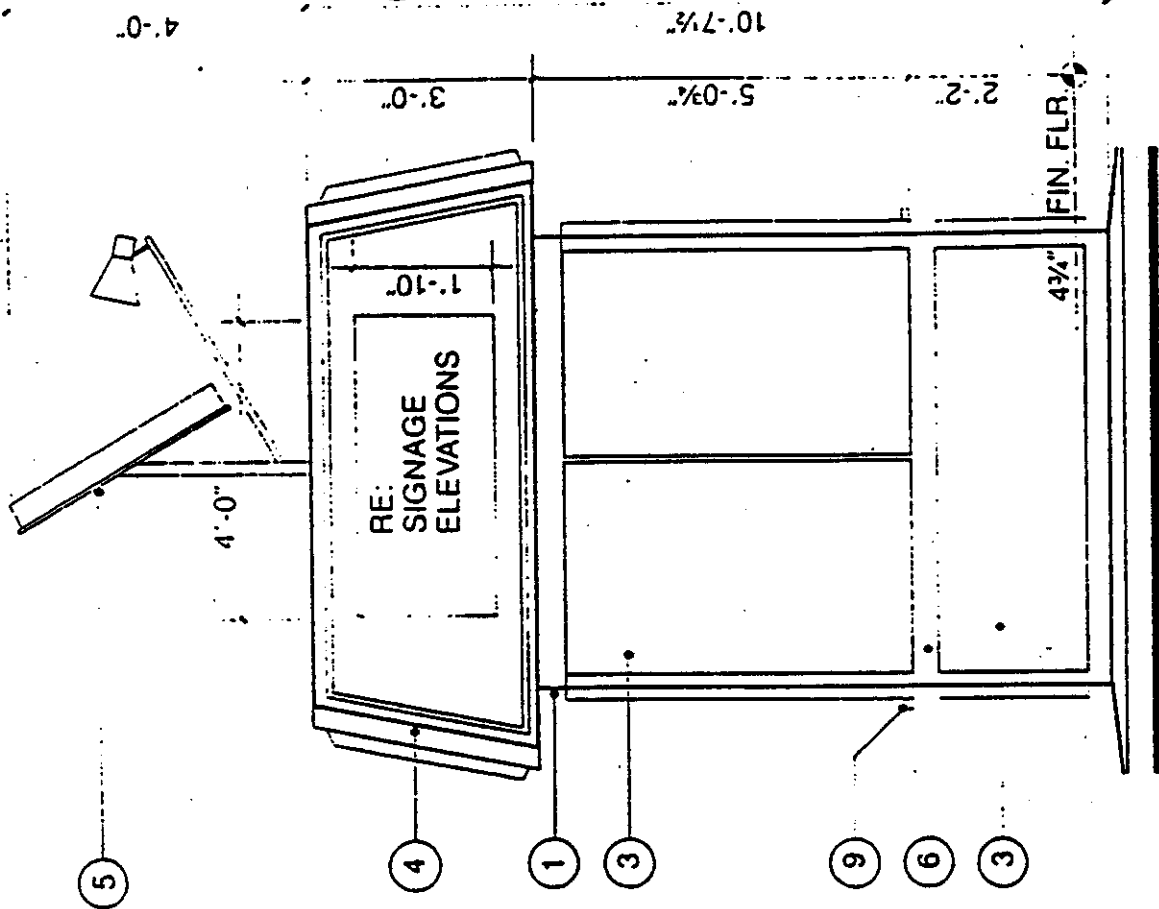


ENTRY ELEVATION

SCALE: 3/8" = 1'-0"

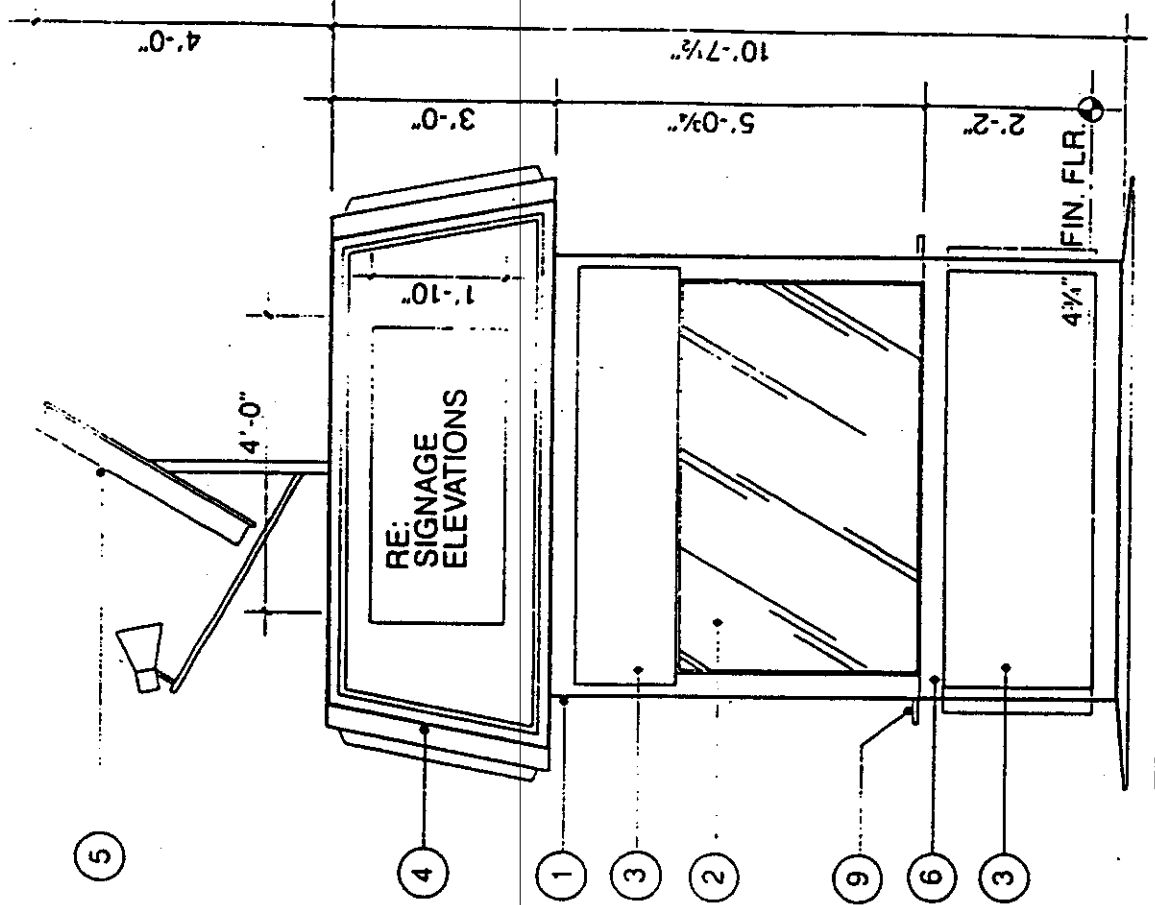
KEY NOTES

1. STEEL TUBE SECTION (EXISTING) WITH METAL CLADDING
2. GREY TINTED GLASS IN ALUMINUM SASH (EXISTING)
3. ENAMEL COATED METAL FACE PANEL
4. MOLDED LEXAN ILLUMINATED ROOF. RE: PAGE 18 FOR SIGNAGE
5. ROOF MOUNTED "KYDEX" SIMULATED ANTENNA WITH STEEL SUPPORTS
6. VINYL STRIP OVER METAL CLADDING
7. ALUMINUM DOOR (EXISTING)
8. ALUMINUM SLIDING WINDOW WITH TEMPERED GREY GLASS
9. STAINLESS STEEL OR MOLDED PLASTIC SERVICE COUNTER (EXISTING)



KEY NOTES

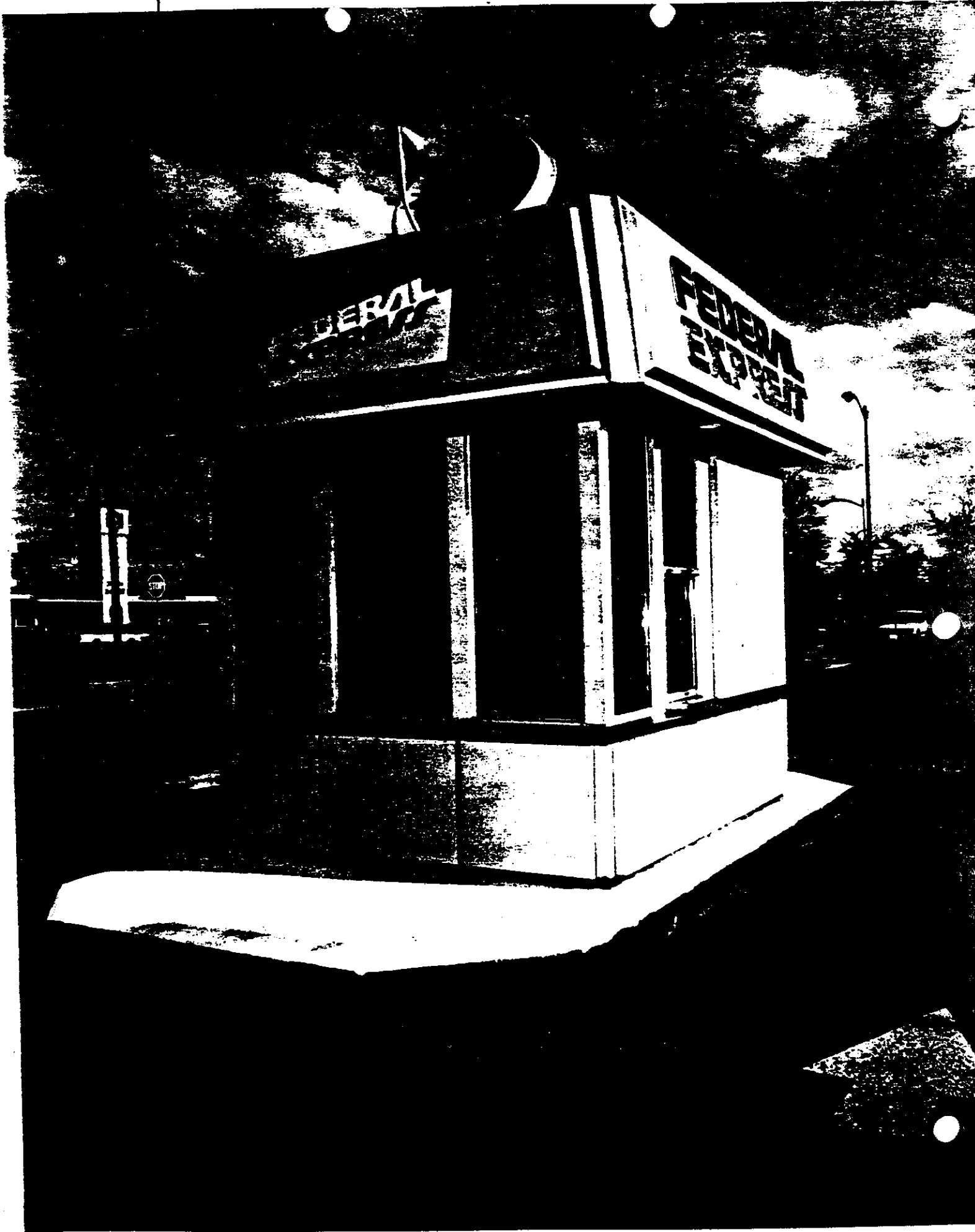
1. STEEL TUBE SECTION (EXISTING) WITH METAL CLADDING
2. GREY TINTED GLASS IN ALUMINUM SASH (EXISTING)
3. ENAMEL COATED METAL FACE PANEL
4. MOLDED LEXAN ILLUMINATED ROOF
5. ROOF MOUNTED "KYDEX" SIMULATED ANTENNA WITH STEEL SUPPORTS
6. VINYL STRIP OVER METAL CLADDING
7. ALUMINUM DOOR (EXISTING)
8. ALUMINUM SLIDING WINDOW WITH TEMPERED GREY GLASS
9. STAINLESS STEEL OR MOLDED PLASTIC SERVICE COUNTER (EXISTING)



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

ITEM 100



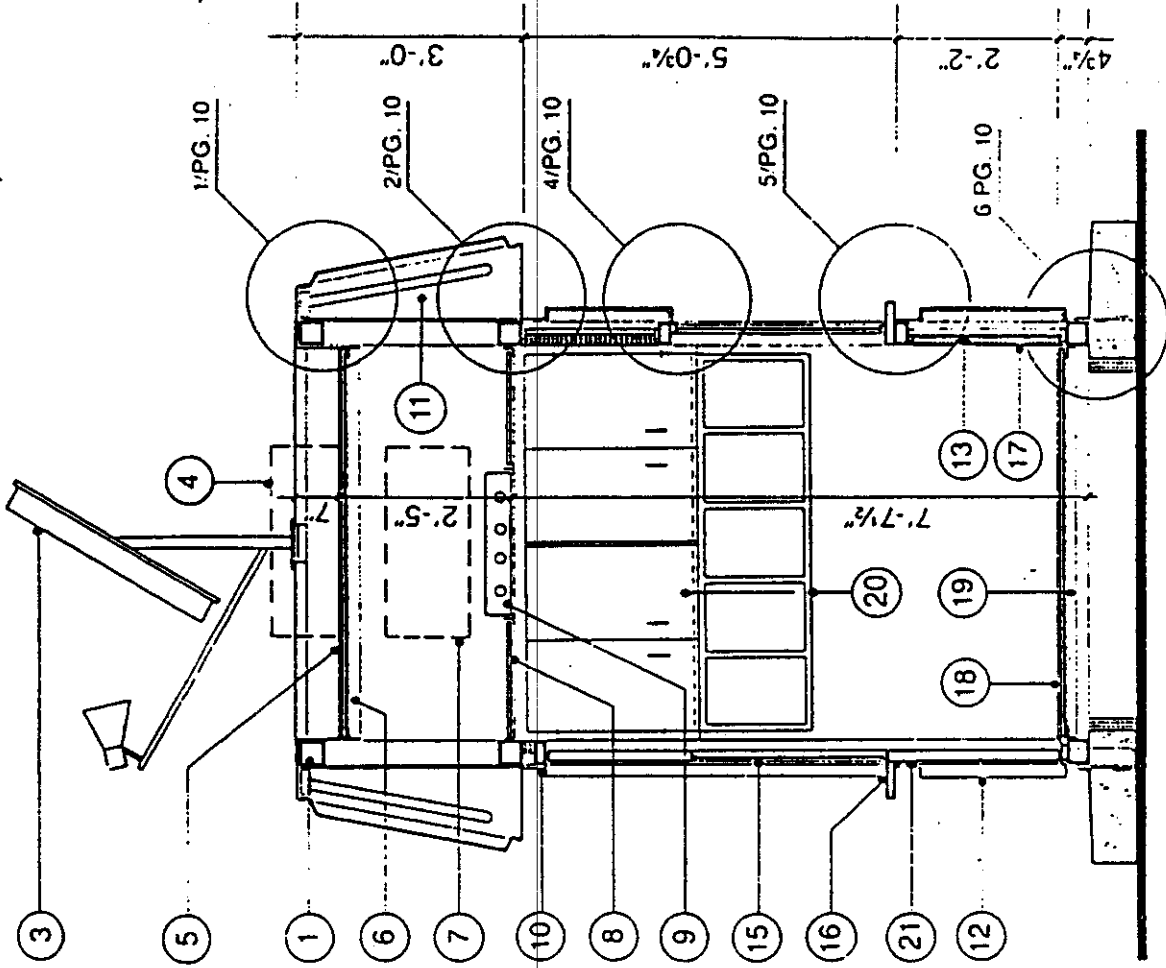
DR 86-149

7-16-86

ITEM

KEY NOTES

1. STEEL 4" x 4" TUBE SECTION (EXISTING)
2. STEEL 2" x 4" OR 4" x 4" TUBE SECTION (EXISTING)
3. ANTENNA MOUNTED ON STEEL 2" x 2" x 1/2" ANGLES
4. ROOF MOUNTED AIR CONDITIONING UNIT
5. GALV. 20 GA. SHEET METAL ROOF PAN
6. STEEL 2" x 2" x 1/2" ANGLES (EXISTING)
7. AIR HANDLER SUSPENDED FROM STRUCTURE
8. 2" x 4" LAY IN ACOUSTICAL TILE CEILING
9. 2' x 4' FLUORESCENT FIXTURE WITH 4-40 WATT LAMPS (EXISTING)
10. METAL CHANNEL
11. ILLUMINATED ROOF
12. ENAMEL COATED METAL FACE PANEL
13. 1/2" PORCELAIN STEEL BUILDING PANEL (EXISTING)
14. 1/2" TINTED GREY GLASS IN ALUMINUM SASH (EXISTING)
15. ALUMINUM SLIDING WINDOW WITH TEMPERED GREY GLASS
16. STAINLESS STEEL OR MOLDED PLASTIC SERVICE COUNTER (EXISTING)
17. CARPET FABRIC WALL COVERING OVER RIGID INSULATION
18. CARPET OVER 1/2" PLYWOOD DECK
19. STEEL 2" x 2" x 1/2" ANGLE (EXISTING)
20. SHELVING
21. ALUMINUM DOOR

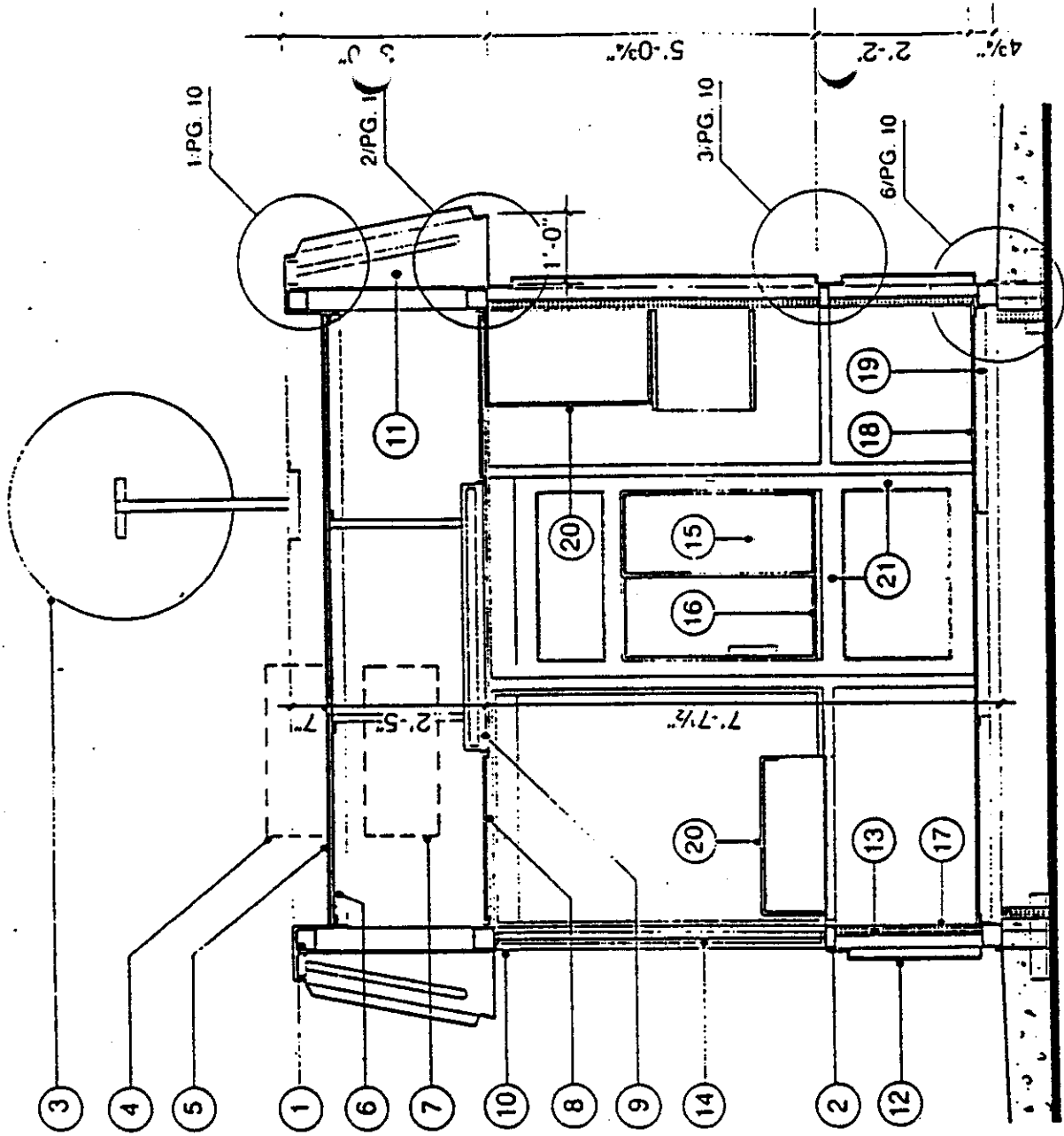
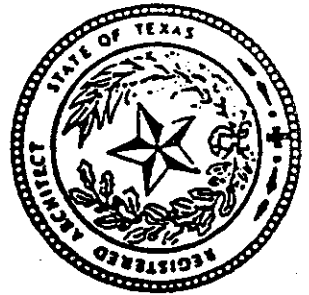


CROSS SECTION

SCALE: 3/8" = 1'-0"

KEY NOTES

1. STEEL 4" x 4" TUBE SECTION (EXISTING)
2. STEEL 2" x 4" OR 4" x 4" TUBE SECTION (EXISTING)
3. ANTENNA MOUNTED ON STEEL 2" x 2" x 1/2" ANGLES
4. ROOF MOUNTED AIR CONDITIONING UNIT
5. GALV. 20 GA. SHEET METAL ROOF PAN
6. STEEL 2" x 2" x 1/2" ANGLES (EXISTING)
7. AIR HANDLER SUSPENDED FROM STRUCTURE
8. 2" x 4" LAY IN ACOUSTICAL TILE CEILING
9. 2' x 4' FLUORESCENT FIXTURE WITH 4-40 WATT LAMPS (EXISTING)
10. METAL CHANNEL
11. ILLUMINATED ROOF
12. ENAMEL COATED METAL FACE PANEL
13. 1/2" PORCELAIN STEEL BUILDING PANEL (EXISTING)
14. 1/4" TINTED GREY GLASS IN ALUMINUM SASH (EXISTING)
15. ALUMINUM SLIDING WINDOW WITH TEMPERED GREY GLASS
16. STAINLESS STEEL OR MOLDED PLASTIC SERVICE COUNTER (EXISTING)
17. CARPET FABRIC WALL COVERING OVER RIGID INSULATION
18. CARPET OVER 1/2" PLYWOOD DECK
19. STEEL 2" x 2" x 1/2" ANGLE (EXISTING)
20. SHELVING
21. ALUMINUM DOOR



LONGITUDINAL SECTION

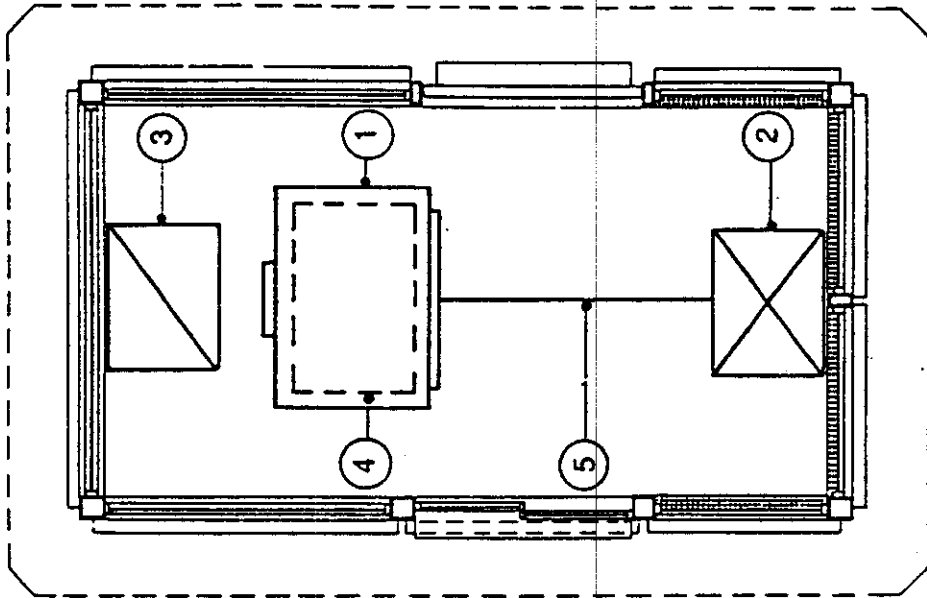
SCALE: 3/8" = 1'-0"

KEY NOTES

- 1. AIR HANDLER
- 2. SUPPLY AIR DIFFUSER
- 3. RETURN AIR GRILLE WITH FILTER
- 4. CONDENSER
- 5. DUCT

EQUIPMENT SCHEDULE

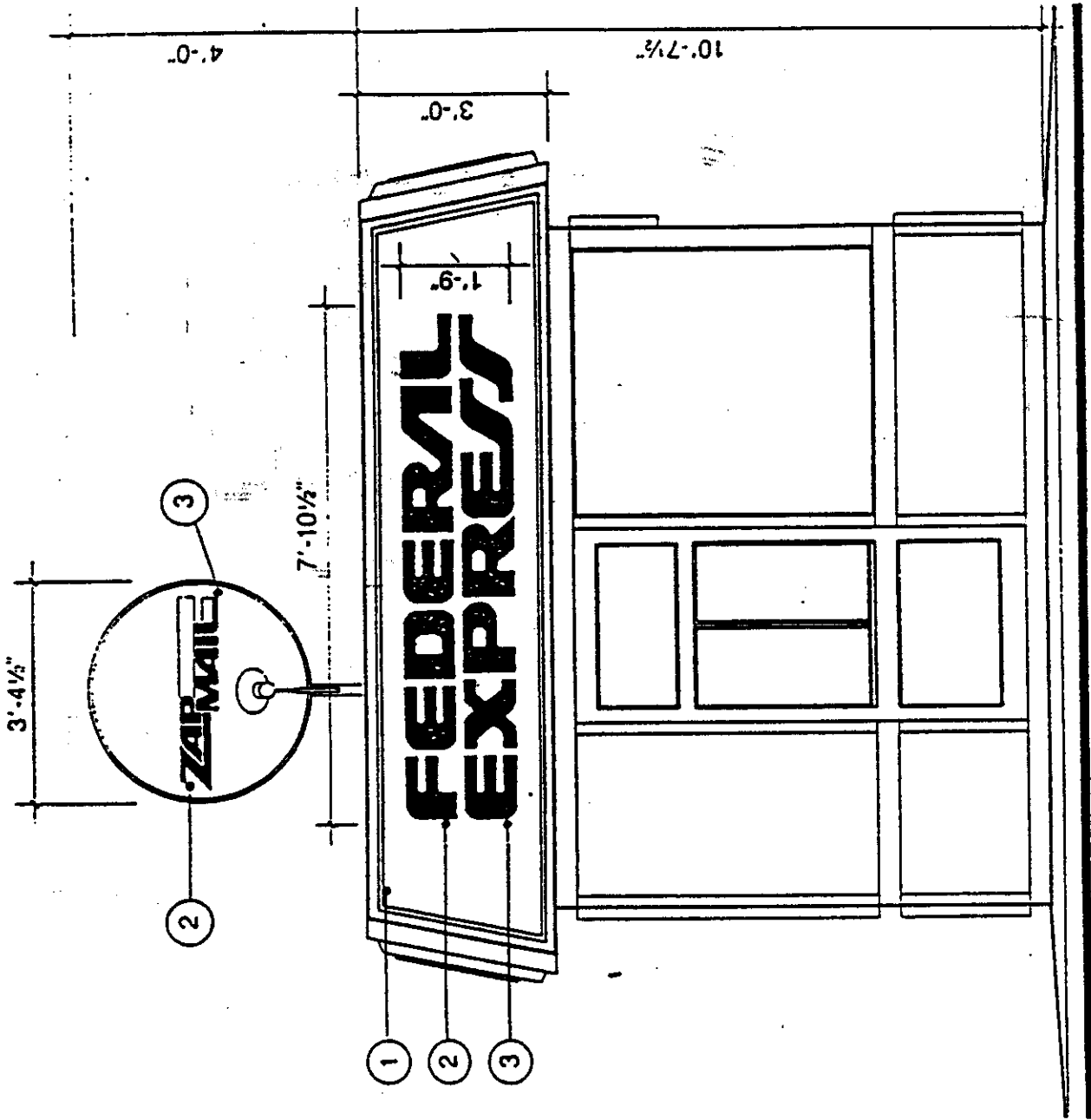
- 1. AIR HANDLER: CARRIER #40DQ024
6.5 KW, 2 TON
- 2. CONDENSER: MAJIC CHEF #ACF24S-66,
2 TON, ROOF MOUNTED
- 3. SUPPLY AIR DIFFUSER: 600 CFM



KEM

FINISH NOTES

- 1. BACKGROUND—ALUCOBOND CASTLE GRAY
- 2. PURPLE PMS #267
- 3. ORANGE PMS #158



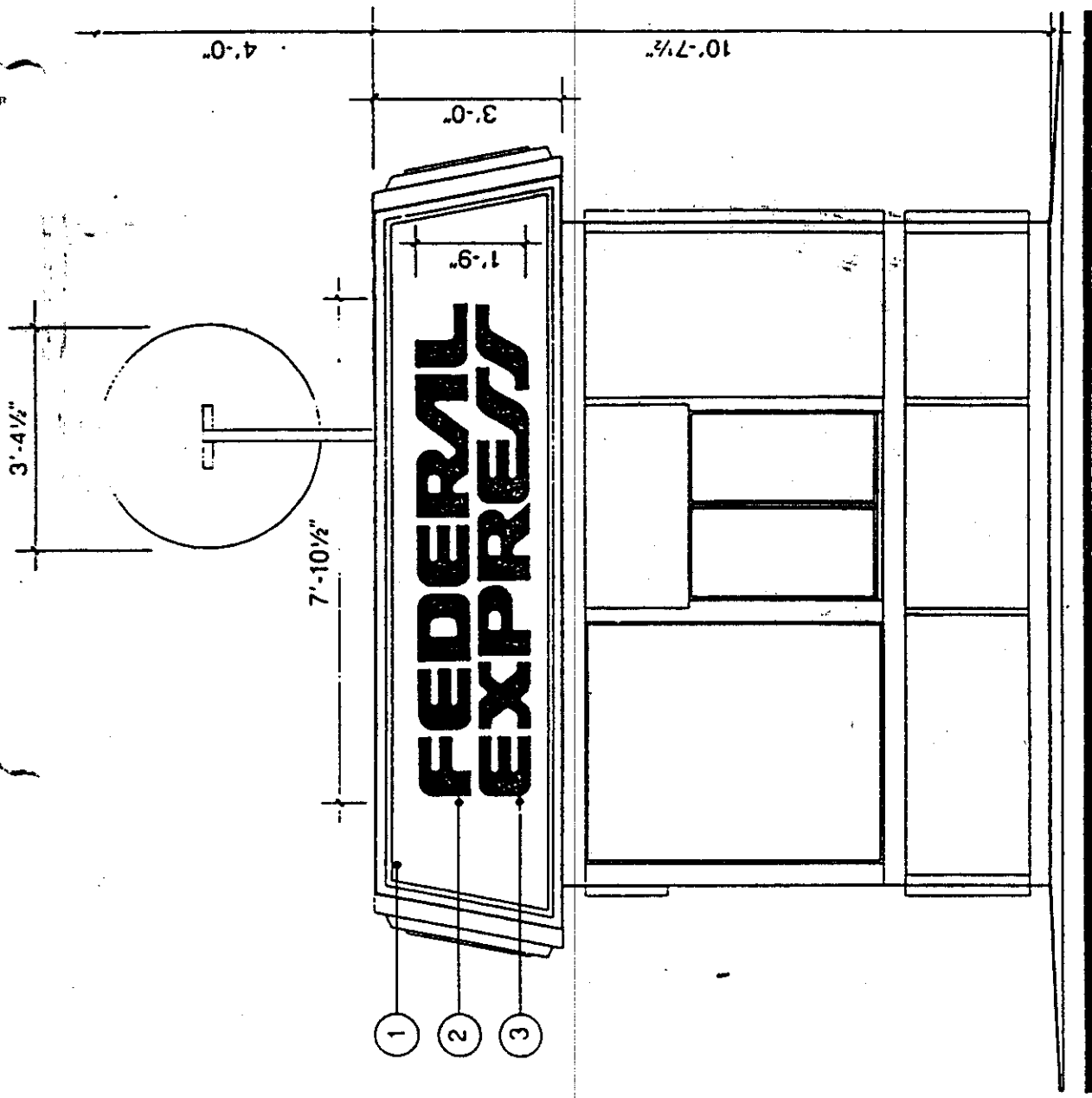
SIGNAGE—ENTRY ELEVATION

SCALE: 3/8" = 1'-0"

3A

FINISH NOTES

1. BACKGROUND — ALUCOBOND CASTLE GRAY
2. PURPLE PMS # 267
3. ORANGE PMS # 158



SIGNAGE—REAR ELEVATION

SCALE: 3/8" = 1'-0"

18B

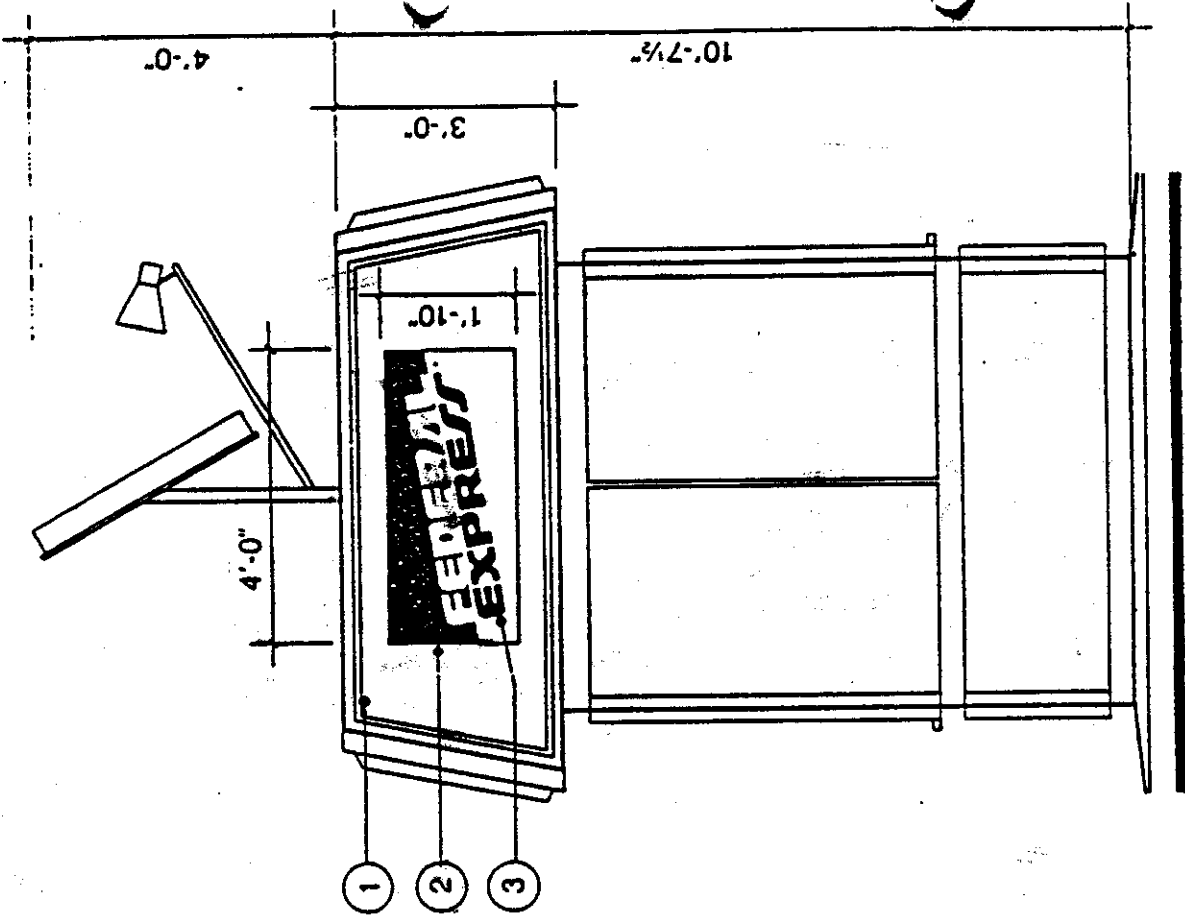
DR 86-149

7-16-86 P-28 #

KEM

FINISH NOTES

- 1. BACKGROUND—ALUCOBOND CASTLE
GRAY
- 2. PURPLE PMS #287
- 3. ORANGE PMS #158



SIGNAGE—LEFT ELEVATION

SCALE: 3/8" = 1'-0"

18C

DR 86-419

7-16-86

KEA