

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lenders Name _____
Lenders Address _____

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C-45 Lic. Number 545162
Date 5/22/98 Contractor W. Parkville
(Signature)

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Divisions 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & P C for this reason _____
Date _____ Owner _____
(Signature)

In issuing this building permit, the applicant represents, and the City relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative of this city to enter upon the above-mentioned property for inspection purposes.

Date 5-25-98 Signature of Applicant or Agent W. Parkville

SITE ADDRESS

3551 Thorcel Rd. Sac.

SUITE

Spaithy & S-201/8

INSP. AREA

ASSESSOR PARCEL NO. 222-0170-012

PERMIT NO. 9804887

NAME OF APPLICANT

ADDRESS

ZIP CODE

PHONE NO.

LICENSED CONTRACTOR

1111 25th St. CA

95815

924-1936

BUSINESS OWNER

Dave Peterson

714-854-2100

SIGN INFORMATION

ATTACHED INTERIOR / ELECT. SINGLE FACED
 ILLUMINATED NON-ILLUMINATED BILLBOARD / SUBDIVISION
 INDIVIDUAL LETTERS PAINTED ON BUILDING LOGO
 METAL POLE DOUBLE FACED
 PLASTIC MONUMENT VINYL/GATOR FOAM
 WOODEN PROJECTING RE-FACE

SIGN COPY NEON ROPEL / 2 Bous

CITY OF SACRAMENTO PERMIT SERVICES
BUILDING INSPECTION DIVISION 264-7619

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier WAS D. BOYSSON

Policy Number WCB227036

(This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 5/22/98 Applicant W. Parkville
(Signature)

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative of this city to enter upon the above-mentioned property for inspection purposes.

Date _____ Signature of Applicant or Agent _____

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS

(A) HEIGHT <u>4" spacing</u>	(B) LENGTH <u>168'</u>
(A X B) SIGN AREA _____	FOOTING SIZE _____
POLE SIZE _____	STREET FRONTAGE (FT) _____
OCCUPANCY FRONTAGE (FT) _____	OFFICE USE ONLY
ENGINEERING REQUIRED? YES NO APPROVED BY _____	DESIGN REVIEW REQUIRED? YES NO APPROVED BY _____
SPECIAL PERMIT REQUIRED? YES NO PW _____	VARIANCE REQUIRED? YES NO PW _____
LOCATED IN PUD? YES NO WHICH PUD? _____	SIGN VALUATION
A TYPE OF SIGN _____	SIGN VALUATION
B _____ PER SQ. FT. X _____ SQ. FT. = \$ _____	APPROVED BY _____ DATE _____
DENIED BY _____ DATE _____	FINAL INSPECTIONS
BUILDING INSPECTOR <u>IR. PT</u> DATE <u>3-1-99</u>	ELECTRICAL INSPECTOR <u>D. W. ...</u> DATE <u>3-1-99</u>
SIGN INSPECTOR _____ DATE _____	FEES: JUN 17 1998 RECEIVED
SIGN PERMIT FEE _____	AMOUNT
CITY BUSINESS LICENSE _____	AMOUNT
OTHER _____	AMOUNT
TOTAL FEES \$ _____	

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

FEE SUMMARY
FOR PERMIT #9804887
as of 06/04/1998 Permit Status: APPROVED

Site Address: 3651 TRUXEL RD SAC
Parcel No: 2251040004

CONTRACTOR
ELLIS & ELLIS SIGNS
1111 JOELLIS WY
SACRAMENTO CA
Phone: 916-924-1936

95815

OWNER
DONAHUE SCHRIBER REALTY GROUP
3501 Jamboree Rd
Newport Beach Ca 92660
Phone: 714-854-2100

ARCHITECT

Phone:

Nature of Work: ATT.ILLUM.

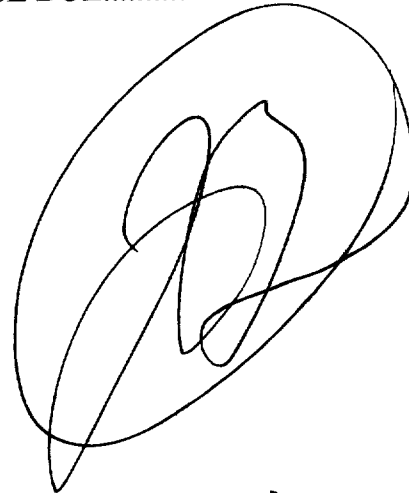
Permit Valuation: \$245.00
Square Footage: 7

Activity Code: S05

Sign Application Fee.....: \$75.00
Sign Permit Fee.....: \$33.00
Add'l Sign Fee.....: \$0.00
Electrical Fee.....: \$30.00
Add'l Electrical Fee.....: \$0.00
Hist Dist Surcharge.....: \$0.00

Technology Fee.....: \$5.52
City Bus Oper Tax.....: \$0.10
Penalty Fee.....: \$0.00
Renewal.....: \$0.00
Reinspection.....: \$0.00
Emergency Insp.....: \$0.00
Overtime Insp.....: \$0.00
Replace Cards/Plans.....: \$0.00
Refund.....: \$0.00

TOTAL FEES.....: \$143.62
Payments.....: \$75.00
BALANCE DUE.....: \$68.62



3651 TRUXEL RD.

FILE COPY

Per# 9804887
S-20138

SITE SUMMARY

SITE AREA GROSS	60,110 ACRES
SITE AREA NET	49,895 ACRES
MAXIMUM BUILDING AREA @ 5/100 (Including Garden Center)	561,200 SF
MAXIMUM BUILDING AREA ALLOWED BY SPECIAL PERMIT	597,000 SF
PARKING RATIO PROVIDED	5 SPACES / 1,000 SF
PARKING PROVIDED TOTAL	2,931
COMPACT SPACES	2,744
TOTAL ACCESSIBLE PARKING	22
PREFERENTIAL PARKING SHOWN	38
PREFERENTIAL EMPLOYEE PARKING	66
ELECTRIC VEHICLE SPACES	40
BICYCLE PARKING - CLASS I	28
BICYCLE PARKING - CLASS II	64

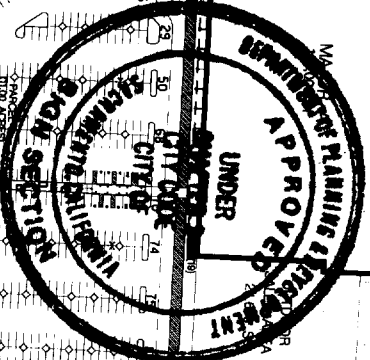
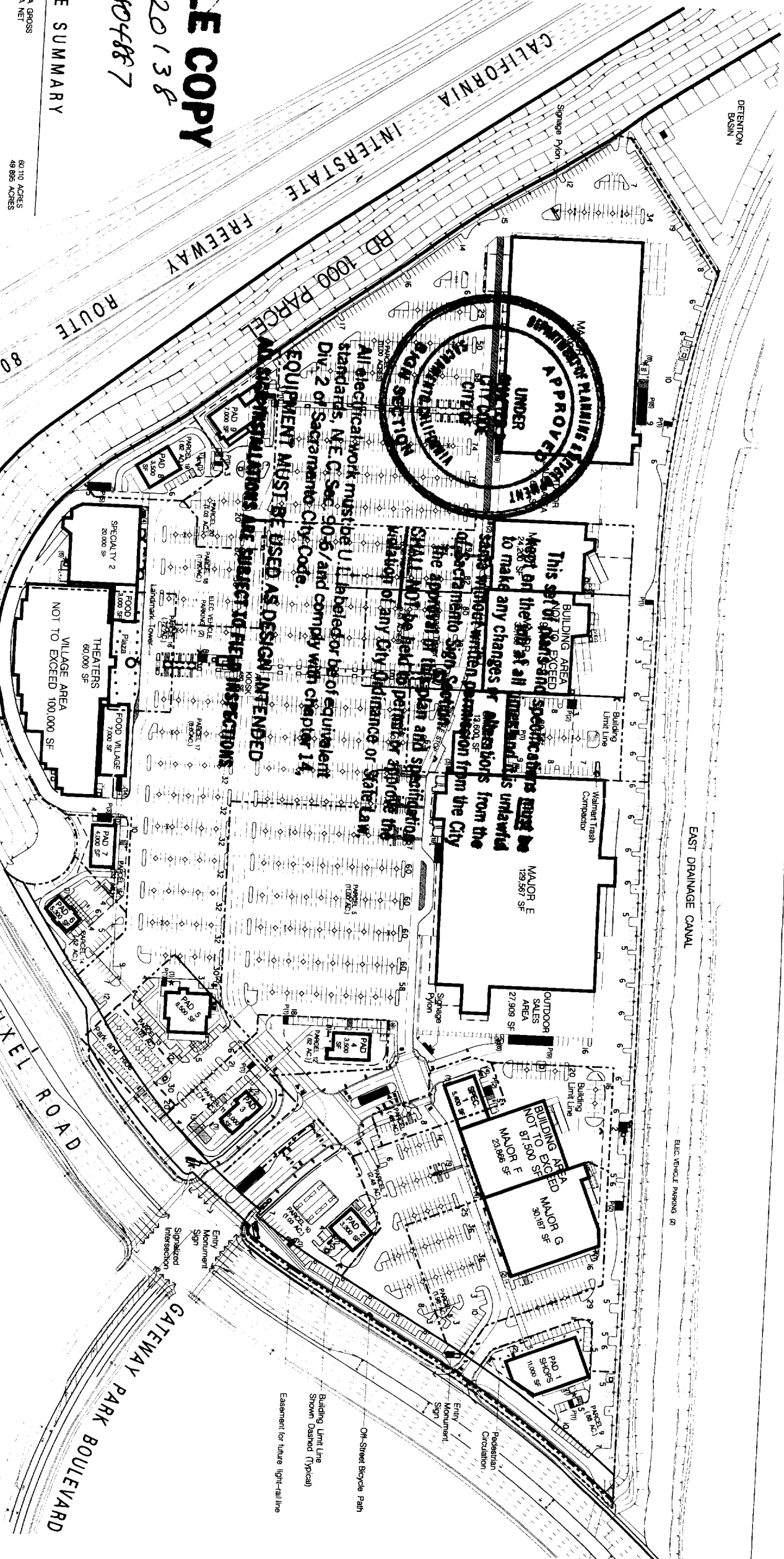
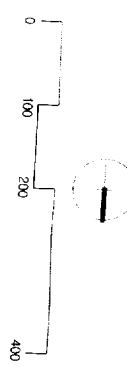
LEGEND

- PREFERENTIAL PARKING CARPOOL/VANPOOL
- ELECTRIC VEHICLE CHARGING SPACES
- CLASS I BICYCLE LOOKERS
- CLASS II BICYCLE RACKS

SITE PLAN

NATOMAS MARKETPLACE

BUILDINGS	LAND USE DATA	TMP DATA		SITE DATA		
		SQUARE FOOTAGE	CARPOOL/VANPOOL	PARKING REQUIREMENTS CLASS I BICYCLE	CLASS II BICYCLE	LOT NUMBER
MAJOR A GARDEN CENTER	108,000 SF	9	9	19	1	11,000
MAJOR B	24,800 SF	2	1	4	2	1,482
MAJOR C	13,100 SF	1	1	3	3	2,526
MAJOR D	13,100 SF	1	1	3	4	2,526
MAJOR E GARDEN CENTER	129,567 SF	9	9	19	5	11,000
MAJOR F	27,900 SF	0	0	0	6	11,000
MAJOR G	6,000 SF	0	0	0	7	0,482
PAD 1	30,187 SF	2	2	4	8	1,984
PAD 2	1,300 SF	1	1	1	9	0,884
PAD 3	3,000 SF	1	1	1	10	0,884
PAD 4	3,500 SF	1	1	1	11	0,884
PAD 5	8,500 SF	1	1	2	12	0,735
PAD 6	5,300 SF	0	0	0	13	0,620
PAD 7	4,000 SF	0	0	0	14	0,523
FOOD VILLAGE	14,000 SF	0	0	0	15	0,523
ENTERTAINMENT/RETAIL	60,000 SF	6	6	13	16	0,327
SPECIALTY 2	20,000 SF	1	1	2	17	8,000
PAD 8	3,500 SF	1	1	1	18	0,723
PAD 9	7,000 SF	1	1	3	19	1,720
SERVICE KIOSK	480 SF	1	1	3	20	0,620
TOTAL SF SHOWN	566,990 SF	40	28	94		49,895 ACRES (NET)
TOTAL SF ALLOWED	597,000 SF					



ALL REGULATIONS ARE SUBJECT TO FIELD INSPECTIONS

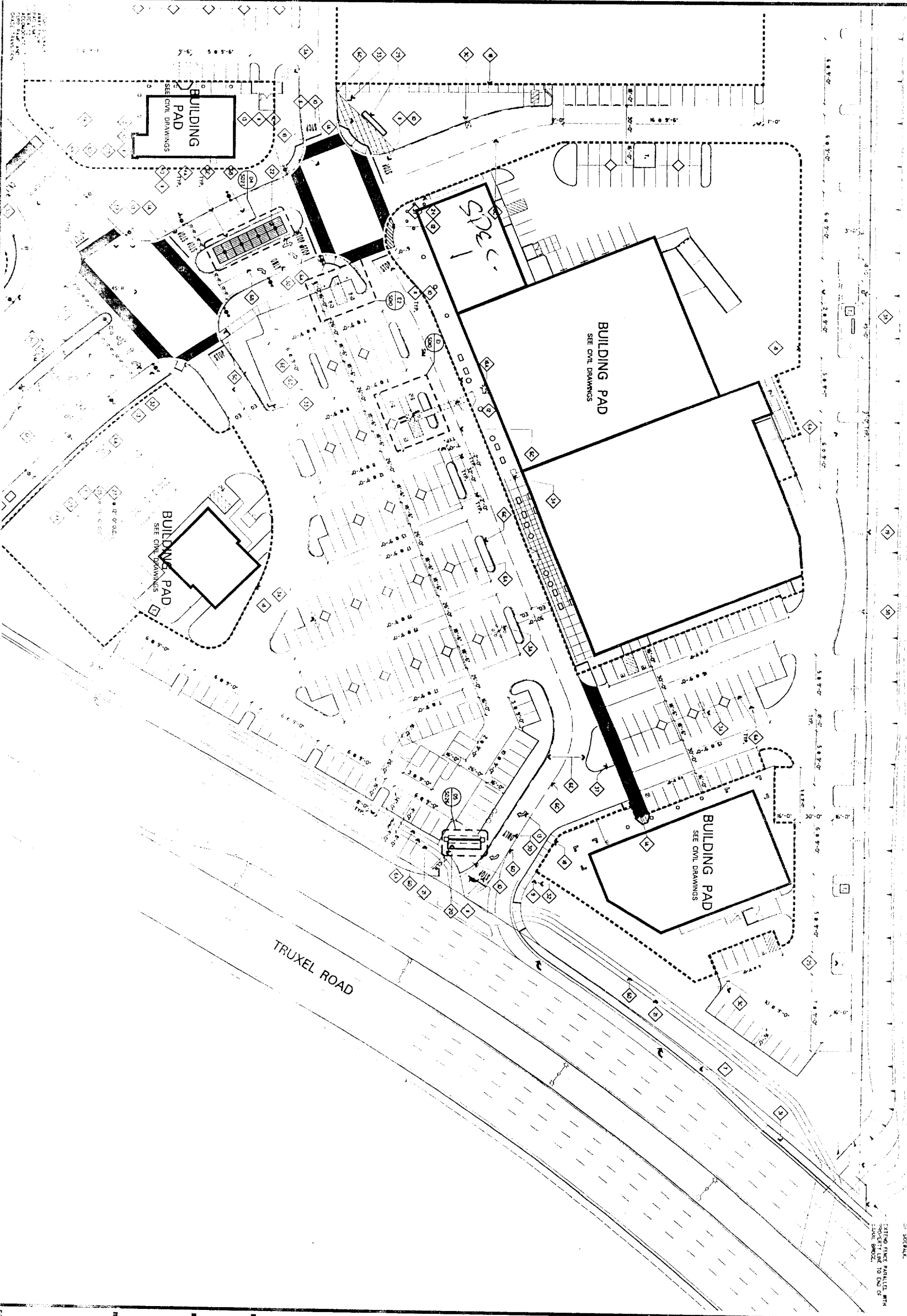
EQUIPMENT MUST BE USED AS DESIGN INTENDED

All electrical work must be U.L. labeled for use of equipment standards, N.E.C. Sec. 90.5/ and comply with chapter 14, Div 2 of Sacramento City Code.

This set of plans and specifications may be subject to change without written notification from the City of Sacramento. Any changes or alterations from the original specifications shall be noted on this set of plans. The approval of the City of Sacramento shall not be held to permit or approve the violation of any City Ordinance or State Law.

SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY ORDINANCE OR STATE LAW.

EAST DRAIN CANAL



SHOWN & ACTUAL SEE PAGE 10
 5'-0" TO 1'-0" SCALE FOR CENTER
 LINE OF ROAD WITH CENTER LINE
 OF SIDEWALK
 PROJECT LINE TO END OF
 LOCAL STREET

KEYING LEGEND

1. ASP. PAVING - SEE CIVIL DRAWINGS
2. ASP. PAVING - SEE CIVIL DRAWINGS
3. ASP. PAVING - SEE CIVIL DRAWINGS
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50. ASP. PAVING - SEE CIVIL DRAWINGS

PARKING SUMMARY

NO.	DESCRIPTION	AMOUNT
1	CONCRETE PAVED	150
2	ASPHALT PAVED	100
3	TOTAL	250



KEY PLAN



LPA
 Architecture
 Planning
 Interior Design
 Landscape Architecture

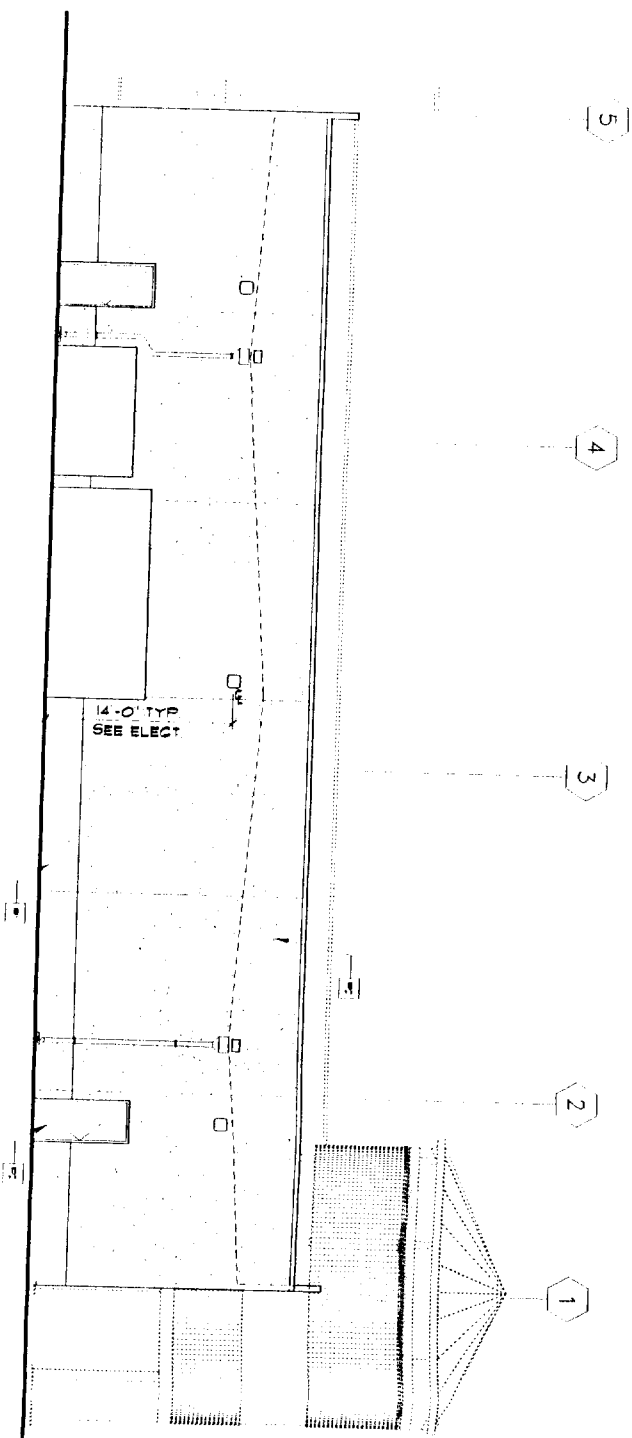
225 S Street
 Sacramento, CA 95814
 916.441.1315
 916.441.2823



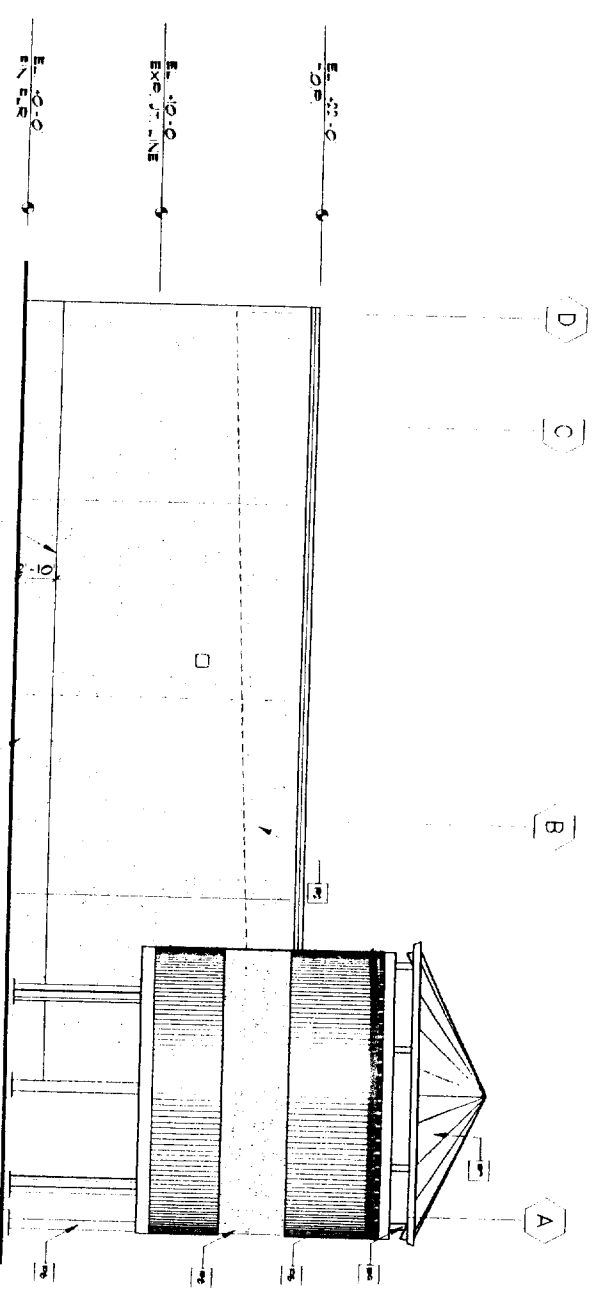
**NATOMAS
 MARKETPLACE**

SITE LAYOUT

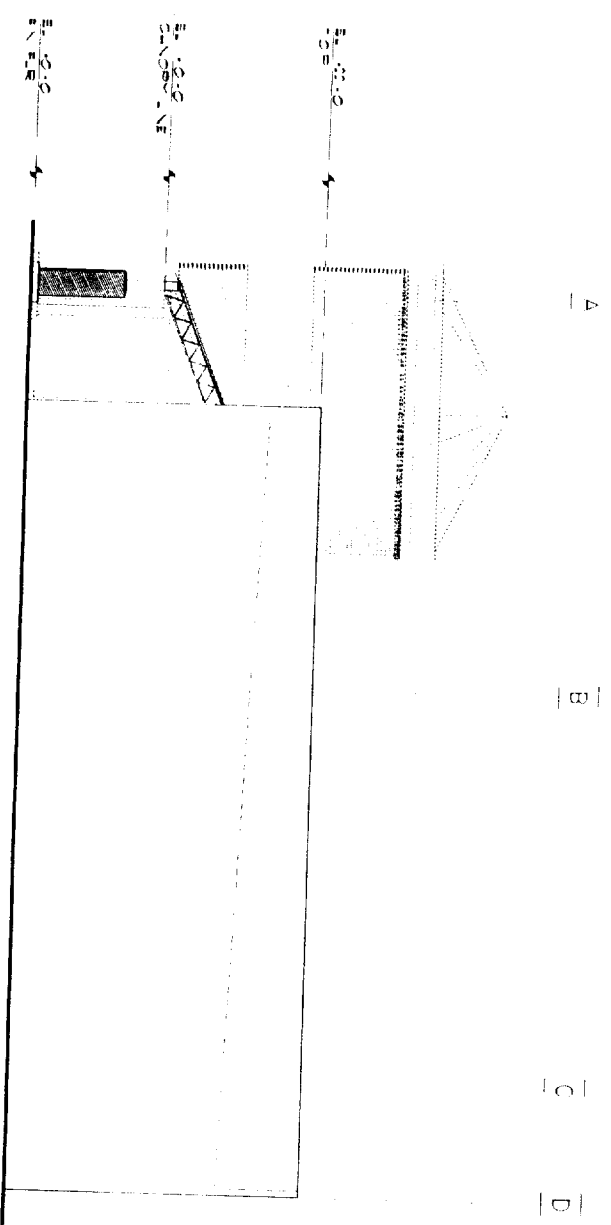
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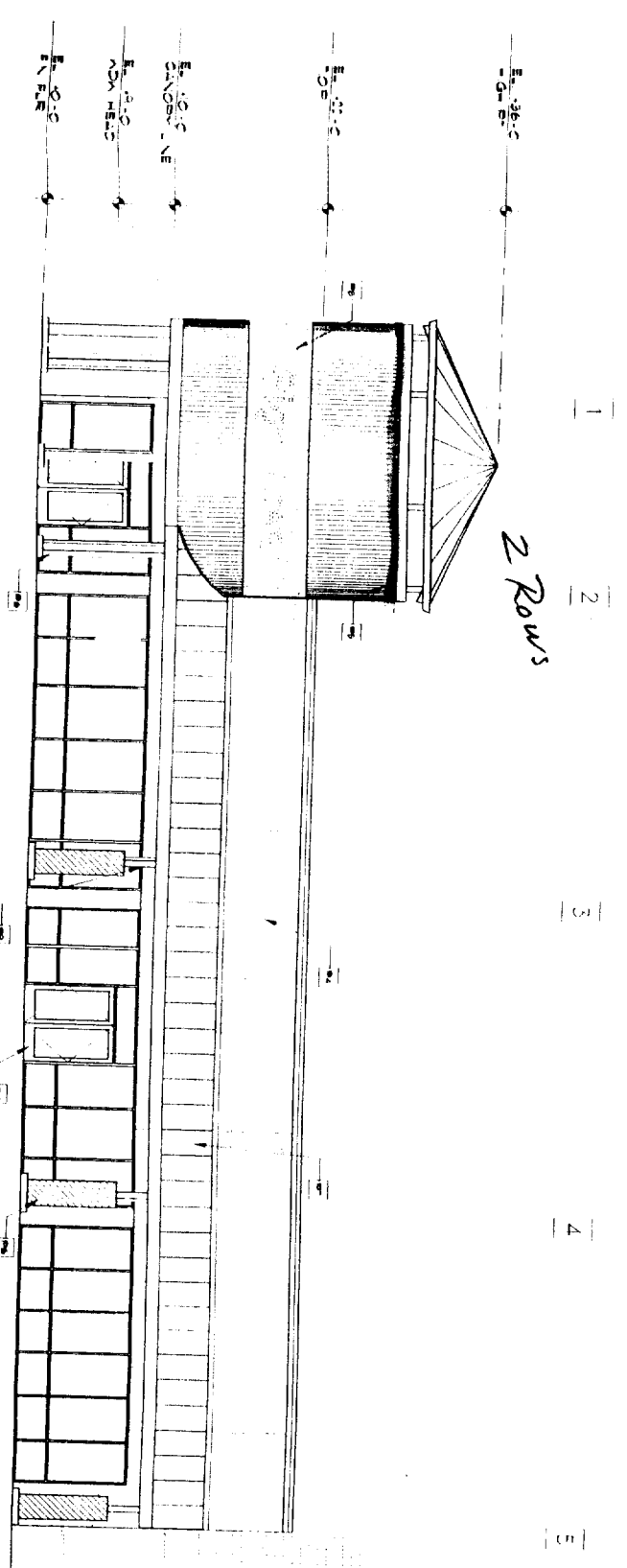
SPECIALTY 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



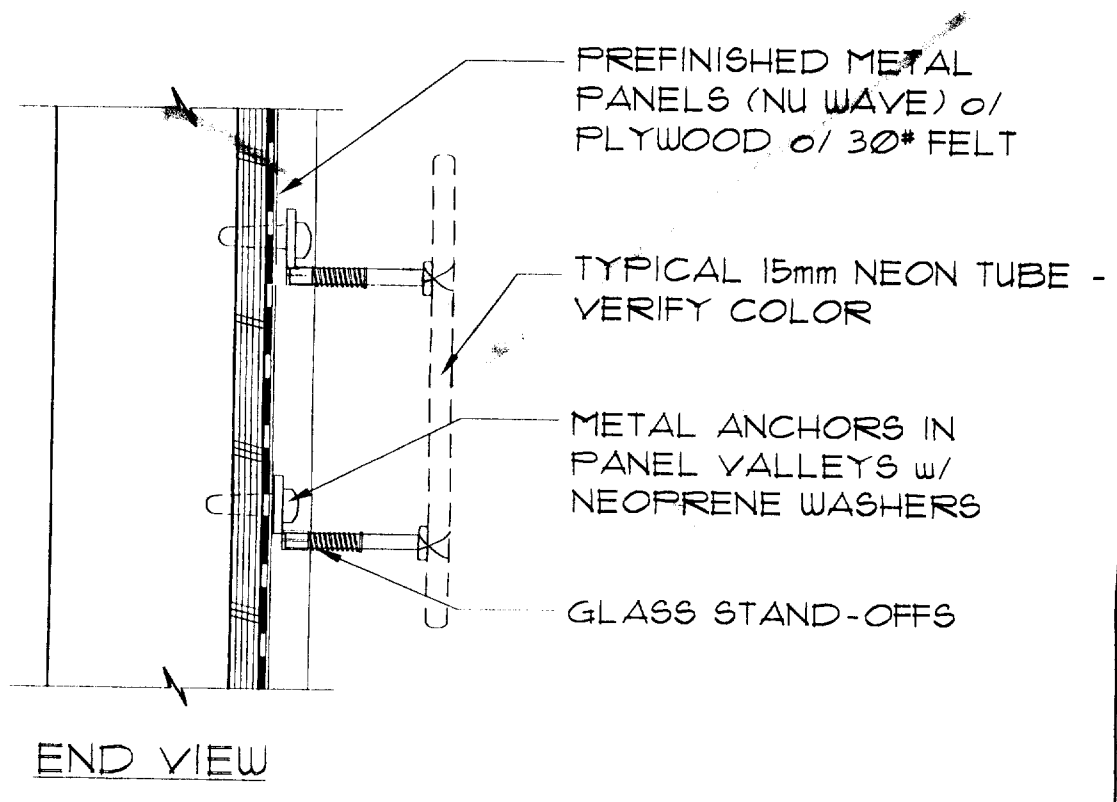
SPECIALTY 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SPECIALTY 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

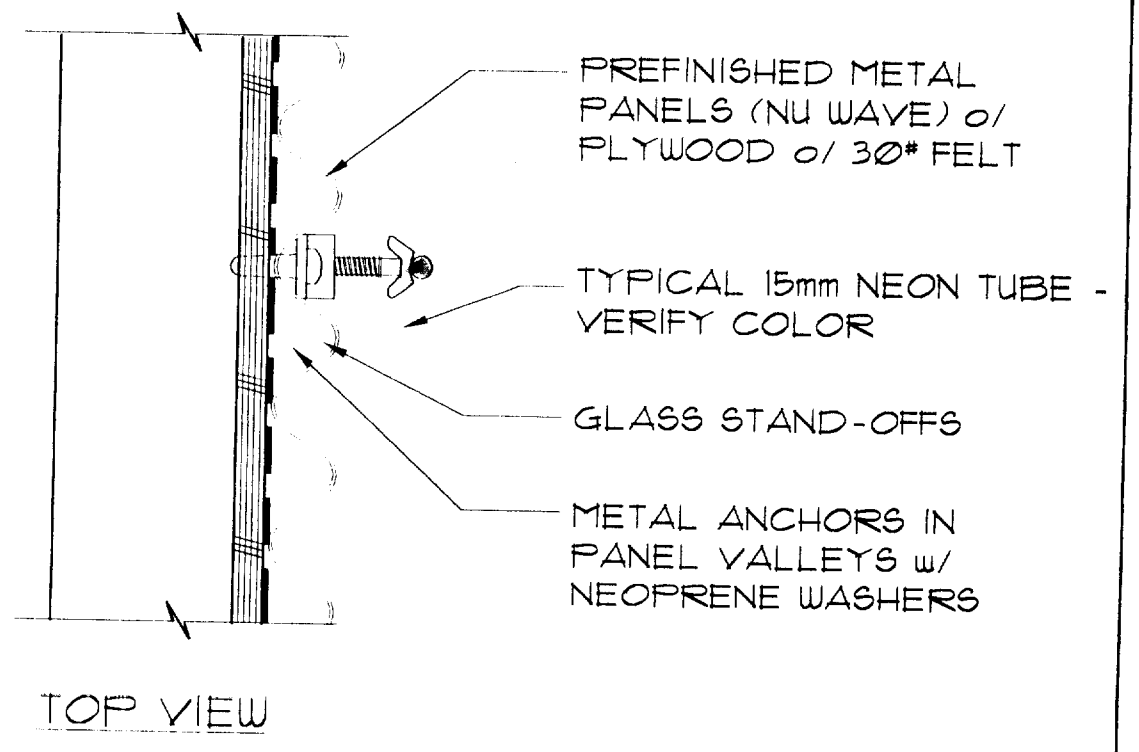


SPECIALTY 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



NEON ATTACHMENT

3" = 1'-0"



NEON ATTACHMENT

3" = 1'-0"