

P95-099 - Century Chapel CME Church Expansion

REQUEST:

- A. Negative Declaration
- B. Lot Line Adjustment to re-allocate property lines allowing expansion of an existing church and parking lot on 1.27± partially developed acres in the Standard Single Family Executive Airport Overlay EA4 (R-1,EA4) zone.
- C. Special Permit Modification to expand the existing Century Chapel CME church to approximately 11,000± square feet by: increasing the existing 3,400 square foot church to 5,640± square feet (288 seats); demolishing the existing Fellowship Hall and replacing it with construction of a new Community Center consisting of approximately 3,900± square feet (attached to church building); and construction of required parking for the church and associated uses, on 1.27± partially developed acres in the Standard Single-Family Residential Executive Airport Overlay EA4 (R-1,EA4) zone.

LOCATION:

2801 29th Avenue
APN: #019-0191-039; -042
Land Park Community Plan Area
Sacramento Unified School District
Council District 5

APPLICANT:	Shelly N. Bailey 330 U Street #1, Sacramento, CA 95818 (916) 444-3137
OWNER:	Century Chapel Christian Methodist Episcopal Church P.O. Box 20464 Sacramento, CA 95820 (916) 393-8828
PLANS BY :	Shelly N. Bailey
APPLICATION FILED:	10/6/95 APPLICATION COMPLETE: 1/10/96
STAFF CONTACT:	Colleen Carollo, 264-5691

SUMMARY:

The applicant is requesting a Lot Line Adjustment for re-allocation of property lines and a Special Permit Modification to allow for expansion of the existing Century CME Chapel Church at 2801 29th Avenue. The church currently consists of two one-story structures and a 35-space parking lot (a 3,400 square foot church containing 160 seats and a fellowship hall). The church is currently operating at this location and utilizing the fellowship hall for ancillary uses. The applicant is proposing expansion of the existing church to accommodate 288 seats and the demolition of an existing fellowship hall for construction of a new multi-purpose community center (attached to the church building) for Bible study, monthly organization meetings, church youth programs, and senior citizen programs. The applicant is also proposing expansion of the parking lot area to accommodate the required 72 parking spaces. In the future, the applicant may also provide a Head Start and Latch Key programs. These types of programs would require additional review and approval by Planning Commission. Because these programs are not certain, they are not included in the current project proposal.

RECOMMENDATION:

Staff recommends approval of the Lot Line Adjustment and Special Permit Modification, subject to compliance with the conditions included in the attached Resolutions. This recommendation is based upon the proposal's consistencies with the City's adopted plans and policies. This use is consistent with the General Plan land use designation of Low Density Residential. The proposed expansion allows for better services (seating/parking) on the site being provided to the community (members of the facility and adjacent property owners).

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
Existing Land Use of Site:	Church & vacant
Existing Zoning of Site:	Standard Single Family Residential (R-1)
Surrounding Land Use and Zoning:	
North:	Single Family Residential (R-1)
South:	Single Family Residential (R-1, EA4)
East:	Single Family Residential (R-1)
West:	Single Family Residential (R-1, EA4)
Existing Setbacks:	<u>Required</u> <u>Provided from Buildings (Expansions)</u>
Front:	25' Minimum 25' ±
Street Side:	12.5' 12.5'
Interior Side:	5' 12.5' ±
Rear:	15' 50' ±
Property Dimensions:	Irregular
Property Area:	1.27 ± partially developed acres
Square Footage of Entire Building:	11,000 ± s.f.

Height of Buildings:	one-story
Exterior Building Materials:	Stucco
Roof Material:	Composition Shingle
Seats Provided:	288
Parking Provided:	72 spaces
Parking Required:	72 (1 per 4 seats)
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit/Approval</u>	<u>Agency</u>
Building Permits (for parking lot)	Building Division
Sign Permit(any additional signs)	Building Division
Traffic Engineer's Variance to City Code Sec 38.13.163(i)	Dept. of Public Works

BACKGROUND: In December, 1970, a Special Permit to construct a new sanctuary and off-street parking lot (P4452) was approved at the project site for the Bircher Chapel Christian Methodist Episcopal Church. At this time, the City Zoning Ordinance did not require a solid masonry wall separating the church use from the adjacent residential property. With the current request to re-allocate property lines for expansion of the church and parking lot, a solid masonry wall is required along the property lines abutting the residential parcels.

The applicant is currently requesting entitlements to allow expansion of the church at this location. This development consists of: an increase to the existing church for a total of 288 seats (5,640± square feet); demolition of the existing fellowship hall and replacement with an attached multi-purpose community center (3,900 square feet) for ancillary programs such as monthly meetings, youth programs, Bible study, and senior citizen programs; and a lot line adjustment for expansion and reconfiguration of the existing parking lot to include a total of 72 parking spaces. The church offers a range of activities from Sunday worship services, Bible studies, new membership classes, monthly meetings for the Sacramento Valley Organizing Community (SVOC) and the National Association for the Advancement of Colored People (NAACP); youth programs, and senior citizen programs. The hours of worship services are proposed to be: Sundays between 8:00 a.m. and 8:00 p.m. (approximately). Youth and senior citizen programs are proposed to be held Monday's through Friday's. Bible study sessions are proposed for Wednesday evenings from 6:00 p.m. to 7:30 p.m. Monthly organization meetings are proposed for Tuesday and Thursday evenings from approximately 5:30 p.m. to 8:30 p.m. Use of the multi-purpose community center (ancillary activities) will not occur during the same times as the use of the church sanctuary. The expanded church and multi-purpose community center are proposed to include: a sanctuary with 288 seats, a sound and

choir room, offices, studies, classrooms, a nursery, restrooms, reception area, hall, library, pantry, and kitchen. The main entrance is proposed to be relocated from the side of the building adjacent to 29th Avenue to the rear of the building (at the off-street parking lot).

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The Sacramento General Plan designates the project site for Low Density Residential (4-15 du/na) development. The current proposal is consistent with the General Plan Land Use designation of Low Density Residential. The proposed use is allowed in the Standard Single Family Residential (R-1) zone with a Special Permit.

B. Site Plan Design/Zoning Requirements

1. Zoning

The site is currently zoned Standard Single-Family Residential Executive Airport Overlay Zone EA4 (R-1, EA4)). The EA designation appearing after a land use classification on the official zoning map indicates that the property so classified is subject to the requirements and restrictions set forth in Section 30 of the Zoning Ordinance, in addition to those of the underlying zone. The EA4 overlay zone includes properties that are located within the Overflight Zone or OZ-4 of the 1982 Executive Airport CLUP. This area generally encircles the airport and is the least restrictive overlay zone. Churches, schools, and child care facilities are allowed in this zone with the exception of two-story structures or structures over 30 feet in height. The existing and proposed structures are within the requirements allowing the uses at this location. Therefore, staff recommends approval of the Lot Line Adjustment and Special Permit Modification.

2. Setbacks/Walls

The project site is located in the Standard Single Family Residential (R-1) zone. It is surrounded by single-family residences and vacant land on the north, south, east, and west sides. The City Zoning Ordinance setback requirements for the Standard Single Family Residential zone consist of a 25-foot front setback; a 5-foot interior side setback; a 15-foot rear setback; and a 12.5-foot street-side setback. The current proposal complies with the setback requirements for this zone.

The City Zoning Ordinance requires a solid 6-foot masonry wall along property lines for non-residential uses which abut single family residential

uses. The previous project (P4452) was approved prior to this Zoning Ordinance requirement. The current request is required to comply with the Zoning Ordinance. Preliminary wall designs were reviewed by Planning Staff. Comments pertaining to wall modifications and revisions were given to the applicant. Therefore, the project has been conditioned for review of final wall designs by Planning Staff prior to issuance of any building permits.

Although no activities other than parking are proposed for the rear parking areas, in order to avoid any potential disturbances to adjacent residential properties, conditions of approval have also been placed on the church hours of operation. Subject to the conditions included on the attached Resolution, Staff is satisfied that the operation of the church at this location will not be a nuisance to the adjacent residential uses and therefore recommends approval of the Lot Line Adjustment and Special Permit Modification.

3. Parking/Landscaping

The Zoning Ordinance requires that churches provide one parking space for every four seats. Based upon the current project proposal of 288 seats, a total of 72 off-street parking spaces are required. The current proposal includes 72 parking spaces (legal-City Standard Dimensions). Although the current proposal includes activities for both the church sanctuary and the multi-purpose community center, these two portions of the expanded building are not proposed for use simultaneously. The church sanctuary portion will be used on Sundays, while the multi-purpose community center portion will be used during the remaining days of the week.

The City Zoning Ordinance requires a landscaped planter area for all parking areas adjacent to the property lines abutting public streets, as well as a 50 percent shading requirement within 15 years of establishment of the parking lot. The current proposal is required to comply with the landscaping and shading requirements of the City Zoning Ordinance. The project has been conditioned to reflect these requirements (Attachment D - Special Permit Modification Resolution). Based upon conditions, Staff believes that adequate parking (including landscaping and shading) will be provided for the project and, therefore, recommends approval of the Special Permit Modification.

4. Signage

The City Sign Ordinance allows one identification sign and one bulletin board for each developed parcel, not exceeding a total of 16 square feet in area for all displays. Because the project site is located on a corner parcel (two street frontages), the project is allowed 32 square feet of signage. The current application does not include a request for signage. Any future

signage proposals for the church are required to either comply with the Sign Ordinance and obtain sign permits or apply for a Variance from these signage requirements. A Variance would be subject to additional approvals.

C. Building Design

The current proposal includes an expansion of the existing church building to accommodate 288 seats and the demolition of the existing one-story fellowship hall for reconstruction of an attached multi-purpose community center. Construction materials include stucco and composition shingle.

City Staff has reviewed the proposed plans for expansion, met with the applicant, and made recommendations for modifications. These modifications related to better continuity of the addition with the existing design of the church facility and have been incorporated into the revised plans submitted by the applicant.

In order to ensure compatibility of the required 6-foot masonry wall with the existing and proposed church expansion, the project has been conditioned for review and approval by Planning Staff prior to issuance of any Building Permits.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact on the environment; therefore, a Negative Declaration has been prepared. The project is located adjacent to single-family residential uses. Although there is potential for noise impacts to the residential properties, the project is required to construct a concrete wall separating the site from the residences. Because the applicant is not proposing any outdoor activities in these areas, these walls are anticipated to reduce potential noise impacts to adjacent residences to a less-than-significant level.

B. Public/Neighborhood/Business Association Comments

The project was routed to the following neighborhood associations: the Rosa Del Rio Homeowner's Association; the Hollywood Park Neighborhood Association; and the Sierra Curtis Neighborhood Association. Legal notice of the project was also sent to all owners of property within a 500 foot radius of the project site. As of the date of this report, only verbal comments (phone calls) have been received.

Phone calls were received from a few adjacent property owners expressing concerns regarding parking for the church expansion and the historic parking of

vehicles along the streets (in front of adjacent residences) instead of the rear parking lot. A neighbor indicated that this has occurred due to the church front entrance being located on 29th Avenue. Users of the facility park on the street (adjacent to the entrance) rather than in the lot at the rear of the building.

Staff explained to the neighbors that the current project proposal includes movement of the entrance off of 29th Avenue to the rear of the building (at the existing/expanded off-street parking lot). With relocation of the church entrance, it is anticipated that the off-street parking lot will be more convenient for use by those entering the building. The current proposal also provides parking at the updated church parking ratio of one parking space for every four seats. The previous approval for the church only provided parking at a ratio of one parking space for every five seats. Based upon the relocation of the main entrance to the facility and the additional parking spaces provided, staff believes that adequate parking will be provided thereby eliminating the potential for excessive on-street parking within the adjacent residential neighborhood. Since the original neighbor inquiries, no additional calls of concern have been received.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The following section summarizes the comments received:

1. **Building Inspections/Fire Department**

Comments received from the Building Division and the Fire Department related to compliance with the Uniform Building Code and the Uniform Fire Code for the expansion in use. Most of the site design issues have been reflected in the revised project site plan. Other comments have been addressed as conditions of project approval (Attachments C & D - Resolutions)

2. **Police Department**

Comments received from the Police Department related to hours of services and uses, parking lot lighting and landscaping for adequate visibility, graffiti abatement plans, and provision of on-site security for any activities held by non-church groups. Conditions have been included in the attached Resolution restricting hours of any services/activities on to conclude by 10:00 p.m. (Attachment D - Resolution).

3. **Dept. of Utilities/Dept. of Public Works(Traffic Division)**

Comments received from the Department of Utilities and Public Works related to grading, drainage, and lot line adjustment requirements. These

comments have been included in the conditions of approval of the Lot Line Adjustment (Attachment C - Resolution).

Comments received from the Traffic Division related primarily to site access, circulation, and parking requirements. The project site plan has been revised to incorporate many of the comments. The remaining comments have been included as conditions of approval of the Special Permit Modification (Attachment D - Resolution).

PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny the project entitlements. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION:

Staff recommends the Planning Commission take the following action:

- A. Ratify the Negative Declaration
- B. Adopt the attached Resolution approving the Lot Line Adjustment to re-allocate property lines allowing expansion of an existing church and parking lot on 1.27 \pm partially developed acres in the Standard Single Family Executive Airport Overlay EA4 (R-1,EA4) zone.
- C. Adopt the attached Resolution approving the Special Permit Modification to expand the existing Century Chapel CME church to approximately 11,000 \pm square feet by: increasing the existing 3,400 square foot church to 5,640 \pm square feet (288 seats); demolishing the existing Fellowship Hall and replacing it with construction of a new Community Center consisting of approximately 3,900 \pm square feet (attached to the church building); and construction of required parking for the church and associated uses, on 1.27 \pm partially developed acres in the Standard Single Family Residential Executive Airport Overlay EA4 (R-1, EA4) zone.

Report Prepared By,

Report Reviewed By,



Colleen Carollo
Associate Planner



Barbara L. Wendt
Senior Planner

Attachments

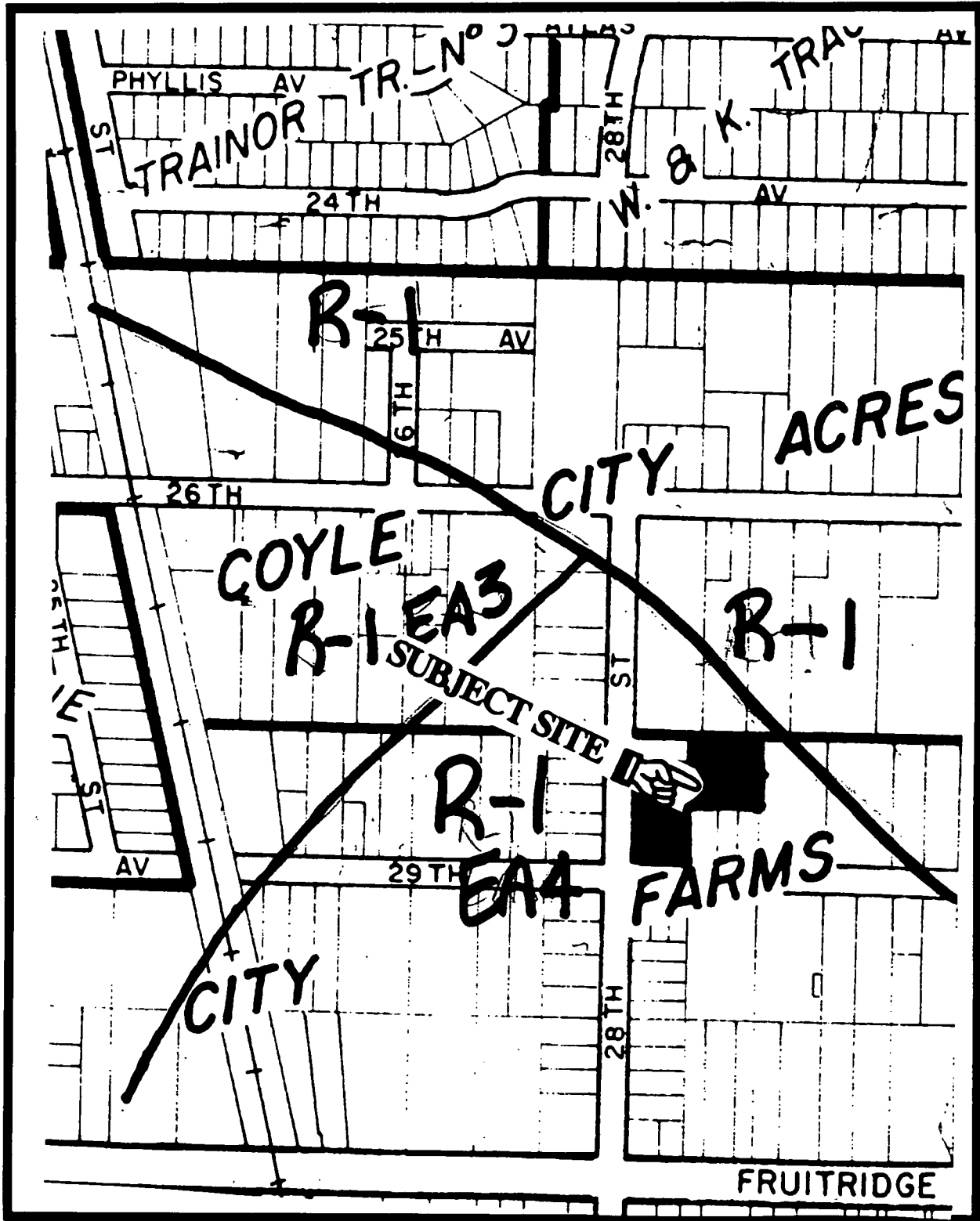
Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Resolution Adopting Lot Line Adjustment
Exhibit C-1	Lot Line Adjustment
Attachment D	Resolution Adopting Special Permit Modification
Exhibit D-1	Site Plan
Exhibit D-2	Landscape Plan
Exhibit D-3	North & South Elevations
Exhibit D-4	East & West Elevations
Exhibit D-5	Floorplan

ATTACHMENT A

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VICINITY MAP



ATTACHMENT B

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MARCH 14, 1996

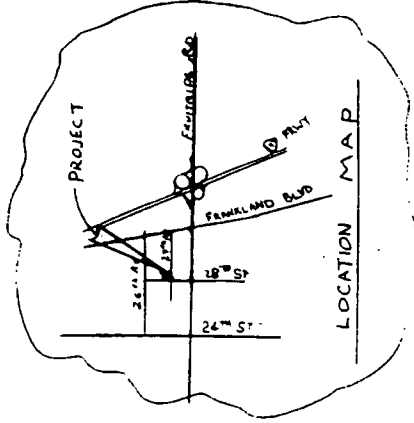
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LAND USE AND ZONING MAP



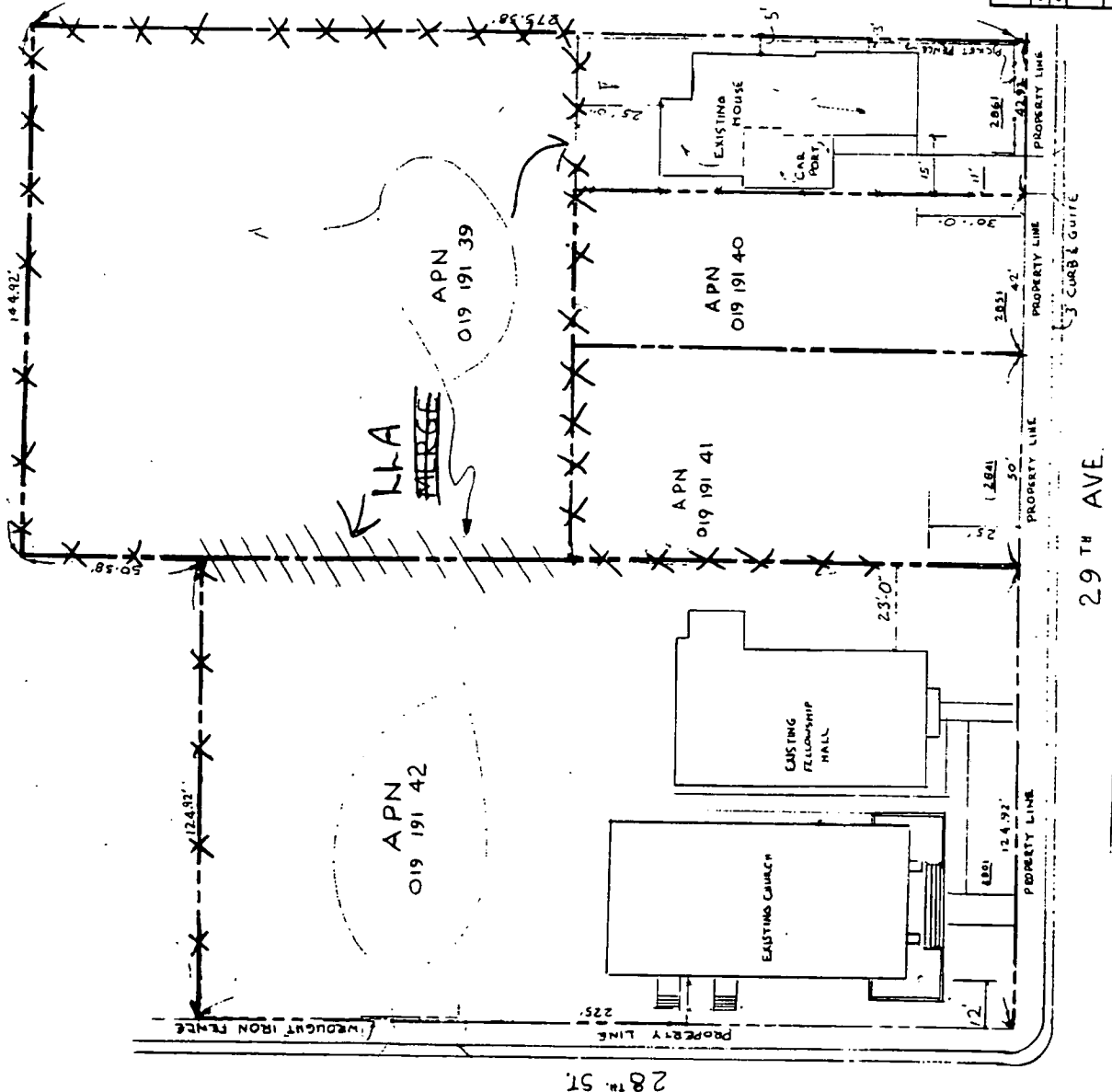
EXHIBIT C-1
LOT LINE ADJUSTMENT



--X--X to Concrete Wall to be const.



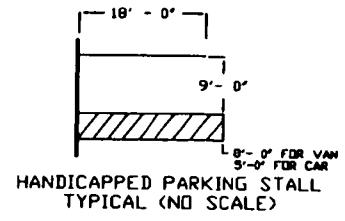
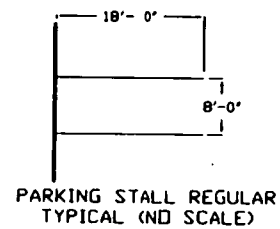
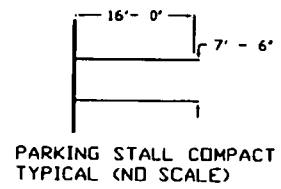
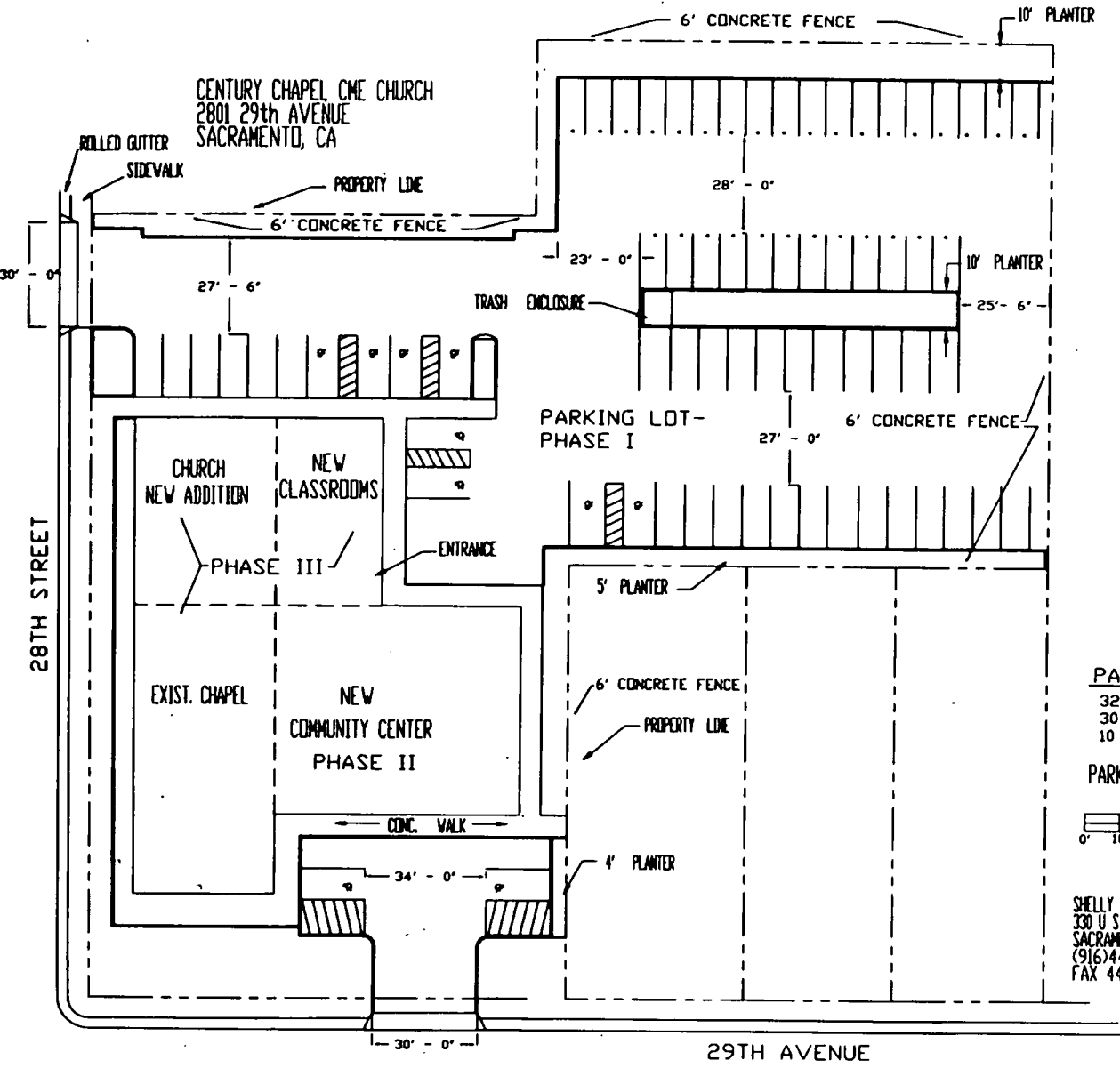
CENTURY CHAPEL CME CHURCH	
SCALE: 1" = 20'	APPROVED BY: SHELLY N BAILEY
DATE: SEP 29 1995	DATE: SEP 29 1995
MERGER: PARCELS: APN 019 191 42 WITH 39	
EXISTING SITE PLAN	



28th St

29th Ave

EXHIBIT D-1
SITE PLAN



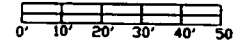
- PARKING STALLS**
- 32 REGULAR
 - 30 COMPACT
 - 10 HANDICAPPED (8 AUTO, 2 VAN)



SHELLY N. BAILEY P.E.
330 U STREET, NO. 1
SACRAMENTO, CA 95818
(916)444/3137
FAX 444/0546

EXHIBIT D-2
LANDSCAPE PLAN

LANDSCAPE PLAN
SCALE 1" = 20'

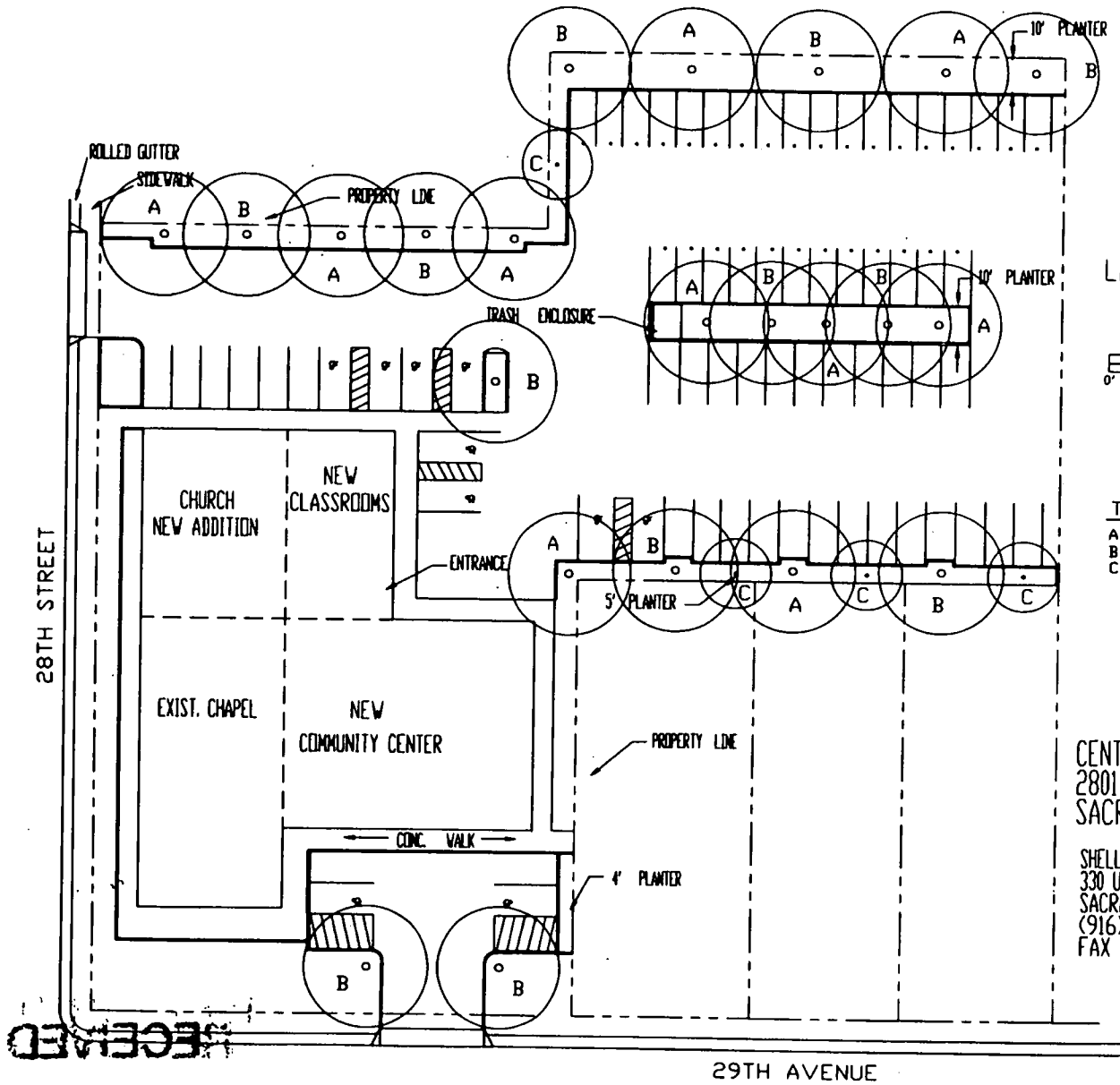


TREE TYPES

- A - VALLEY DAK (QUERCUS LOBATA)
- B - CAMPHOR TREE (CANNONUM CAMPERIA)
- C - CRAPE MYRTLE (LAGERSTREEMIA INDICA)

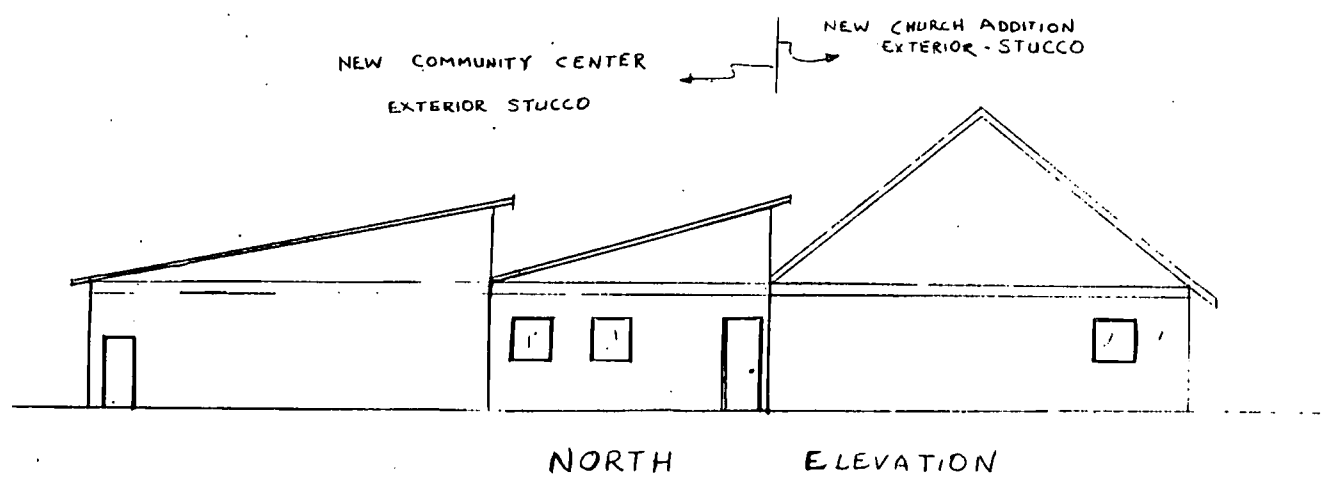
CENTURY CHAPEL CME CHURCH
2801 29th AVENUE
SACRAMENTO, CA

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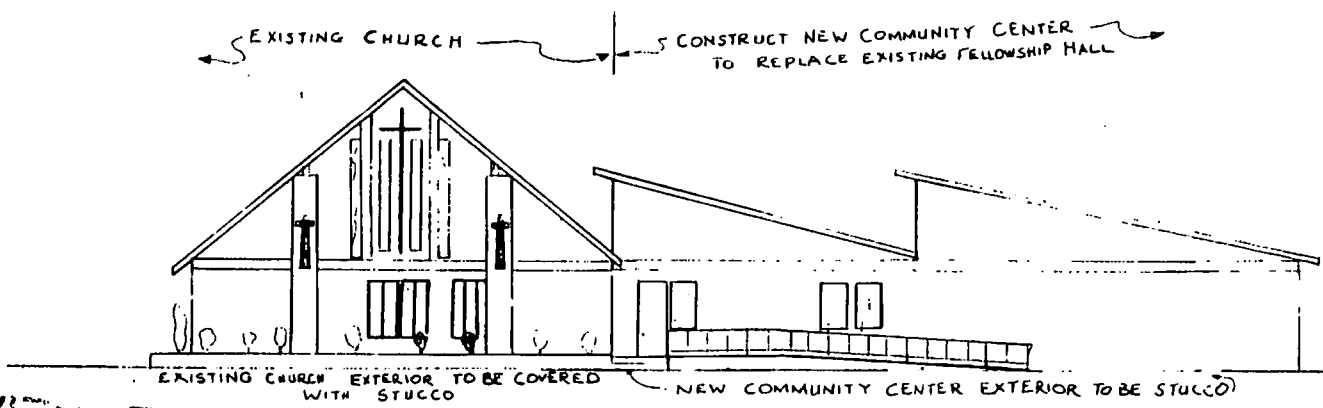


RECEIVED

EXHIBIT D-3
NORTH AND SOUTH ELEVATIONS



NORTH ELEVATION



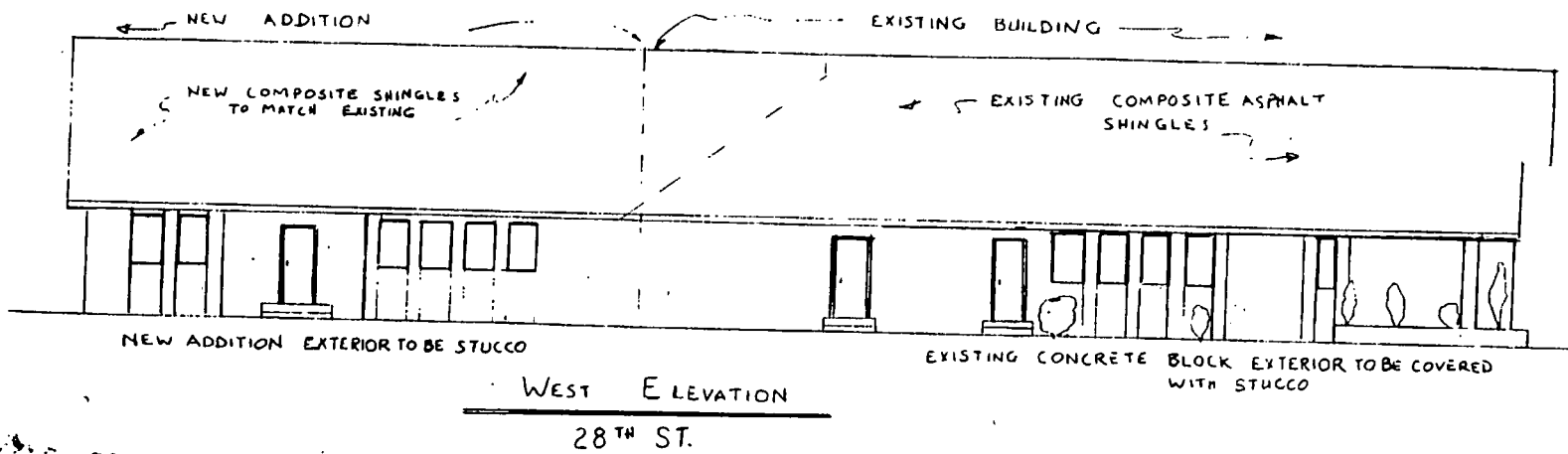
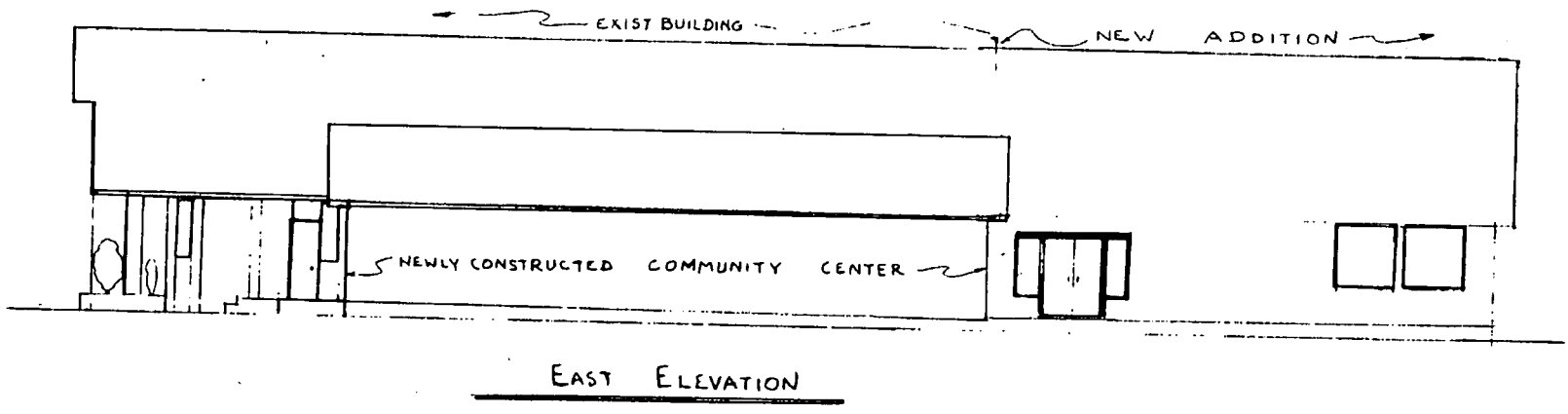
SOUTH ELEVATION
29TH AVE.

VIEW A
 SECTION
 1/8" = 1'-0"



CENTURY CHAPEL CME CHURCH		
SCALE: 1/8" = 1'	APPROVED BY:	DRAWN BY: S.N.B.
DATE: SEP 1995	SHELLY N. BAILEY P.E., N.C.	REVIEWED:
ELEVATIONS		
DRAWING NUMBER		5

EXHIBIT D-4
EAST AND WEST ELEVATIONS



[Handwritten notes and signatures]



CENTURY CHAPEL CME CHURCH		
SCALE: 3/8" = 1'	APPROVED BY: SHELLY N. BAILEY	DRAWN BY: S.N.B.
DATE: SEP. 1995	REVIEWED:	
ELEVATIONS		
DRAWING NUMBER		4

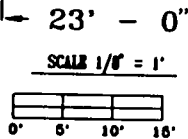
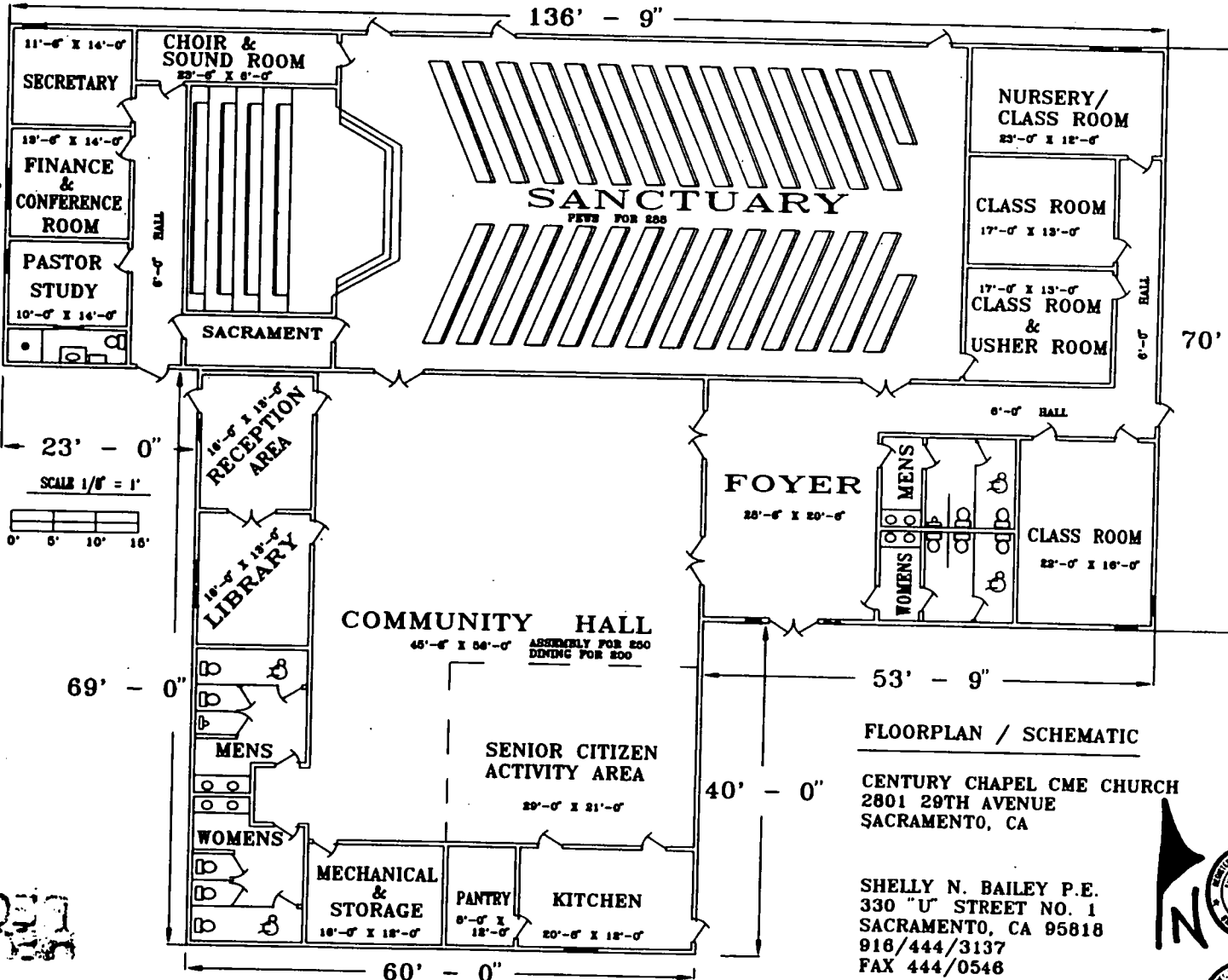
28 TH STREET

136' - 9"

41' - 0"

70' - 0"

29 TH AVENUE



FLOORPLAN / SCHEMATIC

CENTURY CHAPEL CME CHURCH
2801 29TH AVENUE
SACRAMENTO, CA

SHELLY N. BAILEY P.E.
330 "U" STREET NO. 1
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FLOORPLAN
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