

CITY OF SACRAMENTO

Permit No: 9809756

1231 I Street, Sacramento, CA 95814

Insp Area: 3

Site Address: 4511 34TH ST SAC

Sub-Type: RES

Parcel No: 0200206001

Housing (Y/N): N

CONTRACTOR

ARTHUR AUSBROOKS
PO BOX 1868
CARMICHAEL

95609

OWNER

FREY PAT
4511 34TH ST
SACRAMENTO

ARCHITECT

Nature of Work: REROOF SERVICE CHANGE MINOR FIRE REPAIR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class 13 License Number 645219 Date 10-2-98 Contractor Signature Arthur V. Ausbrook

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 10-2-98 Applicant/Agent Signature Arthur V. Ausbrook

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10-2-98 Applicant Signature Arthur V. Ausbrook

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO - BUILDING INSPECTION DIVISION
 SPECIAL PACKAGE D/E FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12
 100 TO 999 SQUARE FEET

NOTE: ADDITIONS OF 100 SQUARE FEET OR L WITH 50% OR LESS GLAZING NEED MEET ONLY APPLICABLE FEATURES OF MANDATORY MEASURES CHECKLIST ON BACK OF THIS FORM.

CERTIFICATE OF COMPLIANCE OF IR ADDITION

Project Title _____ Date 2-16-99
 Project Address 4511 34TH ST
 Total Floor Area Addition _____ Addition and existing total 480
 Total Glazing Area Addition _____ Glazing removed existing _____

REQUIREMENTS THAT APPLY TO NEW AREA: BUILDING SHELL INSULATION:

COMPONENT	TYPE (BATT OR BLOWN)	100 SQUARE FEET R VALUE MINIMUM	101 - 999 SQUARE FEET R VALUE MINIMUM
Ceiling	_____	R - 19	R - 19
Wall	_____	R - 13	R - 13
Raised Floor	_____	R - 13	R - 13
Shading	_____	_____	R - 19
North/South Facing Glazing	0.66 maximum	Enter Shading Device: _____	_____
East/West Facing Glazing	0.40 maximum	Enter Shading Device: _____	_____
Fenestration (Glazing)	_____	<u>DOUBLE REQUIRED</u>	_____ U = .75 MAX

Maximum Glazing Area of New Addition 16% (Example: New Glazing (-) Removal of Existing Glazing + Total Area Additional Square Footage)

Thermal Mass: Package D = 20 per cent _____ COMPLETE ATTACHED WORKSHEET
 See Worksheet Package E = 05 per cent _____

NEW HEATING, COOLING OR DOMESTIC WATER HEATING:

Systems installed in conjunction with addition must comply with the appliance standards applicable to new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition; cannot add electric resistant heat:

HVAC SYSTEMS	Minimum Efficiency (SE, SEER, HSPF)	Duct Insulation	Output (Btuh)	Manufacturer/Model # (Or approved equal)
Type (Furnace, air conditioner, heat pump)	_____	_____	_____	_____
_____	78% / 6.8	R - 4.2	_____	_____
_____	10.0 / 9.7	R - 4.2	_____	_____

HOT WATER SYSTEMS

System Type (Storage, gas, etc)	Type Capacity	Manufacturer/Model # (or approved equal)	Special Features
_____	_____	_____	_____
_____	_____	_____	_____

COMPLIANCE STATEMENT

This certificate of compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6, of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features/Remarks section.

Designer or Owner (per Business & Professions Code)

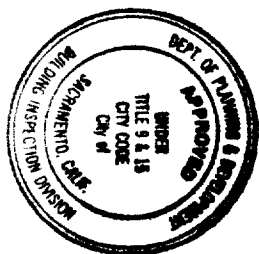
Name: ARTHUR V. AUSBROOKS
 Title/Firm: GEN. CONTR
 Address: 1648 GRANT AVE
ARM

Documentation Author

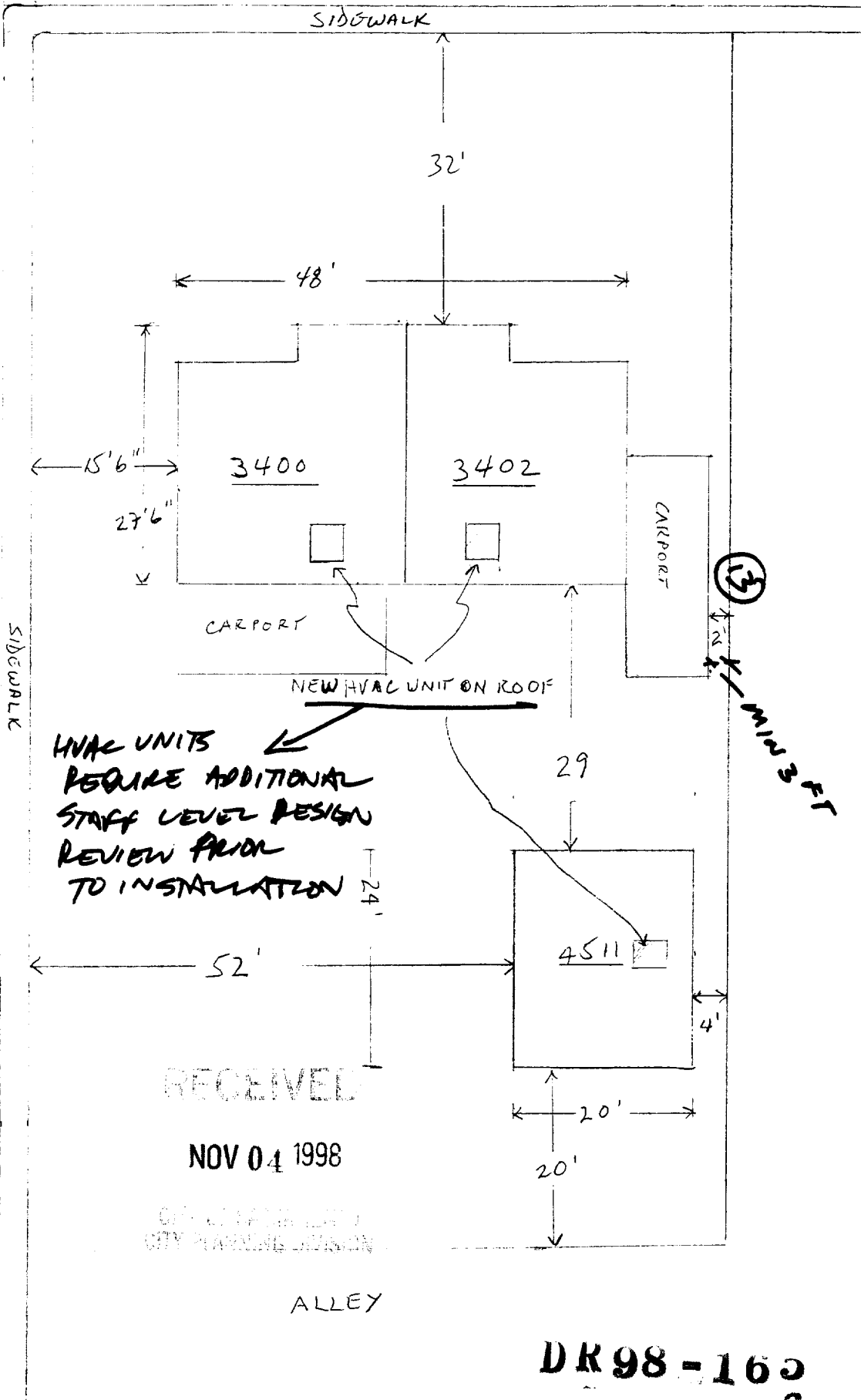
Name: _____
 Title/Firm: _____
 Address: _____

N
△

20TH AVE



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law



**HVAC UNITS
REQUIRE ADDITIONAL
STAFF LEVEL DESIGN
REVIEW PRIOR
TO INSTALLATION**

RECEIVED

NOV 04 1998

CITY OF SACRAMENTO
CITY PLANNING DIVISION

ALLEY

DR 98-165

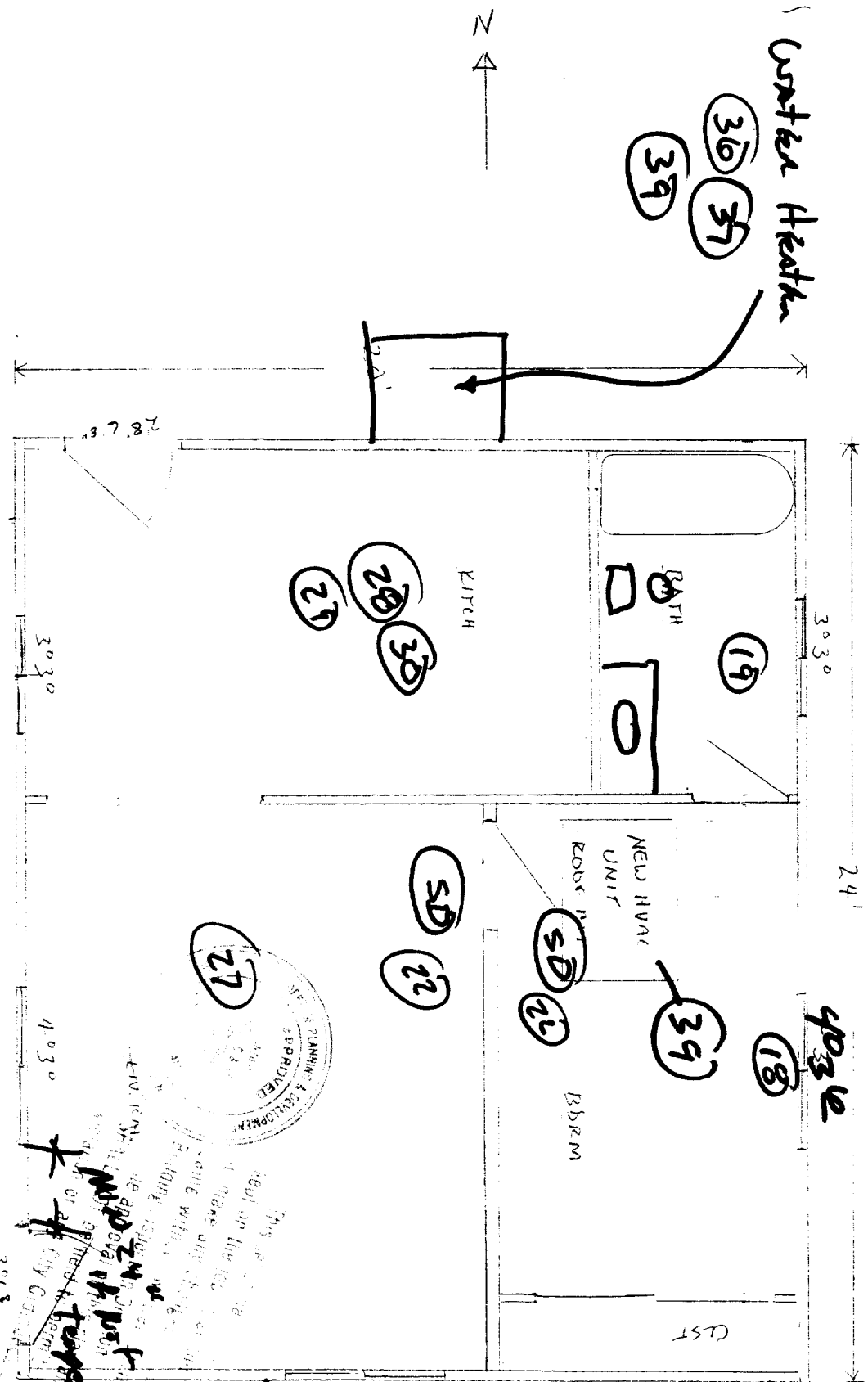
PLOT PLAN SCALE: 1/16" = 1'0"

NOTE: HVAC UNITS REQUIRE
ADDITIONAL DESIGN
REVIEW
DR98-165
Jim McDermott
12/9/98

4511 34" ST

FLOOR PLAN SCALE: 1/4" = 1'0"

Water Heater



40'3"

R-30 CEILING
R-13-WALLS

Elev meta

(25)

ATLc ACCESS - 22x36

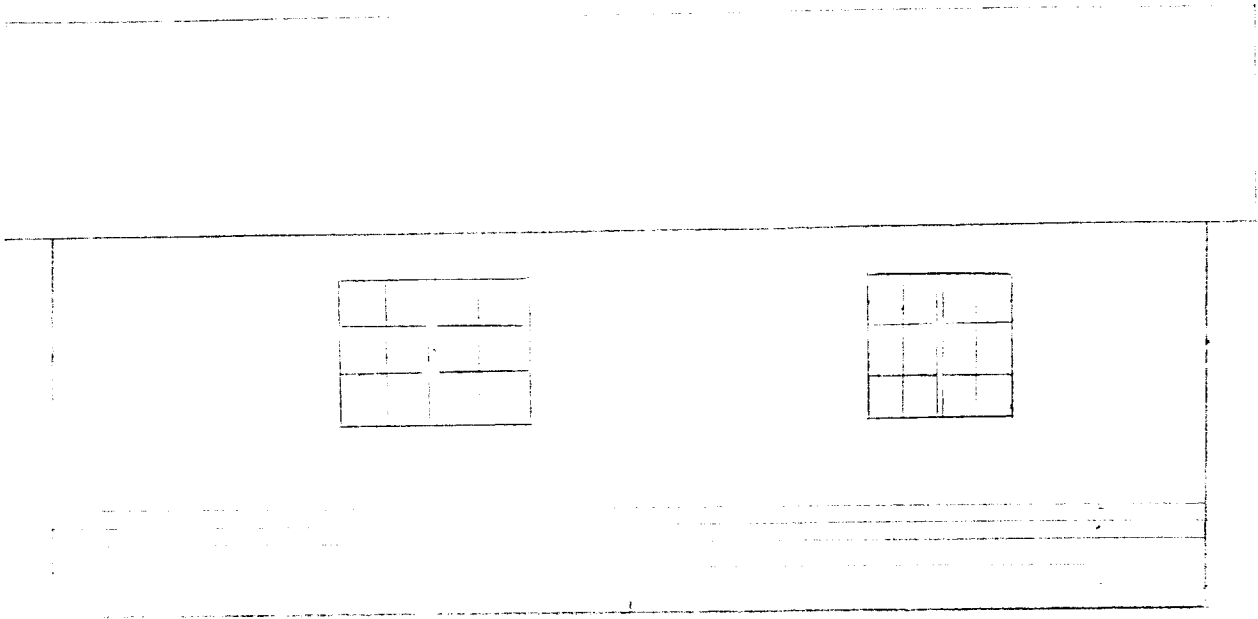
(41)

(20)

(33)

91 - 160

DATE TO ADJ

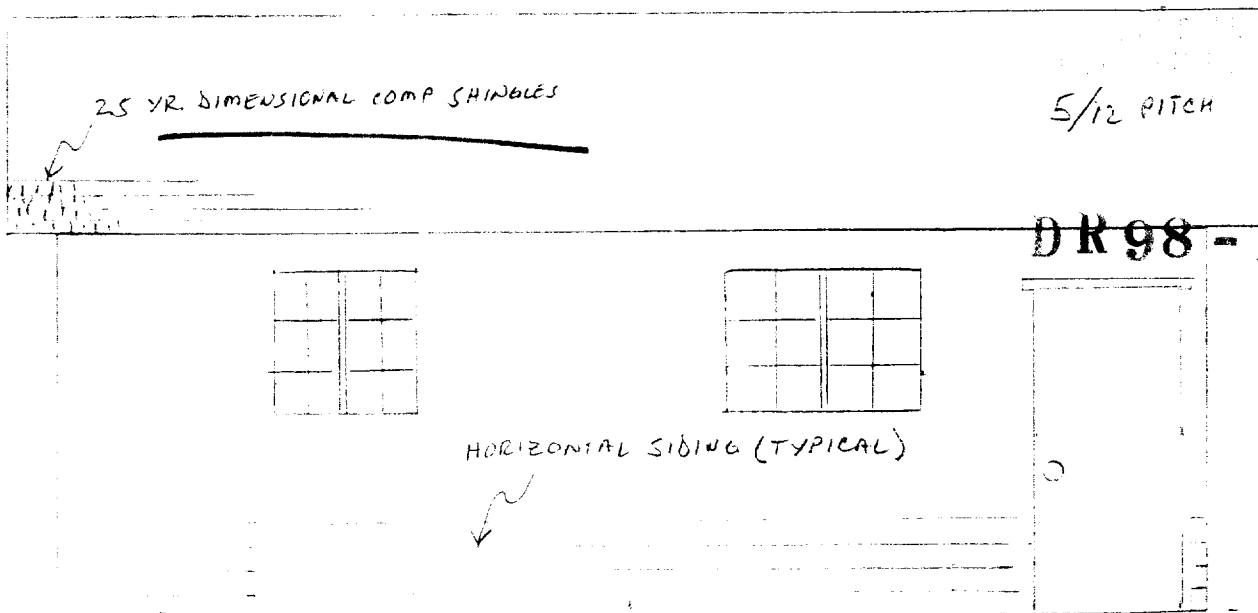


REAR ELE. SCALE: 1/4" = 1'0"

WINDOWS,
DOORS REQUIRE
SILL TRIM

RECEIVED

NOV 04 1998

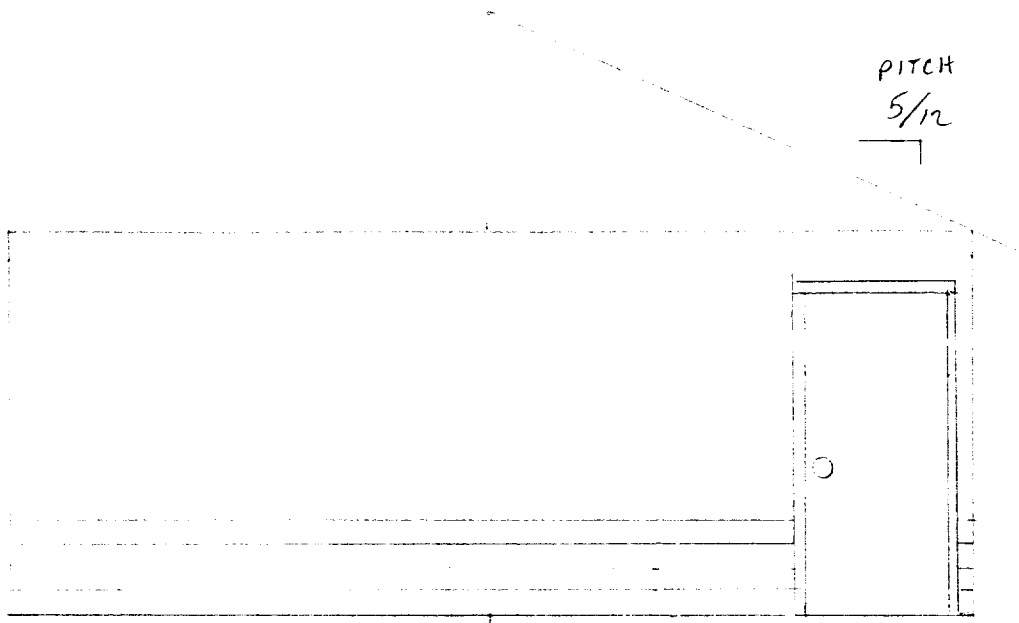


DR 98-150

4511 34TH ST.

FRONT ELE.

SCALE: 1/4" = 1'0"



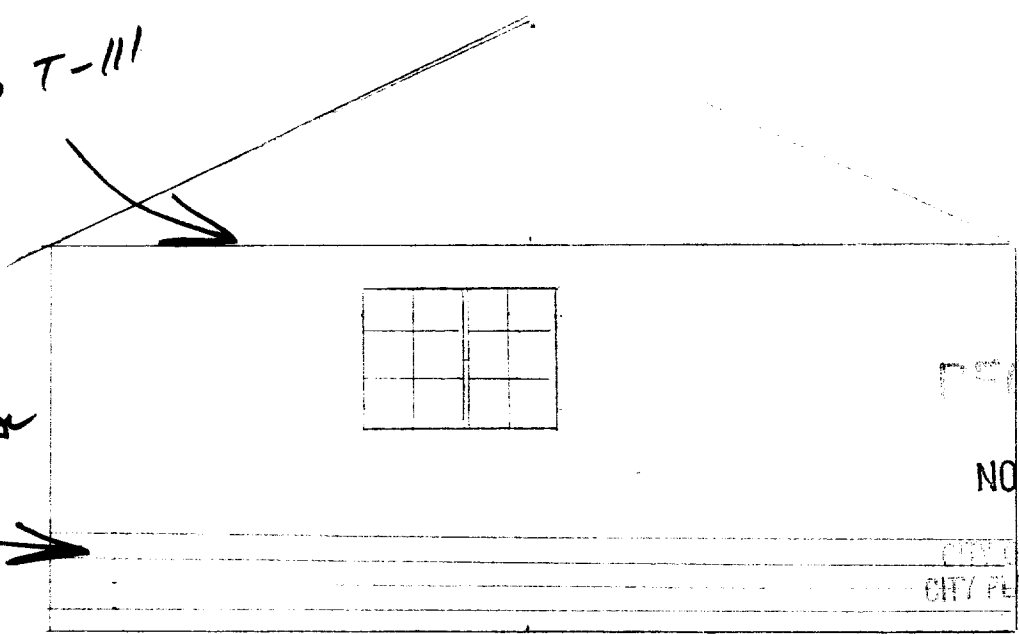
PITCH
5/12

LEFT SIDE ELE. SCALE: 1/4" = 1'0"

WINDOWS & DOORS
REQUIRE SILL S, TRIM

NO T-III

Horizontal
Siding



RECEIVED

NOV 04 1998

CITY OF SPANISH FLORIDA
CITY PLANNING DIVISION

DR 98 - 165

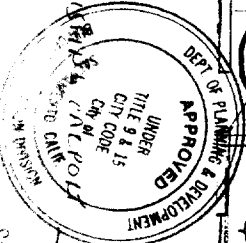
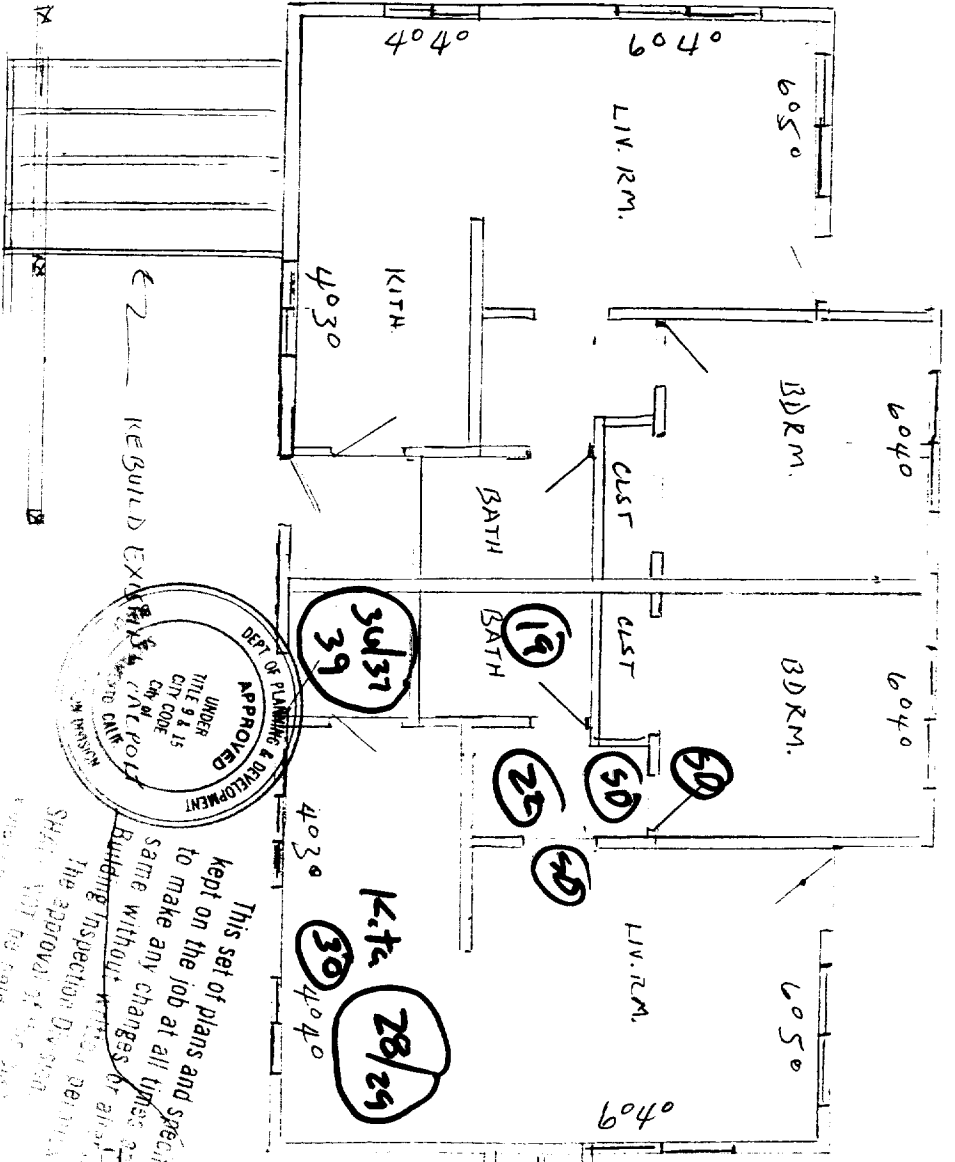
4511 34TH ST

RIGHT SIDE ELE. SCALE: 1/4" = 1'0"



4' 23'4" 4'

12'9" 22'6" 12'9" 9'6"



REBUILT EXISTING...
This set of plans and specifications must be kept on the job at all times...
The approval of this plan...
SHALL NOT BE HELD TO PERMIT...
The approval of any City...
The approval of any City...

11' 11'

ATTN Access? 22x30

NOV 04 1998

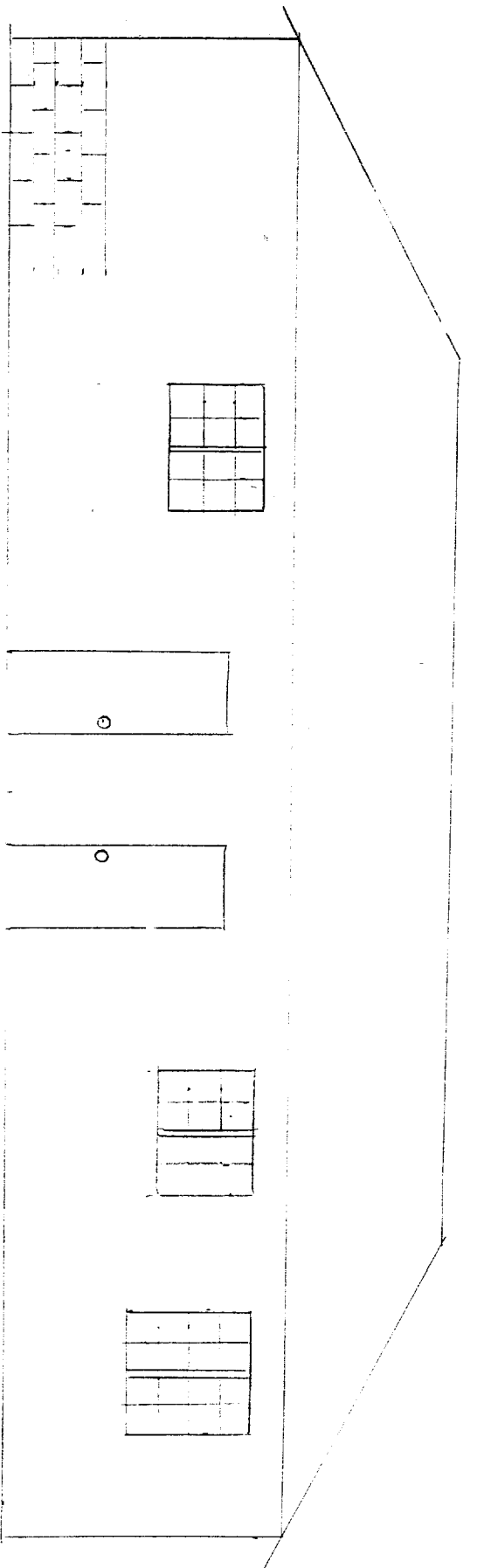
- All work subject to field inspection

3400 20th AVE FLOOR PLAN SCALE 1/8" = 1'-0"

- All open walls - R-13 / R-30 ceiling See personal safety data

DROR - 160

HL Constructive w/103ft. of pl.



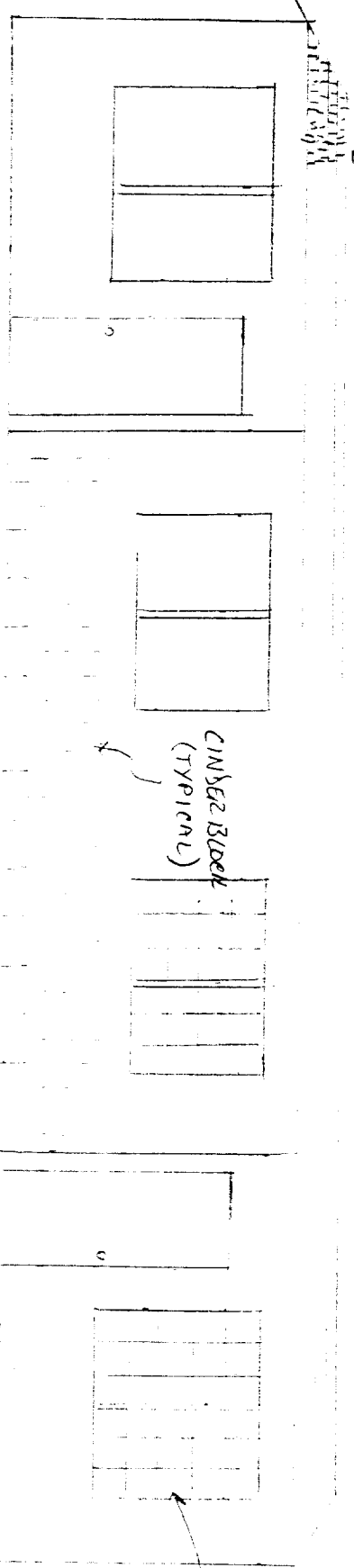
REAR ELE.

SCALE: 3/16" = 1'0"

NOV 04 1968

WINDOWS & DOORS SIZES
REQUIRES TRIMMING

25 YR. DIMENSION COMP. SHINGLES



3400 20th Ave

FRONT ELE.

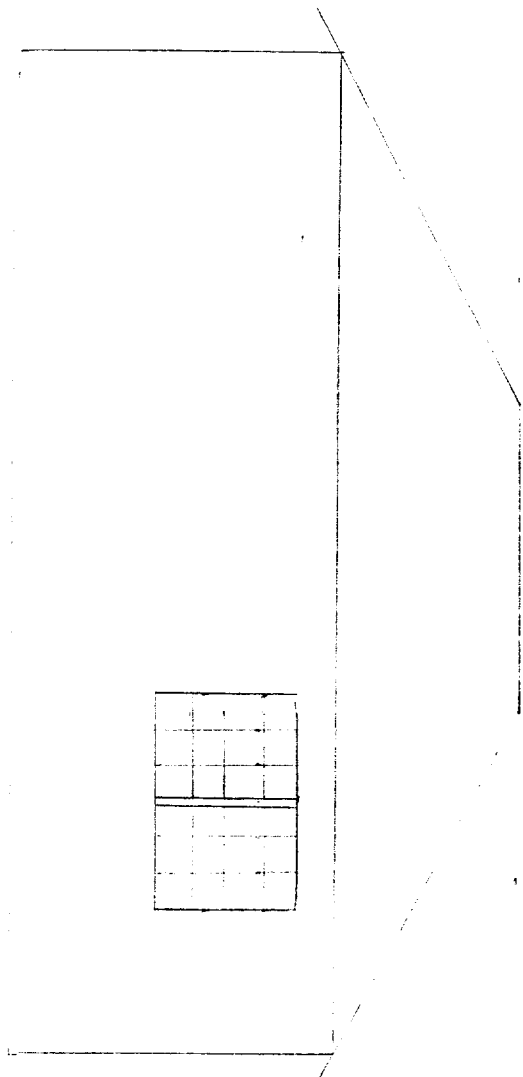
SCALE: 3/16" = 1'0"

DR 98-160

CINBER BLOCK
(TYPICAL)

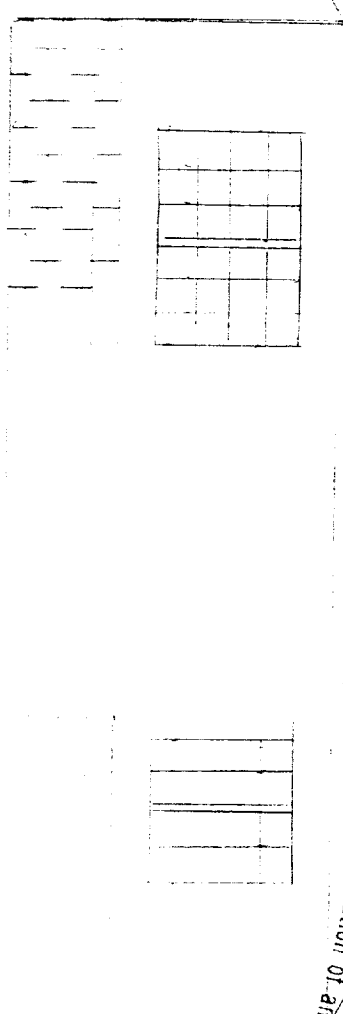
5/12 PITCH

DUAL GUTTER

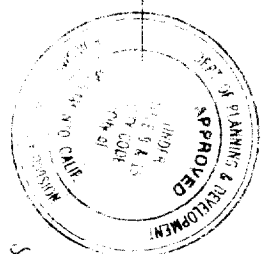


LEFT SIDE ELE. SCALE: 3/16" = 1'0"

*Windows Approved
Thomas's Builders*



3400 20" AVE RIGHT SIDE ELE. SCALE: 3/16" = 1'0"



This set of plans are to be kept on the job at all times and to make any changes same with Building Inspection Dept. The approval of this plan shall NOT be held to be a violation of any City Ordinance or State Law.

RECEIVED
NOV 04 1990
K98-162

**SACRAMENTO CITY DESIGN REVIEW/PRESERVATION BOARD
NOTICE OF STAFF ACTION**

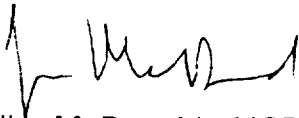
Notice is hereby given that on December 31, 1998 the City of Sacramento Design Review/Preservation Staff APPROVED the following project with conditions. The decision rendered by Staff is appealable to the Design Review/Preservation Board. An appeal must be filed within five days of the Staff decision, at 1231 "I" Street, Room 200, Sacramento, California. Any questions regarding this project may be directed to Jim McDonald, at (916) 264-5723.

DR/PB PROJECT NUM.: DR98-165

ASSESSOR'S PARCEL NUM.: 020-0206-001

LOCATION: 3400/3402 20th Av. & 4511 34th St.

PROJECT DESCRIPTION: Minor exterior modifications to an existing duplex and single family home in the R-1 zone, including: roof mounted HVAV units, doors, siding, windows, roof and trim.



Jim McDonald, AICP
Associate Planner
Design Review/Preservation
Development Services Division

JM:jm:DR98-165.ACT