

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Pacific General Group, Inc. - 3750 Auburn Blvd., Suite D, Sacramento 95821		
OWNER	United Citizens Mortgage Company - 700 Market Street, San Francisco 94102		
PLANS BY	Rodolfo Espinoza AIA - 2805 El Camino Avenue, Suite B, Sacramento 95821		
FILING DATE	3-11-83	50 DAY CPC ACTION DATE	REPORT BY: JM:sg
NEGATIVE DEC.	4-4-83	EIR	ASSESSOR'S PCL. NO. 225-170-21

- APPLICATION:
1. Negative Declaration
 2. Rezone 27± vacant acres from Garden Apartment-Review (R-2A-R) to Garden Apartment (R-2B)
 3. Special Permit to modify P82-228 in order to develop 520 apartment units

LOCATION: North side of San Juan Road opposite Bandon Way

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1978 South Natomas Community Plan Designation:	Res. 4-21 dwelling units/acre - 12 units average minimum
Existing Zoning of Site:	R-2A-R
Existing Land Use of Site:	Vacant
Surrounding Land Use and Zoning:	
North: I-880; TC	
South: Vacant; R-1	
East: Vacant; R-1	
West: I-880, pumpstation; TC	
Parking Required:	520
Parking Provided:	780
Ratio Required:	1.5 spaces per unit
Ratio Provided:	1.5 spaces per unit
Property Dimensions:	Irregular
Property Area:	27± acres
Density of Development:	19.3 units per acre
Square Footage of Building(s):	600, 760, and 858 sq. ft.
Height of Structure(s)	26± feet
Significant Features of Site:	Located within safety area 3 of Natomas Airport
Topography:	Flat
Street Improvements:	To be provided
Utilities:	To be provided
Exterior Building Colors:	Earthtones
Exterior Building Materials:	Wood siding with wood trim

Background Information: On June 10, 1980 the Council approved the necessary entitlements for the development of a 425 unit condominium project known as Smoketree on the subject site (P-8999).

APPLC. NO. P83-083

MEETING DATE April 14, 1983

CPC ITEM NO. 11

000947

The project incorporated a mixture of seven unit types, both condominium and townhouse, within six building types. The square footages of the units ranged from 576 square feet to 1,020 square feet. Carports were designed as an integral part of the units. Exterior elevations varied substantially due to the unit and cluster types. Exterior materials consisted of stucco and horizontal siding.

Ownership of the subject site transferred to the current applicant who, on October 28, 1982, received approval of a special permit to modify the building and site design of the original project of 425 condominium units (P82-228). This project incorporated only two building types and two unit types which consist of 702 and 934 square feet. However, individual fireplaces were added as well as expanded recreational facilities. Exterior elevations were somewhat limited by the cluster types but the chimneys and other changes provided some design relief. All the exterior elevations were to be vertical wood siding.

The current request for 525 apartment units proposes three building cluster types with a mix of three unit types. These units consist of 600, 760, and 852 square feet. The exterior elevations are less interesting due to the elimination of fireplaces and other modifications. The exterior elevations are proposed to be vertical wood siding with wood trim as in the last proposal.

Staff Evaluation: Staff has the following comments regarding this proposal:

1. The South Natomas Community Plan designates this site as residential 4-21 dwelling units per acre with a minimum average of 12 units per acre. The proposed density, at 19.3 units per acre, is within the permissible limits of the Community Plan designation. Therefore, staff has no objection to the requested rezoning to Garden Apartment R-2B. However, to insure design consistency staff recommends the rezoning include a review overlay designation.
2. The applicant has recorded a subdivision map for 425 condominium units on the subject site. In order to develop the proposed 520 apartment units it is necessary that the applicant file for a land division entitlement known as a reversion to acreage. It is preferred that the request for this entitlement be initiated prior to issuance of building permits.
3. The subject site is located within safety area 3, due east of the southerly approach zone to Natomas Airport.

The proposed project does not appear to be inconsistent with existing ALUC policy. It should be noted that uses which attract large concentration of people (e.g. schools, stadiums) are discouraged within this area.

4. Staff finds the proposed apartment buildings deficient in design relief. The utilization of only vertical wood siding is too limiting given the large number of units and buildings.

Staff recommends that the applicant incorporate additional design modification on the exterior elevations. These modifications should include the utilization of stucco or similar materials as well as additional windows or alternative treatments. The representative of Pacific General has indicated a willingness to make these modifications.

5. To insure consistency and adherence to energy conservation staff requests that the applicant submit a detailed irrigation and landscape plan subject to staff review and approval prior to the issuance of building permits. The plans shall adhere to the landscaping and open space criteria in exhibit A..
6. The applicant proposes to utilize a combination of a wall and berming for sound attenuation along I-880. Staff has no objection to this concept providing the berms are landscaped and the wall is constructed of a masonry type material. Also, the wall should be constructed prior to issuance of occupancy permits and should be noted on the building permit plans.
7. Relative to building design and off-street parking, the applicant should adhere to the multiple family residential design criteria indicated in exhibit A.
8. The revised site plan does not show the location of trash enclosures. Staff requests that the applicant submit a detailed site plan subject to staff review and approval indicating location and design of trash enclosures prior to the issuance of building permits. The design of trash enclosures shall adhere to the trash enclosure criteria in exhibit A.
9. In accordance with the South Natomas Community Plan, the use of bicycles should be encouraged by the provision of bicycle storage facilities. Staff suggests bicycle storage facilities be integrated with the design of trash enclosure units.

Staff Recommendation: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Rezoning request from Garden Apartment-Review (R-2A-R) to Garden Apartment-Review (R-2B-R);
3. Approval of the Special Permit subject to conditions and based upon findings of fact which follow:

Special Permit - Conditions

- a. The applicant shall apply for a "reversion to acreage" map request prior to issuance of building permits. This reversion shall be completed prior to issuance of occupancy permits.
- b. Revised elevations shall be submitted to staff for review and approval prior to issuance of building permits. These revised elevations shall incorporate the use of stucco or a similar type material on the exterior of at least 25% of the units or building structures. In addition, other modifications may be required so as to visually enhance the exterior elevations.
- c. Applicant shall provide for a bus shelter and pad on the north side of San Juan Road approximately 550 feet east of Azevedo Drive.
- d. Applicant shall prepare a sound study in order to determine the height of the berm masonry wall that is necessary to satisfy requirements of the City Noise Element and Noise Ordinance along I-880. The wall/berm

shall be installed prior to issuance of occupancy permits. The sound study shall also investigate the noise impacts from the City pump station on the adjacent parcel to the west. The recommendations of the sound study for the pump station shall be satisfied prior to issuance of building permits.

- e. The two pools indicated on the site plan shall be heated by solar energy only.
- f. The applicant shall submit a detailed landscaping and irrigation plan for review and approval of the planning staff prior to the issuance of a building permit. The plan shall include elements that are indicated in exhibit A design criteria.
- g. The applicant shall comply with the provisions of the multiple family design criteria in the development of this project (see exhibit A).
- h. The project shall not be occupied until an inspection of the project has been made by the Planning Department to see that all conditions of the special permit have been complied with.
- i. The applicant shall install a decorative masonry wall adjacent to the freeway as required by the sound study. A detailed wall design shall be reviewed and approved by staff prior to issuance of building permits.
- j. The applicant shall redesign the private loop street to a width of 36 feet curb to curb.
- k. The applicant shall submit detailed plans of trash enclosures and bicycle storage facilities for review and approval of the planning staff prior to issuance of a building permit.

Findings of Fact - Special Permit

- a. The project as conditioned is based on sound principles of land use in that:
 - 1. adequate shaded on-site parking is provided;
 - 2. extensive landscaping is provided for shading and buffering purposes;
 - 3. the project is compatible with surrounding (proposed and existing) land uses that consist of single and multiple family residential.
- b. The project as conditioned will not be injurious to surrounding properties in that it will not significantly alter the characteristics of the area which consist of residential uses and vacant land designated for residential uses;

- c. The project as conditioned is consistent with the 1978 South Natomas Community Plan which designates the site for residential uses to a maximum of 21 dwelling units per acre;
- d. The project as conditioned is consistent with the 1974 General Plan which encourages a variety of housing types.

add:

Dr. W. R. J. Lee

(7) DR/P Board

(M) Ex (4) childrens COO.

MULTIPLE FAMILY RESIDENTIAL DESIGN CRITERIA

A. BUILDING DESIGN AND ORIENTATION:

1. The monotony of straight building lines of attached units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
2. Structures shall be clustered to create a sense of community, particularly within larger projects.
3. Buildings shall be designed and oriented to reduce overview of private areas and windows from second story units.
4. Buildings and carports should be set back a minimum of 15 feet from all interior side and rear lot lines.
5. Accessory structures shall be compatible in design and materials with main buildings.
6. Communal facilities shall be centrally located.
7. Recreational facilities shall be located and/or designed so as not to impact adjacent properties.
8. Solar heating and cooling of units should be considered.
9. Site planning shall take into account optimum solar orientation of structures.
10. Site planning shall minimize the incidences of one building shading another.
11. Private garden areas shall be oriented to the south as much as possible.
12. The location of second story end unit windows shall be varied from the typical plan when appropriate to reduce the incidence of overview into private first floor open space and parking areas, and to provide variety in exterior unit detailing.
13. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
14. Roofing materials shall be medium wood shake or equivalent aluminum, concrete, or other imitation shakes or tile, subject to Planning Director approval.

B. OFF-STREET PARKING:

1. Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly).

2. For the convenience of tenants and guests, and to encourage the use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.
3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Parking shall be screened from second story units by trees or lattice work.
6. Tenant spaces shall be sheltered (with garage or carport).
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. Within all parking areas, compliance with the City's 50% shading requirement shall be attained.
11. To visually break up the long rows of parking, a landscaped planter with evergreen trees and a minimum width of five feet shall also be located approximately after every tenth parking stall.
12. In PUD projects parking stall depth shall be reduced by two feet.
 - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
 - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
13. The more efficient 90 degree parking arrangement shall be utilized when possible so as to minimize parking lot size.
14. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

C. ON-SITE CIRCULATION:

1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface texture.

D. BICYCLE STORAGE:

Secure bicycle parking shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE:

1. Landscape materials selected shall be:
 - a. Compatible with one another and with existing material on the adjacent site.
 - b. Complementary to building design and architectural theme.
 - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
 - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc. may result in erosion or other problems.
 - b. Larger specimens of shrubs and trees along the site periphery.
 - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.

- d. Consistency with energy conservation efforts.
 - e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
 - f. Undulating landscaped berms located along street frontages and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
3. Public open space shall be designed to maximize its utility. Both large and small areas for both active and passive activities shall be achieved through effective building orientation, walkway location, etc.
 4. Landscaping of parking areas is discussed in Section B.

F. TRASH ENCLOSURES:

1. Sturdy enclosure walls shall be constructed to reduce maintenance.
2. Design and materials shall match or complement the residential structures.
3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
5. The enclosures shall be screened with landscaping.
6. The enclosures shall be adequate in capacity, number, and distribution.
7. A Class I bicycle storage facility shall be incorporated into the design of the trash enclosure.

NATOMAS SANITARY DISTRICT

SEWAGE TREATMENT PLANT

AIRPORT

088-1

OAK BROOK VILLAGE

SAN JUAN ROAD

SUBJECT SITE

VERDE

VICINITY MAP

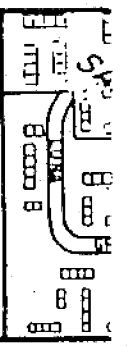
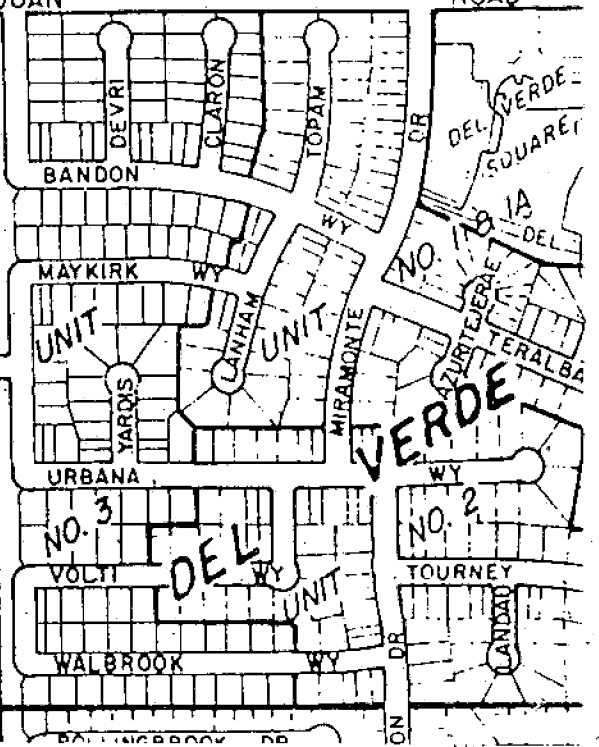
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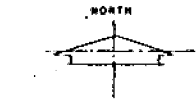
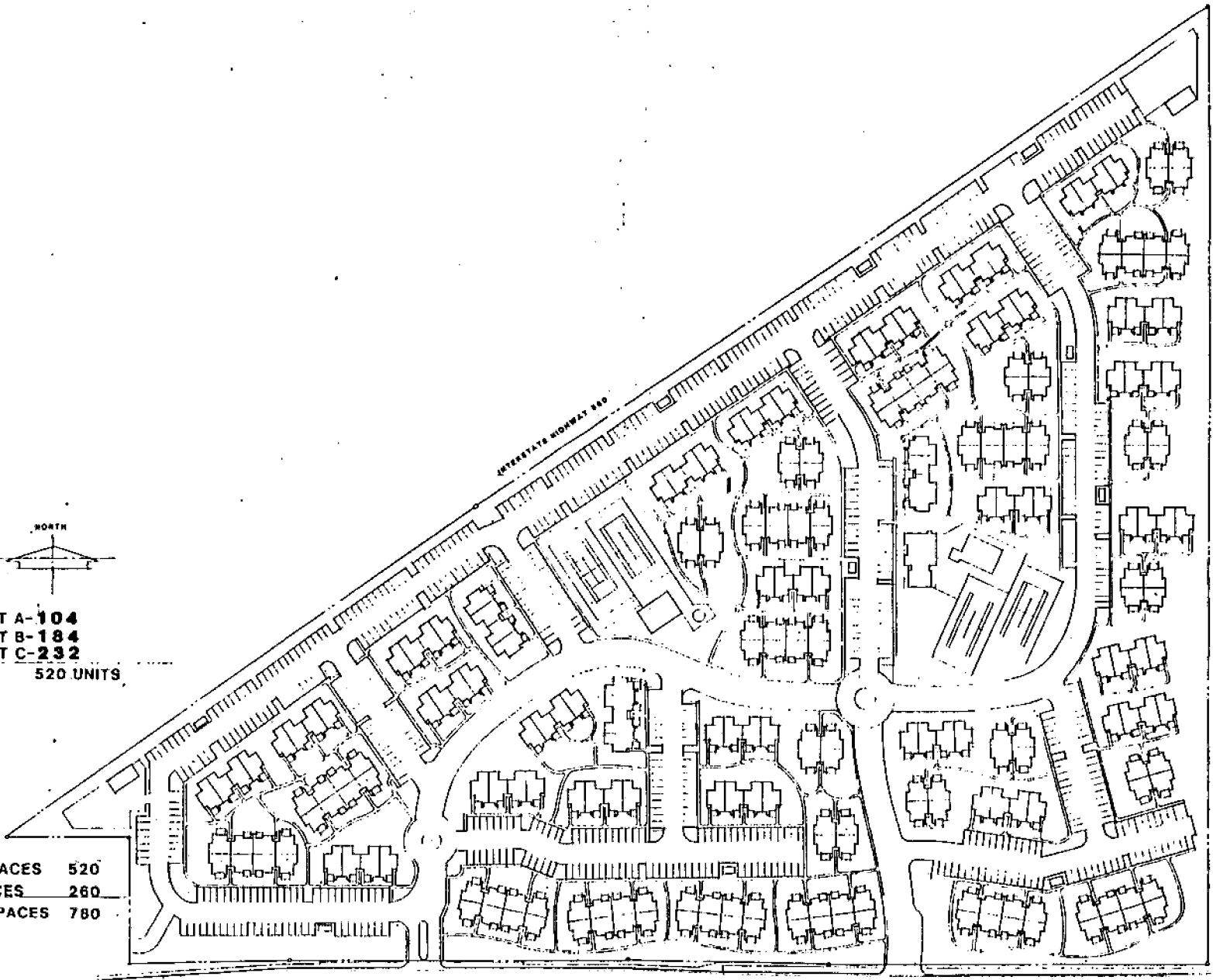


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4-14-83

Item 11



UNIT A-104
 UNIT B-184
 UNIT C-232
 520 UNITS

COVERED SPACES 520
 OPEN SPACES 260
 TOTAL SPACES 780

SITE PLAN

SAN JUAN ROAD

INTERSTATE HIGHWAY 80

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 GROUP, INC

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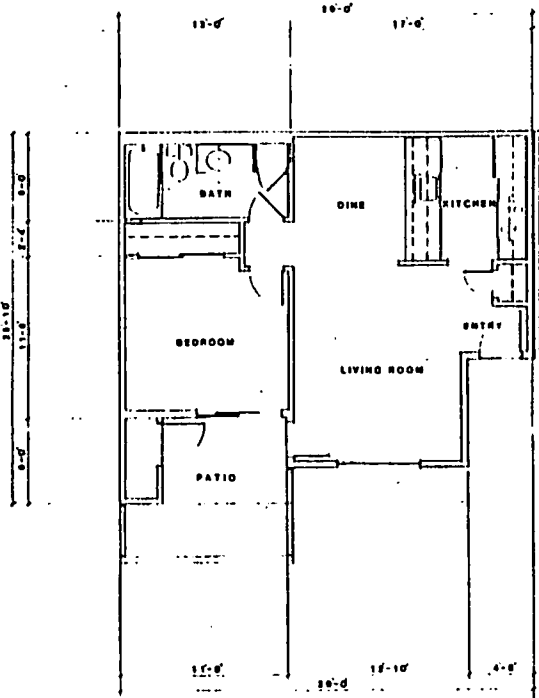
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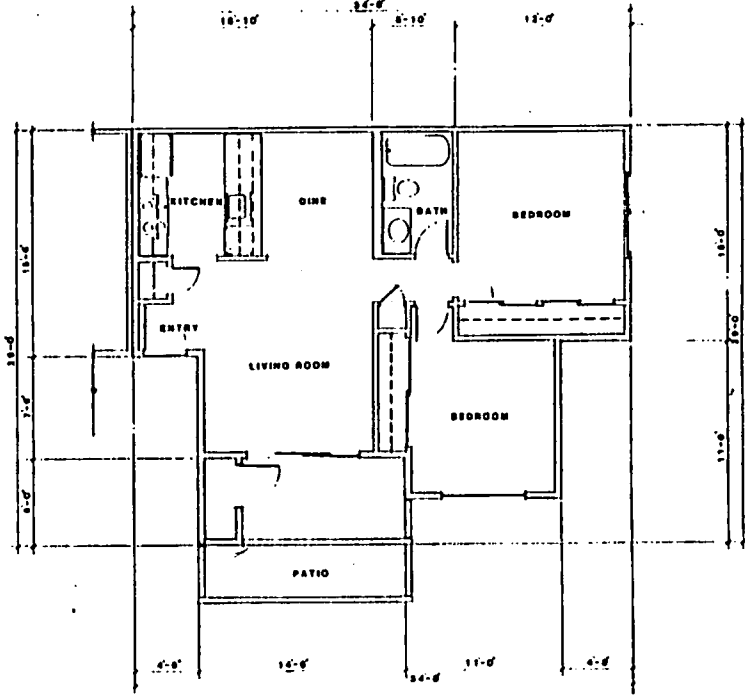
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FLOOR PLAN - UNIT A

800 S.F.



FLOOR PLAN - UNIT B

740 S.F.

000959

P 83083

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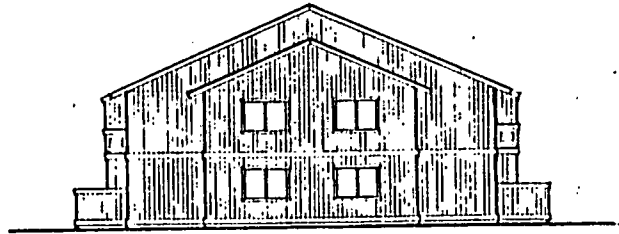
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GROUP, INC.

SMOKETREE
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SACRAMENTO

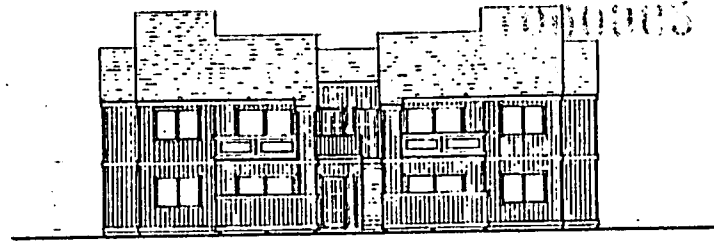
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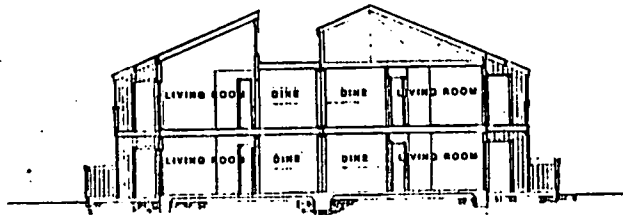
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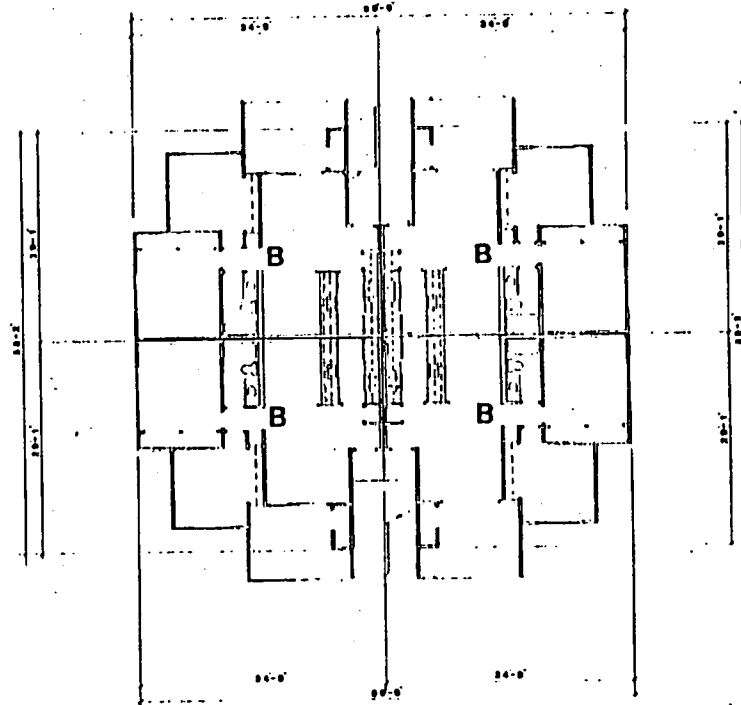
END ELEVATION



FRONT ELEVATION



SECTION AT UNIT B



FLOOR PLAN - BUILDING TYPE B

000961

83003

P

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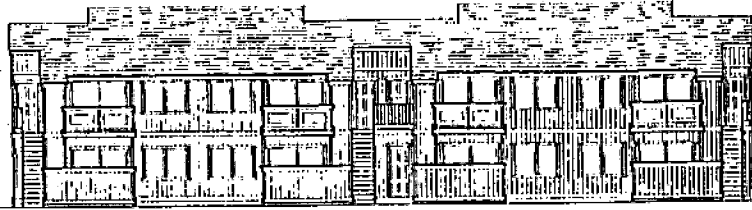
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SMOKETREE
 15417 VAN BOYD ROAD CALIFORNIA
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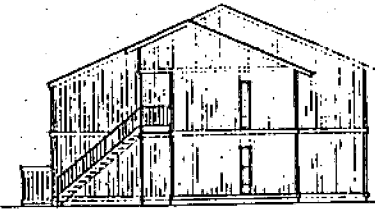
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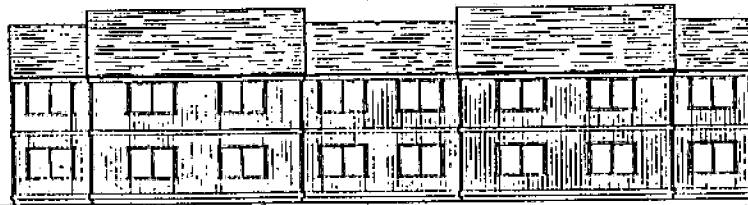
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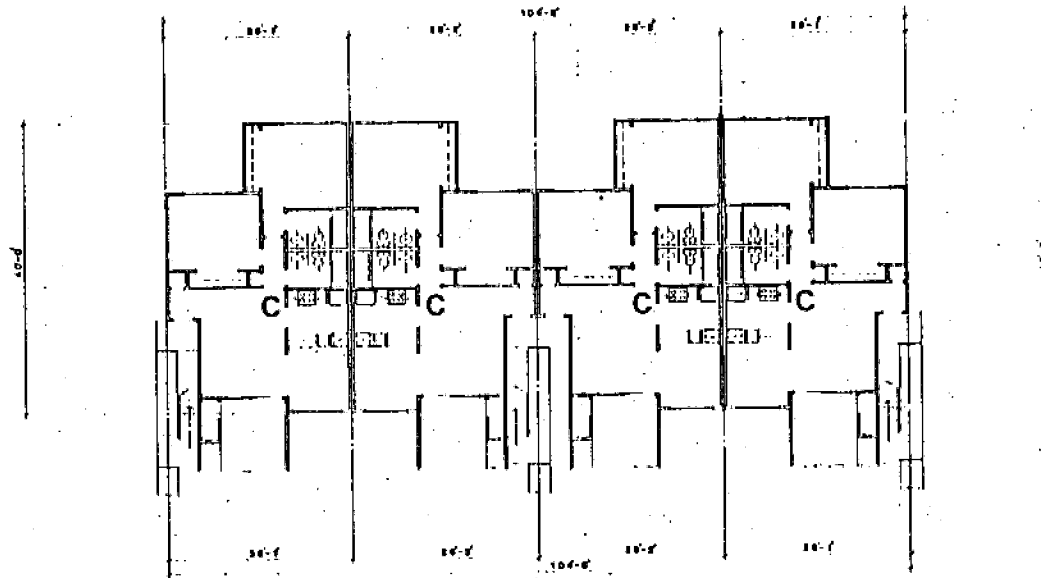
FRONT ELEVATION



END ELEVATION



REAR ELEVATION



FLOOR PLAN - BUILDING TYPE C

000962

003023

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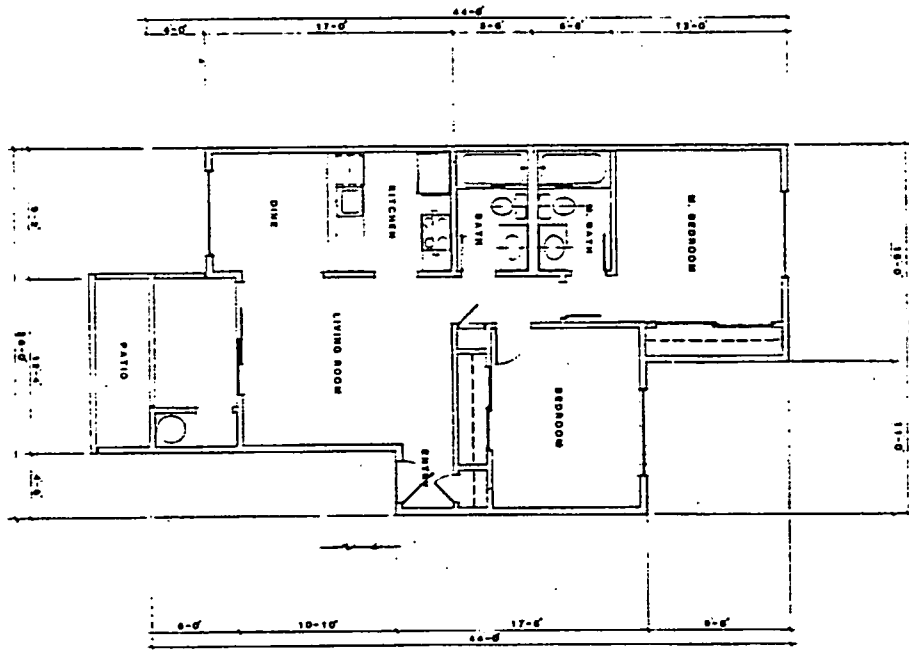
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 SACRAMENTO, CALIFORNIA

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FLOOR PLAN - UNIT C



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		<p>SMOKETREE SAN JUAN ROAD SACRAMENTO, CALIFORNIA</p>		 <p>PACIFIC GENERAL GROUP, INC</p>	<p>RODOLFO ESPINOZA A.I.A. architect and planner 1804 EL CAMINO AVENUE SUITE 20 SACRAMENTO, CA 95821 (916) 480-6781</p>
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