

**CITY OF SACRAMENTO**

**Permit No: 9809755**

**1231 I Street, Sacramento, CA 95814**

**Insp Area: 3**

**Site Address: 3400 20TH AV SAC**

**Sub-Type: RES**

**Parcel No: 0200206001**

**Housing (Y/N): N**

**CONTRACTOR**

ARTHUR AUSBROOKS  
PO BOX 1868  
CARMICHAEL

95609

**OWNER**

FREY PAT  
3400 20TH AV  
SACRAMENTO

**ARCHITECT**

**Nature of Work: REROOF AND SERVICE CHANGE**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 645219 Date 10-2-98 Contractor Signature Arthur V. Audel

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

\_\_\_\_ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

\_\_\_\_ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 10-2-98 Applicant/Agent Signature Arthur V. Audel

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

\_\_\_\_ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

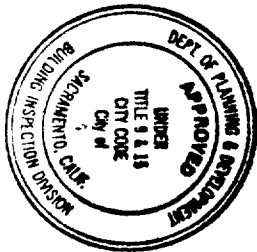
Date 10-2-98 Applicant Signature Arthur V. Audel

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

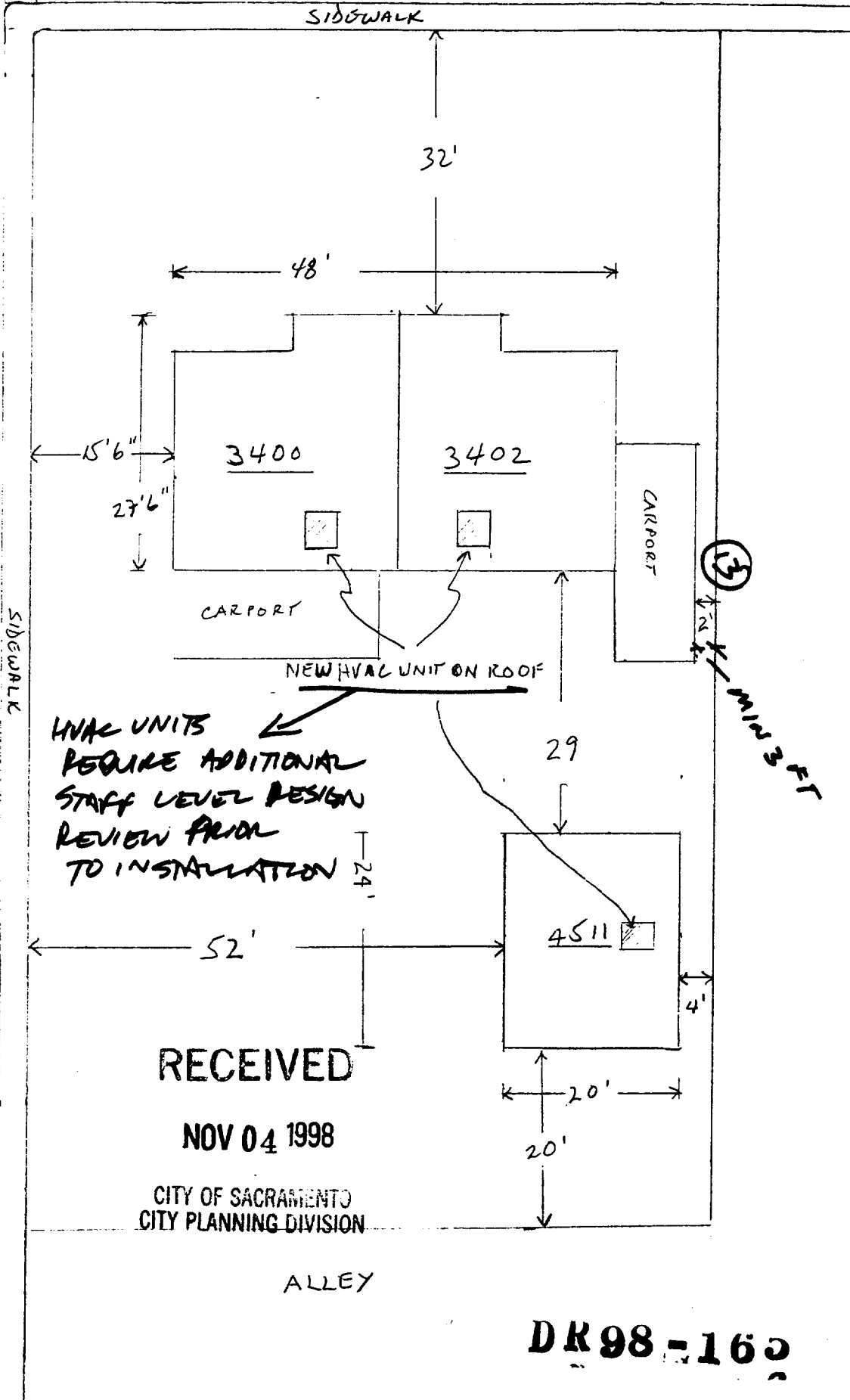
**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

N  
▲

20<sup>TH</sup> AVE



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.  
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



**HVAC UNITS  
REQUIRE ADDITIONAL  
STAFF LEVEL DESIGN  
REVIEW PRIOR  
TO INSTALLATION**

RECEIVED

NOV 04 1998

CITY OF SACRAMENTO  
CITY PLANNING DIVISION

ALLEY

DR 98-160

PLOT PLAN SCALE: 1/16" = 1'0"

CITY OF SACRAMENTO  
DESIGN REVIEW

PROJECT NO: DR98-165

APPROVED BY: Jim McDevitt

APPROVAL DATE: 12/9/98

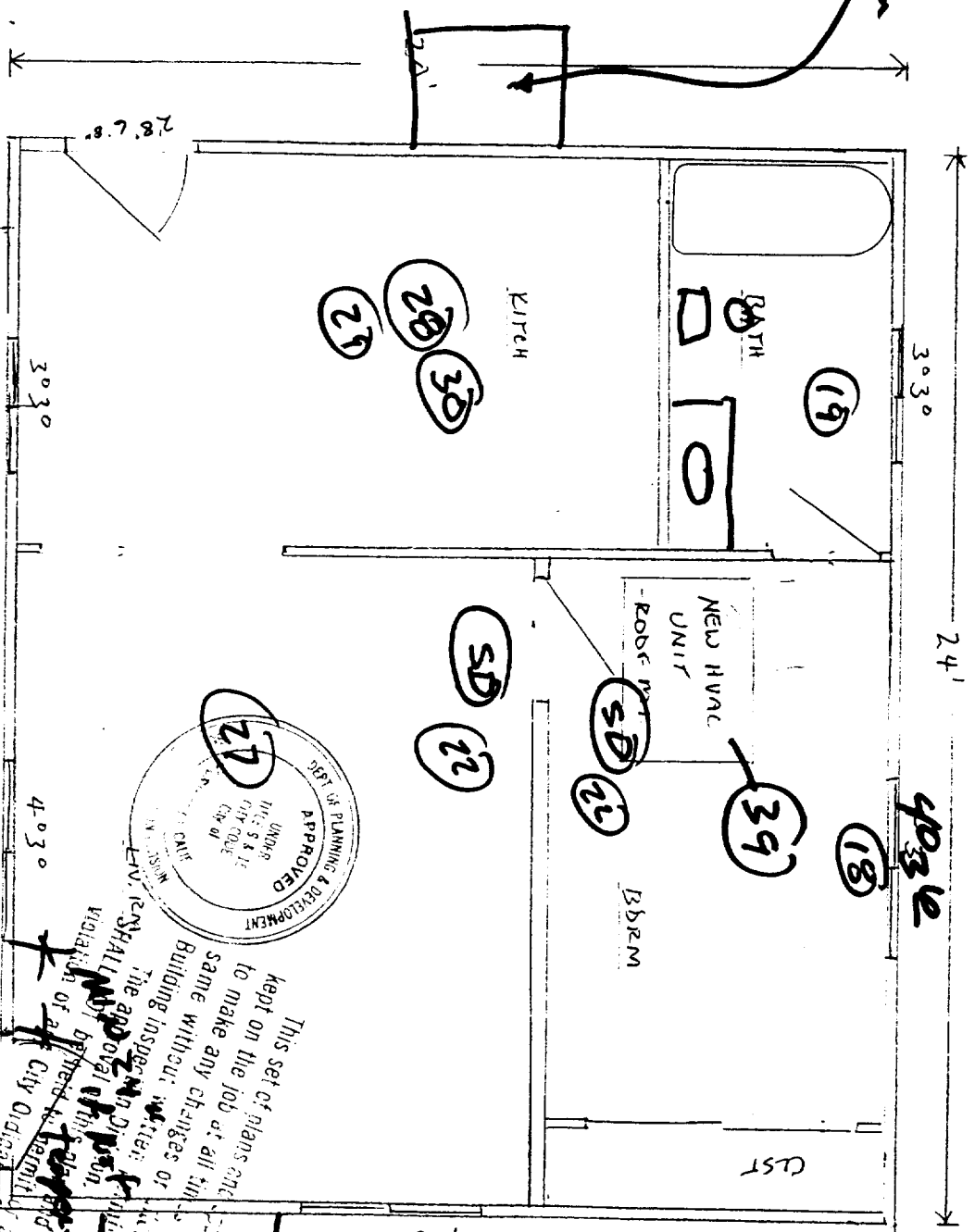
NOTE: HVAC UNITS REQUIRE  
ADDITIONAL DESIGN  
REVIEW

4511 34<sup>th</sup> ST

FLOOR PLAN SCALE: 1/4" = 1'-0"

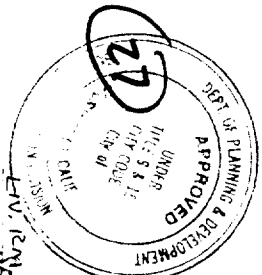
Water Heater

(36) (37) (39)



(41) (20) (33)

ATIC ACCESS - 22 X 36



This set of plans are kept on the job at all times to make any changes or Building Inspector written approval of any changes shall be obtained in the violation of a City Ordinance of State.

RECEIVED

NOV 04 1998

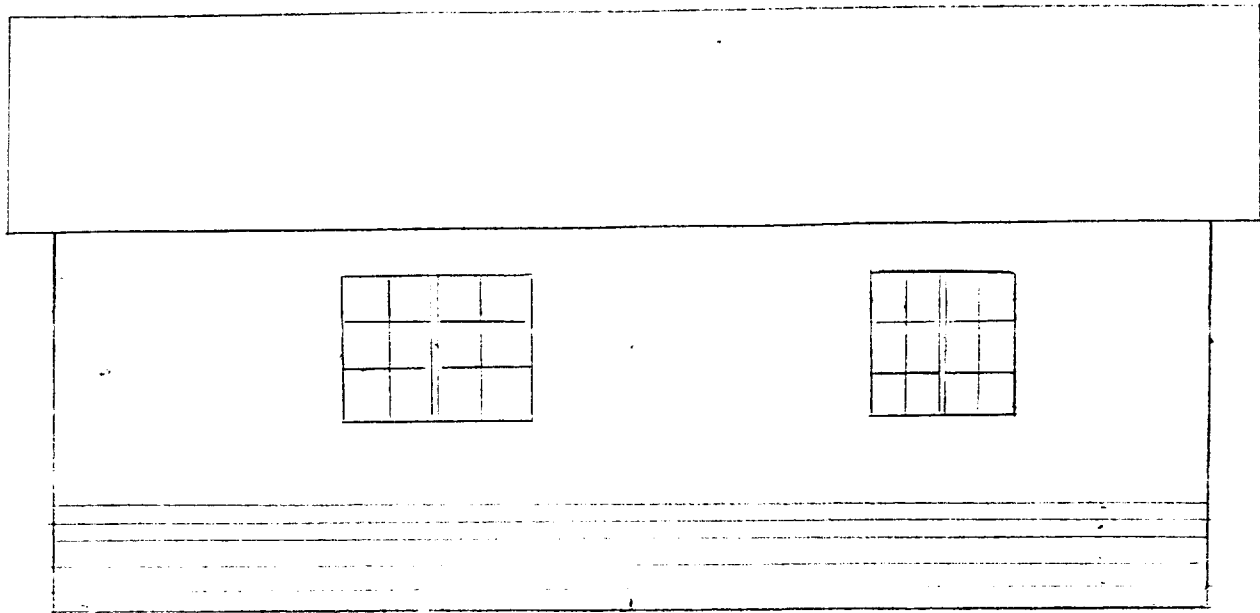
CITY OF SACRAMENTO CITY PLANNING DIVISION

DK 98 - 165

R-30 ceiling R-13-walls

ELER meta

(25)

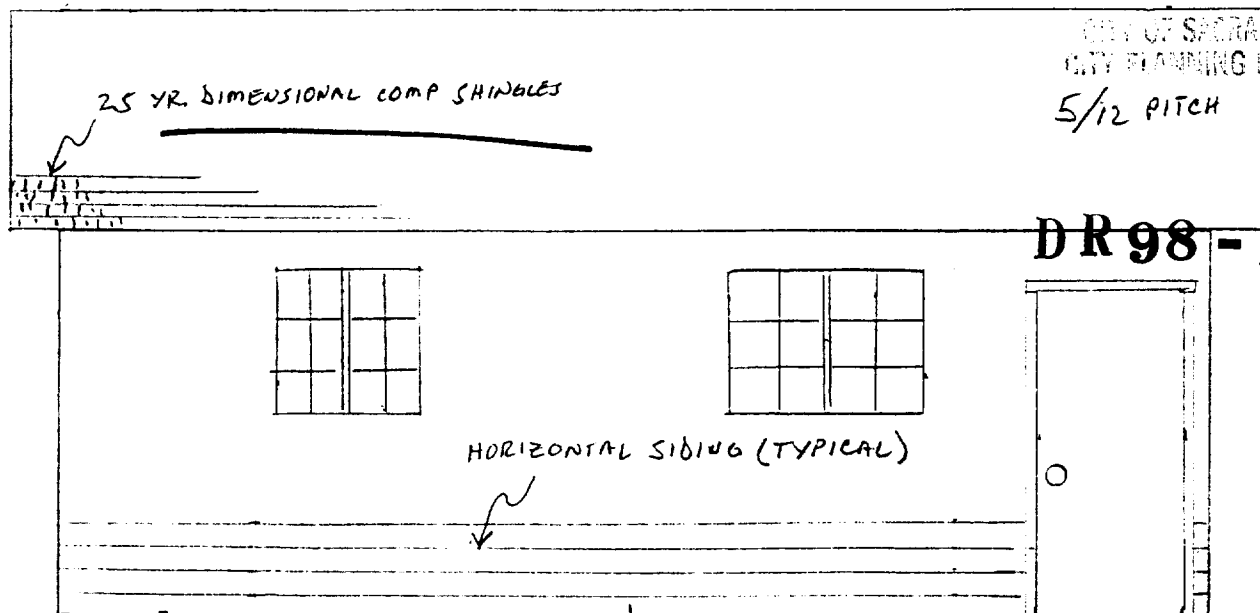


REAR ELE. SCALE : 1/4" = 1'0"

WINDOWS  
DOORS REQUIRE  
SILL TRIM

RECEIVED

NOV 04 1998

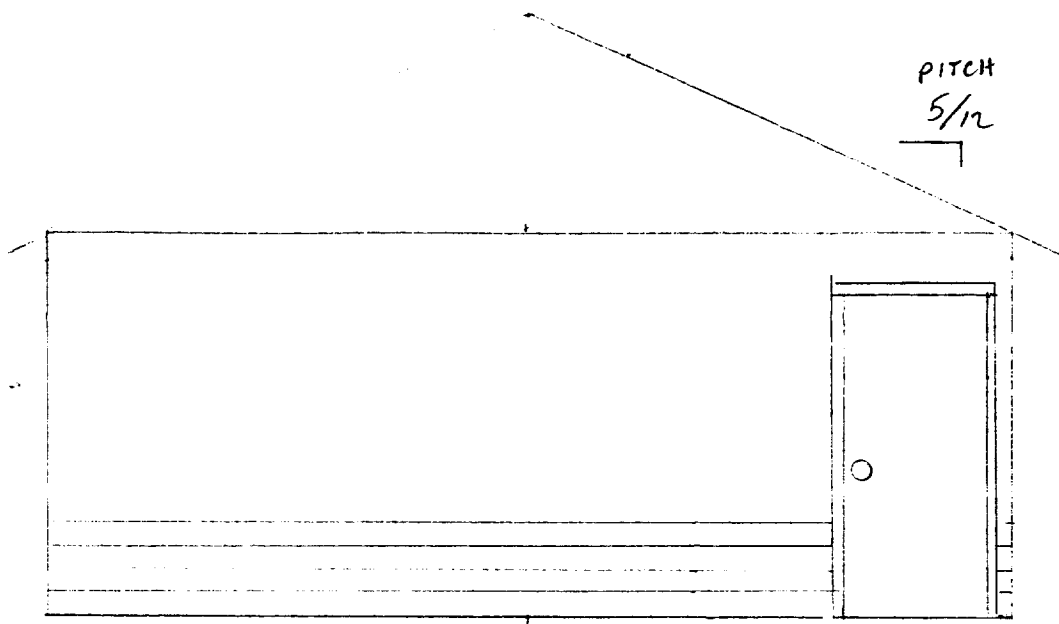


CITY OF SACRAMENTO  
CITY PLANNING DIVISION  
5/12 PITCH

DR 98-163

45H 34<sup>TH</sup> ST.

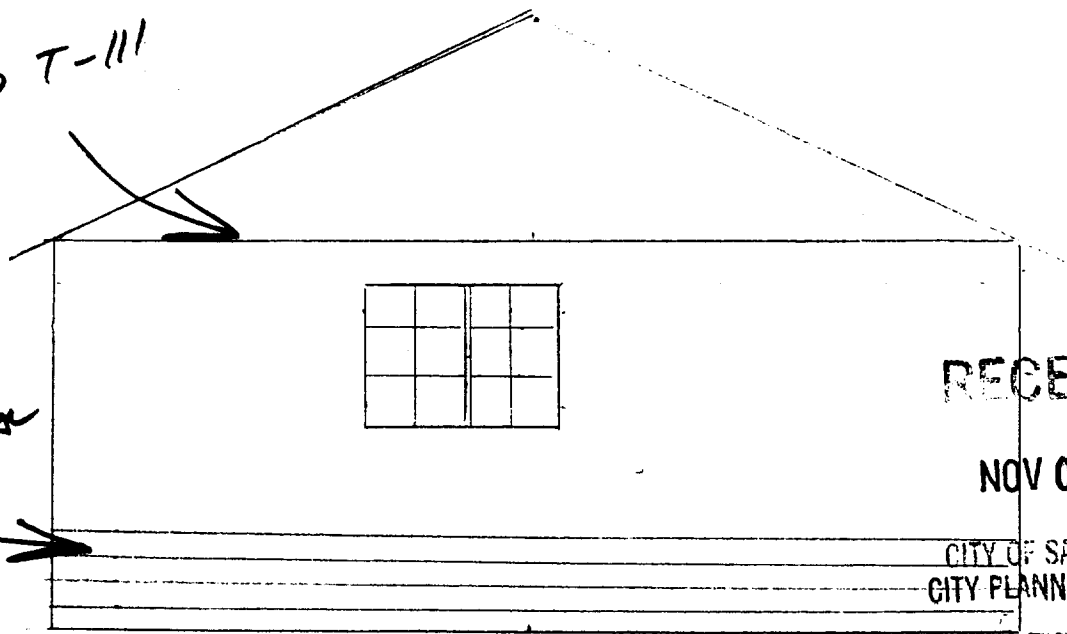
FRONT ELE. SCALE : 1/4" = 1'0"



LEFT SIDE ELE. SCALE: 1/4" = 1'0"

WINDOWS & DOORS  
REQUIRE SILLS, TRIM

NO T-III



Horizontal Siding

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CITY OF SACRAMENTO  
CITY PLANNING DIVISION

DR 98 - 160

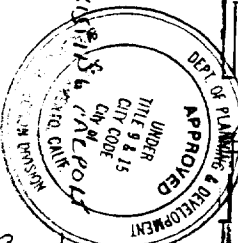
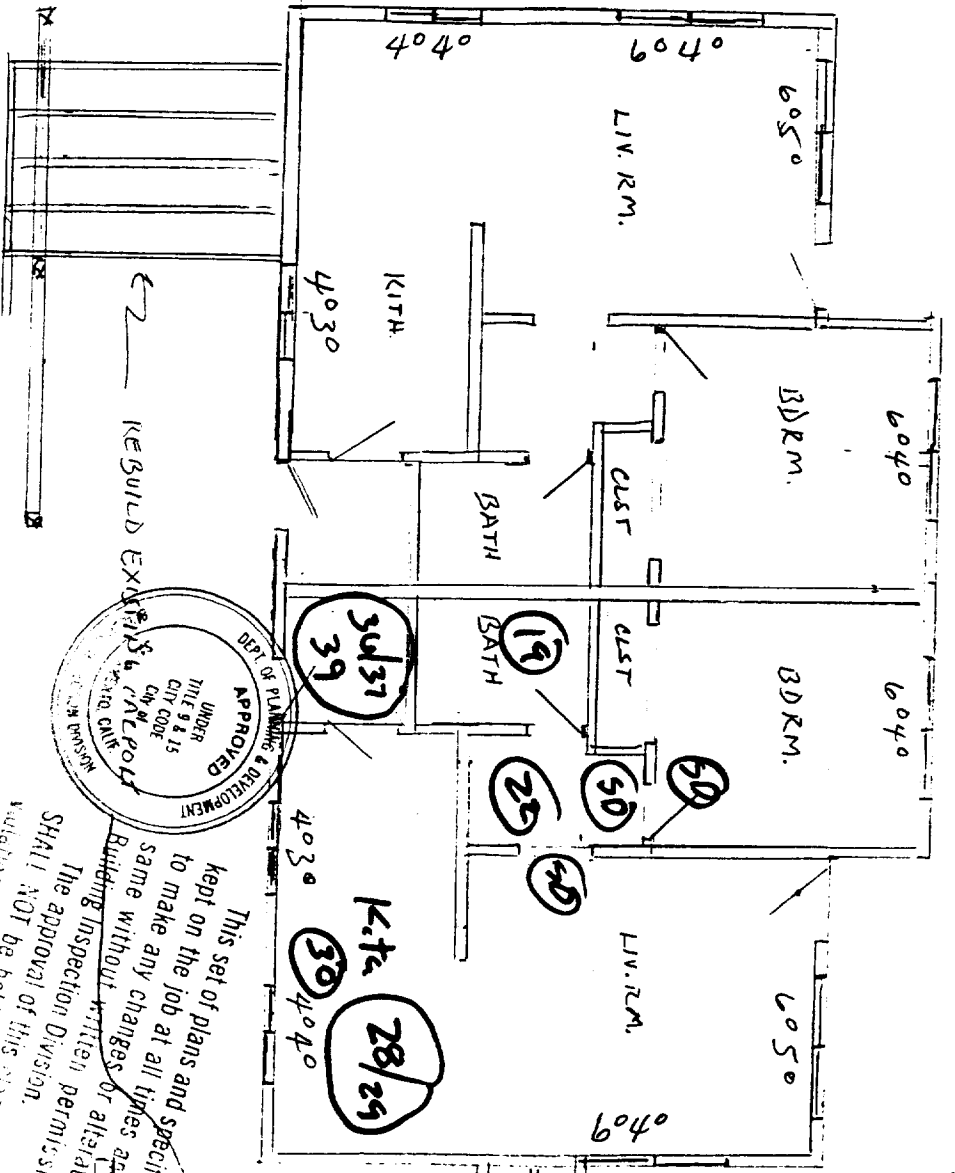
4511 34<sup>TH</sup> ST

RIGHT SIDE ELE. SCALE: 1/4" = 1'0"



4' 4" 23'4"

12'9" 22'6" 12'9" 9'6"



This set of plans and specifications kept on the job at all times and same without written permission from the Building Inspection Division. The approval of this plan shall NOT be held to permit or approve the violation of any City Ordinance or State Code.

ATTC Access ? RECEIVED w/ 103 ft. of pt.

NOV 04 1998

3400 20<sup>TH</sup> AVE

FLOOR PLAN

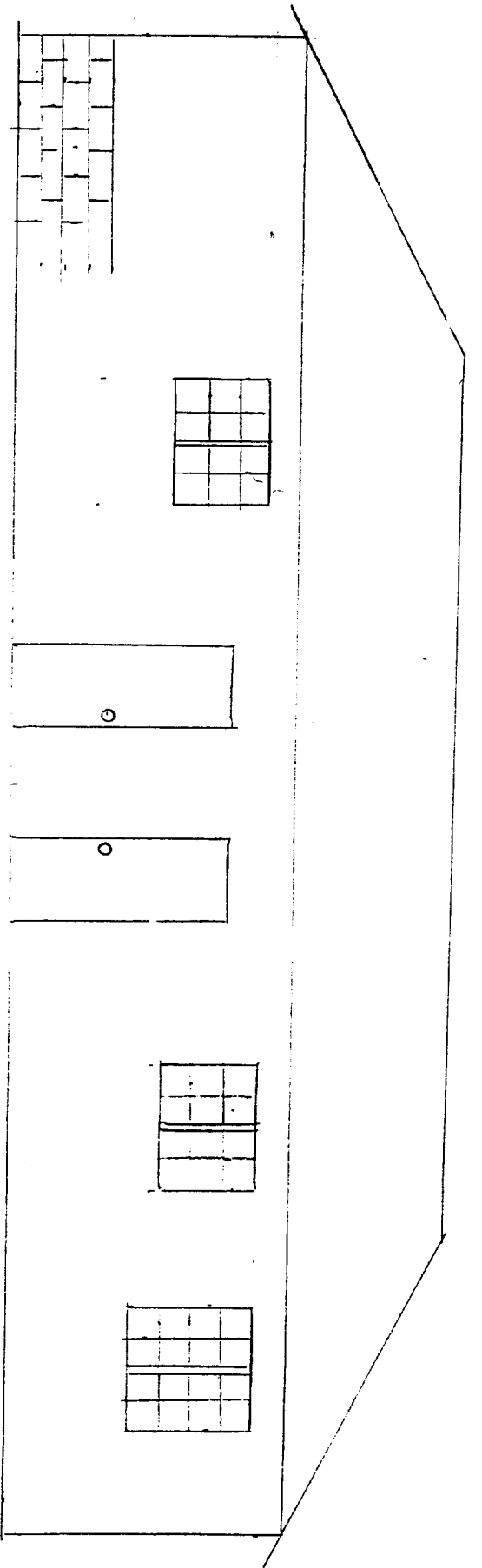
SCALE 1/8" = 1'-0"

CITY OF SACRAMENTO CITY PLANNING DIVISION

- All work subject to field inspection

- All open walls - R-13/R-30 citing see personal safety data

DR 98-165



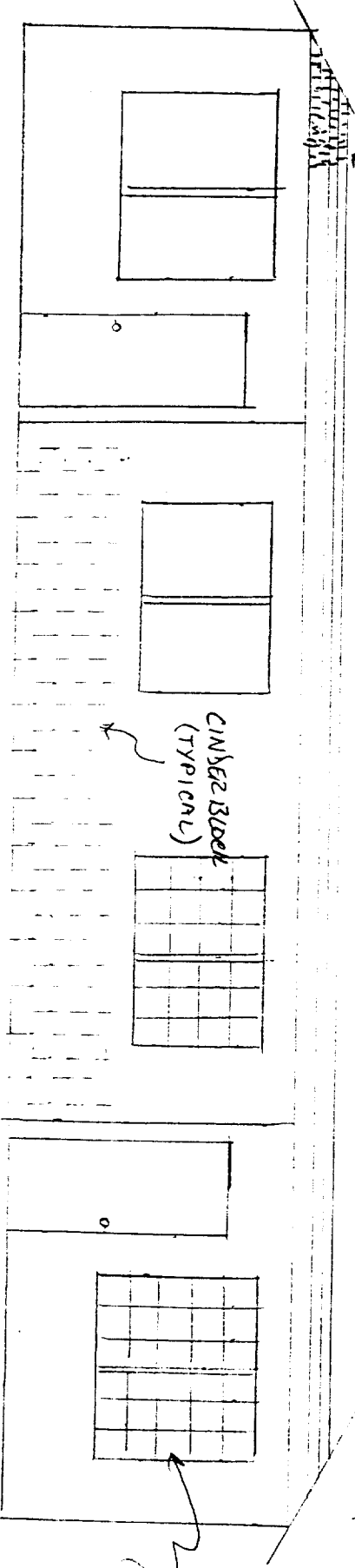
REAR ELE. SCALE: 3/16" = 1'-0"

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NOV 04 1998

WINDOWS & DOORS 'SIZES'  
REQUIRES FINISHES

25 YR. DIMENSION COMP. SHINGLES

CITY OF SACRAMENTO  
CITY PLANNING DIVISION  
5/12 PITCH



CINSEB BOARD  
(TYPICAL)

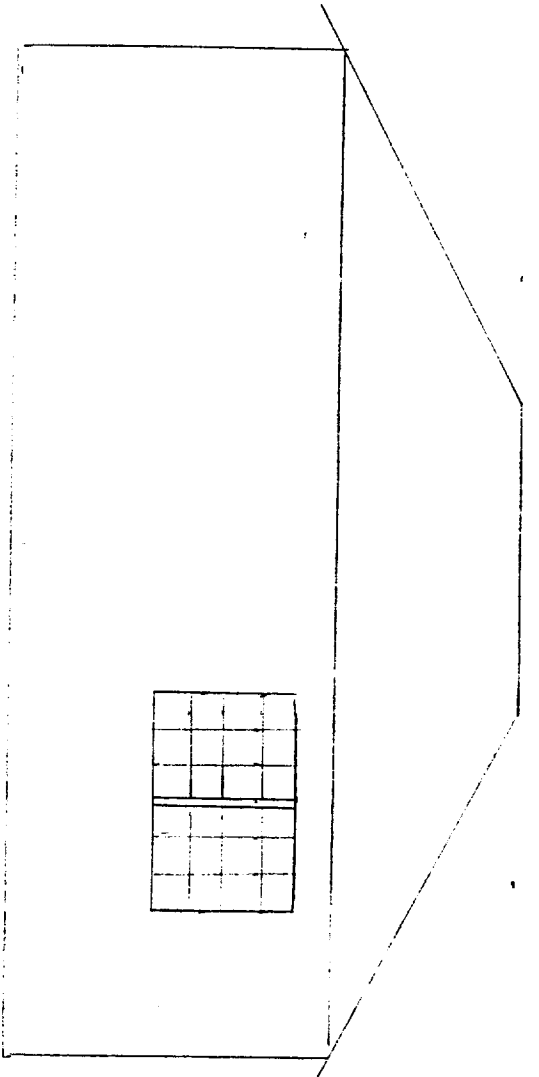
DUAL GLAZE  
W/GIRDS  
(TYPICAL)

3400 20th Ave

FRONT FIF

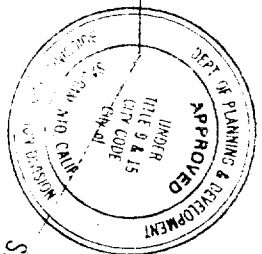
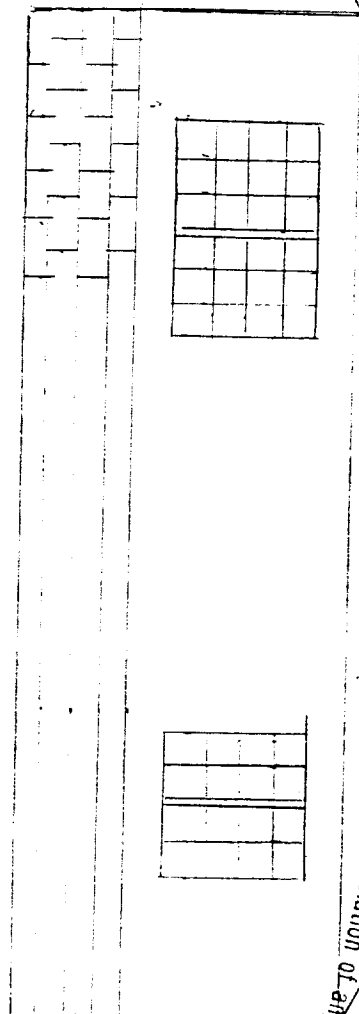
STAIR: 3/16" = 1'-0"

DR98-163



LEFT SIDE ELE. SCALE : 3/16" = 1'0"

*Windows provided  
Thurman's*



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**D 898-163**

**RECEIVED**

**NOV 04 1998**

CITY OF SACRAMENTO  
CITY PLANNING DIVISION

3400 20" AVE RIGHT SIDE ELE. SCALE : 3/16" = 1'0"



**SACRAMENTO CITY DESIGN REVIEW/PRESERVATION BOARD  
NOTICE OF STAFF ACTION**

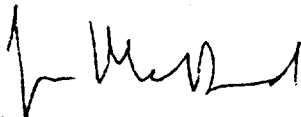
Notice is hereby given that on December 31, 1998 the City of Sacramento Design Review/Preservation Staff APPROVED the following project with conditions. The decision rendered by Staff is appealable to the Design Review/Preservation Board. An appeal must be filed within five days of the Staff decision, at 1231 "I" Street, Room 200, Sacramento, California. Any questions regarding this project may be directed to Jim McDonald, at (916) 264-5723.

DR/PB PROJECT NUM.: DR98-165

ASSESSOR'S PARCEL NUM.: 020-0206-001

LOCATION: 3400/3402 20th Av. & 4511 34th St.

PROJECT DESCRIPTION: Minor exterior modifications to an existing duplex and single family home in the R-1 zone, including: roof mounted HVAV units, doors, siding, windows, roof and trim.



Jim McDonald, AICP  
Associate Planner  
Design Review/Preservation  
Development Services Division

JM:jm:DR98-165.ACT

CITY OF SACRAMENTO - BUILDING INSPECTION DIVISION  
SPECIAL PACKAGE D/E FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12  
100 TO 999 SQUARE FEET

NOTE: ADDITIONS OF 100 SQUARE FEET OR L WITH 50% OR LESS GLAZING NEED MEET ONLY APPLICABLE FEATURES OF MANDATORY MEASURES CHECKLIST ON BACK OF THIS FORM.

**CERTIFICATE OF COMPLIANCE FOR ADDITION**

Project Title \_\_\_\_\_ Date 2-16-99  
 Project Address 4511 34TH ST  
 Total Floor Area Addition \_\_\_\_\_ Addition and existing total 480  
 Total Glazing Area Addition \_\_\_\_\_ Glazing removed existing \_\_\_\_\_

**REQUIREMENTS THAT APPLY TO NEW AREA: BUILDING SHELL INSULATION:**

COMPONENT	TYPE (BATT OR BLOWN)	100 SQUARE FEET R VALUE MINIMUM	101 - 999 SQUARE FEET R VALUE MINIMUM
Ceiling	_____	R - 19	R - 19
Wall	_____	R - 13	R - 13
Raised Floor	_____	R - 13	R - 19
Shading	_____	_____	_____
North/South Facing Glazing	0.66 maximum	Enter Shading Device: _____	_____
East/West Facing Glazing	0.40 maximum	Enter Shading Device: _____	_____
Penetration (Glazing)	_____	<b>DOUBLE REQUIRED</b>	_____

U = .75 MAX

Maximum Glazing Area of New Addition 16% (Example: New Glazing (-) Removal of Existing Glazing + Total Area Additional Square Footage)

Thermal Mass: Package D = 20 per cent \_\_\_\_\_ COMPLETE ATTACHED WORKSHEET  
 See Worksheet Package E = 05 per cent \_\_\_\_\_

**NEW HEATING, COOLING OR DOMESTIC WATER HEATING:**

Systems installed in conjunction with addition must comply with the appliance standards applicable to new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition; cannot add electric resistant heat:

HVAC SYSTEMS Type (Furnace, air conditioner, heat pump)	Minimum Efficiency (SE, SEER, HSPF)	Duct Insulation	Output (Btuh)	Manufacturer/Model # (Or approved equal)
_____	78% / 6.8	R - 4.2	_____	_____
_____	10.0 / 9.7	R - 4.2	_____	_____

**HOT WATER SYSTEMS**

System Type (Storage gas, etc)	Type Capacity	Manufacturer/Model # (or approved equal)	Special Features
_____	_____	_____	_____

**COMPLIANCE STATEMENT**

This certificate of compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6, of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features/Remarks section.

Designer or Owner (per Business & Professions Code)

Documentation Author

Name: ARTHUR V. AUSBROOKS

Name: \_\_\_\_\_

Title/Firm: GEN. CONTR

Title/Firm: \_\_\_\_\_

Address: 6048 GRANT AVE  
CA 95824

Address: \_\_\_\_\_

**CITY OF SACRAMENTO**  
**DEPARTMENT OF NEIGHBORHOODS, PLANNING AND DEVELOPMENT SERVICES**  
**BUILDING INSPECTIONS DIVISIONS**  
**RESIDENTIAL PLAN CHECK**

**PLAN CHECK #:** \_\_\_\_\_

**JOB ADDRESS:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

These sheets, when attached to a set of plans, become a part of those plans and must remain attached thereto. The items listed below, when circled, must be complied with as well as items noted on plans. The approval of this plan and specification shall not be held to permit or approve the violation of any city ordinance or State law.

**I. BUILDING CODE REQUIREMENTS**

1. Place 4" of well graded crushed rock under dwelling slab floors (3/8" minimum to 1 1/2 inch maximum).
2. Expansive soils (special foundation requirements). See note on plan. See attached soils report on plan.
3. When required, all bolts, all hold downs and other foundation hardware shall be installed at foundation inspection.
4. All bearing walls supporting a second floor must rest on a continuous footing.
5. Provide 1 square foot of screened opening (1/4" mesh) per 150 sq. ft. of underfloor area.
6. Provide 18" by 24" access to underfloor area. Accessible underfloor clearance shall not be obstructed by pipes, ducts or other construction.
7. Foundation cripple walls must be braced as per bracing requirements of UBC.
8. Stud size, length, and spacing shall conform to UBC.
9. Provide post base and post cap connections.
10. Provide weep screed foundation plate line on all exterior stucco walls.
11. Plywood roof sheathing at overhangs or soffits must be of exterior type.
12. Roof overhang, including gutter, cannot project more than 24" into side yard.
13. Property line walls for zero clearance to be one hour construction.
14. Install materials for one hour construction on garage side of common wall and/or ceiling with dwelling with dwelling. Protect all supportive beams and posts.
15. Door between R-3 (dwelling) and U-1 (garage) to be 1 3/8" solid core, self closing and tight fitting.
16. Stairways shall meet minimum requirements as follows: Maximum rise 8", run (tread) 9", handrail 34" to 38" above nosing, minimum stair width 36" and minimum headroom 6' and 8".
17. Usable storage space under stairways shall be of one hour construction.
18. One openable window in each sleeping room must have a minimum net clear opening width of 20", a minimum net clear height of 24" and a minimum net clear of 5.7 sq. Ft. in that opening. Window sill height shall not exceed 44" above the finished floor.
19. Ventilation for bathrooms, laundry rooms and laundry areas to have 1/20th of floor area in openable window area with a minimum size to 1 1/2 sq. ft. or provide a fan vented to the exterior. Fan to be on a separate switch.
20. Provide attic ventilation. Concealed space between rafter and ceiling joist shall be ventilated unless solidly insulated.
21. Provide truss calculations and layout drawing.
22. Provide an approved 120 volt smoke detector above stairways and at access to bedrooms, on each floor, and in vaulted areas, and in each bedroom.
23. Masonry chimneys shall be fastened at the plate line to the structural framework of the building with 2 1/2" bolts per strap.
24. Chimneys shall terminate with a 14 gauge 3/4" mesh or 12 gauge 1" mesh galvanized spark arrestor 2" above the flue liner.

## II. ELECTRICAL CODE REQUIREMENTS

25. Electrical meters shall have a minimum of 30" wide and 36" deep clear working space in front of equipment. Install UFER ground per NEC requirements. VERIFY THE SERVICE LOCATION WITH SMUD.
26. Service equipment and panel boards shall not be located in closets, lavatories, or under stairways.
27. Electrical receptacles in habitable rooms shall be placed a maximum 12' apart, 6' maximum from any door opening and any wall space wider than 2'. In kitchen and dining area, any counter wider than 12" separated by ranges, ovens, sink, refrigerator etc., shall be provided with a receptacle.
28. Provide two evenly balanced 20 amp small appliance branch circuits for the receptacles in kitchen, pantry, dining and breakfast areas.
29. Provide one 20 amp circuit for dishwasher and disposal.
30. Provide at least one outside weatherproof, 120 volt G.F.C.I. protected receptacle.
31. Provide G.F.C.I. protection to all 120 volt, 15 & 20 amp receptacles installed outdoors, in bathrooms, in garages, in basements, and within 6' horizontally of a kitchen sink.
32. Provide G.F.C.I. protection to hydromassage tubs.
33. Recessed lighting fixtures installed in insulated ceilings must be I.C. rated and thermally protected. Single wall fixtures required to be boxed in.
34. Surface mounted lighting fixtures in closets must be a minimum of 12" from storage areas. Flush mounted fixtures must be a minimum of 6" away.

## III. PLUMBING/MECHANICAL CODE REQUIREMENTS

35. All heating and cooling units creating a glow or flame installed in a garage must be raised on a stand so the glow or flame is minimum of 18" above the floor. Provide a protective barrier, 3" or larger steel pipe 30" high, concrete filled for hot water heater units and heating units in garage in line with car storage.
36. Water heaters having non-rigid water connections and over 4' in height shall be anchored or strapped.
37. Access doors to enclosed water heaters shall be a minimum of 24" wide.
38. No mechanical equipment shall be located in the side yard setback area which will not meet the minimum noise ordinance requirements (55 dcb's 1' inside adjacent properties at 3' to 5' above ground).
39. Furnace and water heater installations must comply with UMC and UPC requirements.
40. Fireplace gas valves must be located outside of the required hearth area but not more than 48".
41. All hose bibs must have an approved anti-siphon device.
42. Dryer vent 14' total length.
43. Provide 2 X 6 minimum wall construction where 3" ABS pipe is installed. Comply with requirements of UBC for notching requirements.

Note: Electrical, plumbing and mechanical work is not thoroughly checked on plan check review and will be subject to field inspection.

REV: February 1998

## PERSONAL SAFETY BUILDING CODE

October 21, 1984

### MEMORANDUM

SUBJECT: Personal Safety Building Code

As of the date of this memo, all new dwellings, half-plexes, and duplexes must comply with the personal safety building code, to wit:

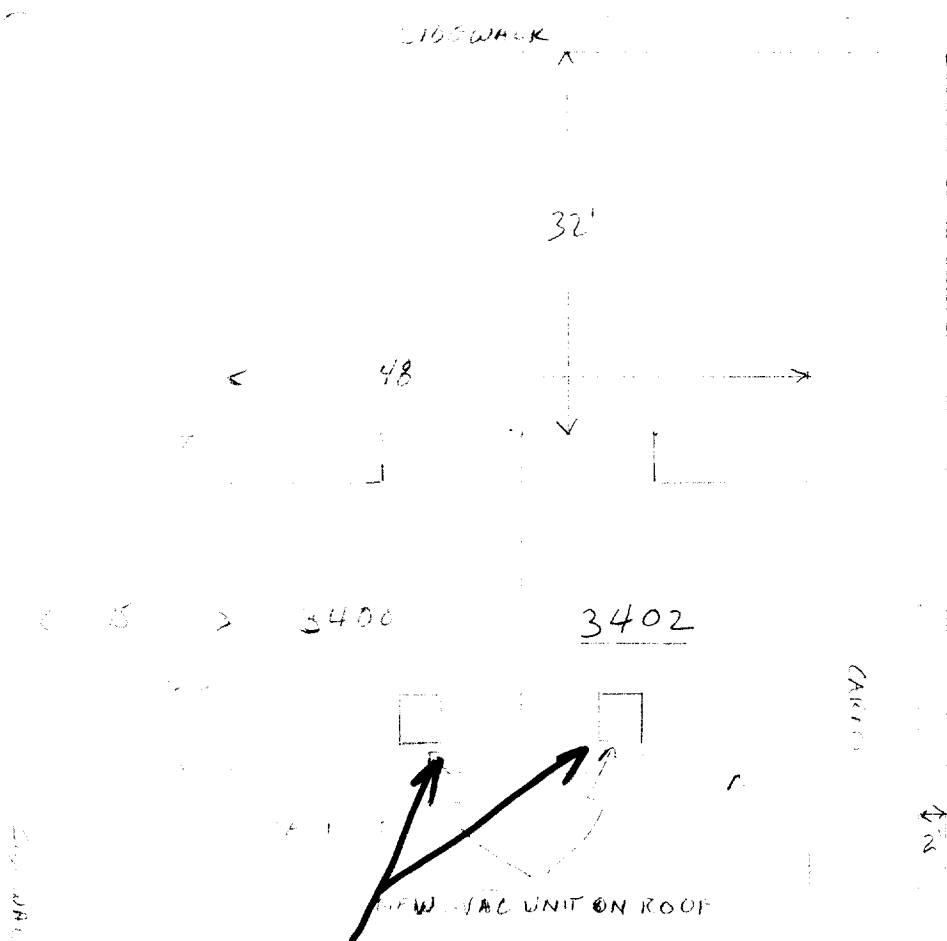
1. All building numbers and street addresses shall be clearly visible from all public or private access streets. The streets and building numbers shall be no less than four inches in height and of a contrasting color to their background.
2. All entry doors shall be of the solid core type and be equipped with a single cylinder deadbolt lock meeting the following minimum standards:
  - a) The bolt shall have a throw of at least one inch and be constructed so as to repel cutting tool attack.
  - b) The cylinder of the deadbolt shall be equipped with a guard designed to repel attack by prying or wrenching.
  - c) The deadbolt shall be of the pin tumbler type with a minimum of five pins for a maximum of two entry doors only. Additional entry doors may be fitted with keyless deadbolts.
  - d) Double cylinder deadbolt locks may be used only in accordance with the Uniform Fire Code.
3. Each exterior door hinge shall be secured with a minimum of two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the frame to which the hinge is attached.
4. The strike plates designed to receive the deadbolt locks shall be constructed of a minimum 16 U.A. gauge steel, bronze or brass and shall be secured to a wood jamb with not less than two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached. Strike plates attached to metal jambs shall be secured with a minimum of four (4) number eight machine screws.
5. Sliding door and window assemblies shall be so designed that the door or window cannot be lifted from the track when the door or window is in the closed position.
6. Sliding door assemblies shall have an auxiliary locking device permanently mounted on the interior and which is not accessible from the exterior.
7. All primary egress doors shall be so equipped as to provide the occupant with a clear view of that area immediately outside the door. This view may be provided by a one-way door viewer designed to provide a 180° field of view. Such viewer shall not be mounted in excess of 54 inches from the interior floor.

An additional requirement of this ordinance is that all above items are retroactive for all non-owner occupied living units (dwellings, half-plexes, duplexes, etc.) and must comply by June 1, 1985.

Ord. #84-056, Eff. 10-21-84  
Add to Chap. 9, Art. XXIII

570 ATE

LIDSWACK

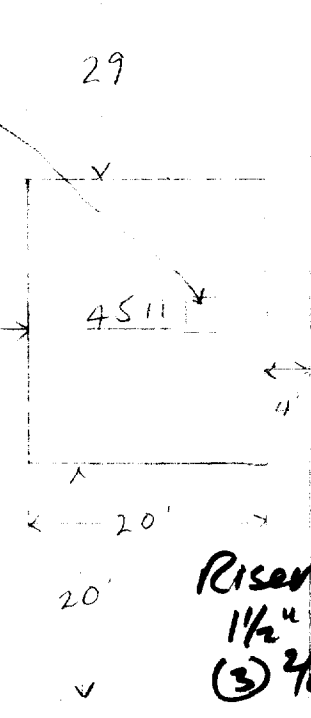


Mains REQ'd. at  
each panel —  
Provide ground at  
2nd Bldg.

ISSUED

JAN 12 1999

DEVELOPMENT DIVISION



If established water grid —  
use additional grid Rod —  
If not use Ufer ground &  
bond to interior water &  
gas piping

Riser min  
1 1/2"  
(3) 2/0 cu 75°C

1-28-99 DM

110"