

CITY OF SACRAMENTO

Permit No: 9809724

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 26 NOAH CT SAC

Sub-Type: ASFR

Parcel No: 0300770007

Housing (Y/N): N

CONTRACTOR

R.A.L. BUILDERS
11618 FAIR OAKS BL
SACRAMENTO, CA

95628

OWNER

OKAMURA DENNIS G & S. ANN
26 NOAH CT
SACRAMENTO CA

95831

ARCHITECT

Nature of Work: PATIO COVER

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 07460 Date 9/20 Contractor Signature Chandra Spate

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 10-1-98 Applicant/Agent Signature Chandra Spate

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10-1-98 Applicant Signature Chandra Spate

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

**City of Sacramento Development Services Division
Planning and Zoning Information Request**

Project Address: 24 NOAH CT

Assessor's Parcel Number: 030-0770-007

Current Land Use: YES

Description of Request/Proposed Use: _____

NEW SCREEN PATIO

Zoning Designation: _____

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: SETBACKS + LOT COVERAGES O.K

Are There Any Planning Issues?: (Circle One) YES NO

Site Plan Check Required? (Circle One) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

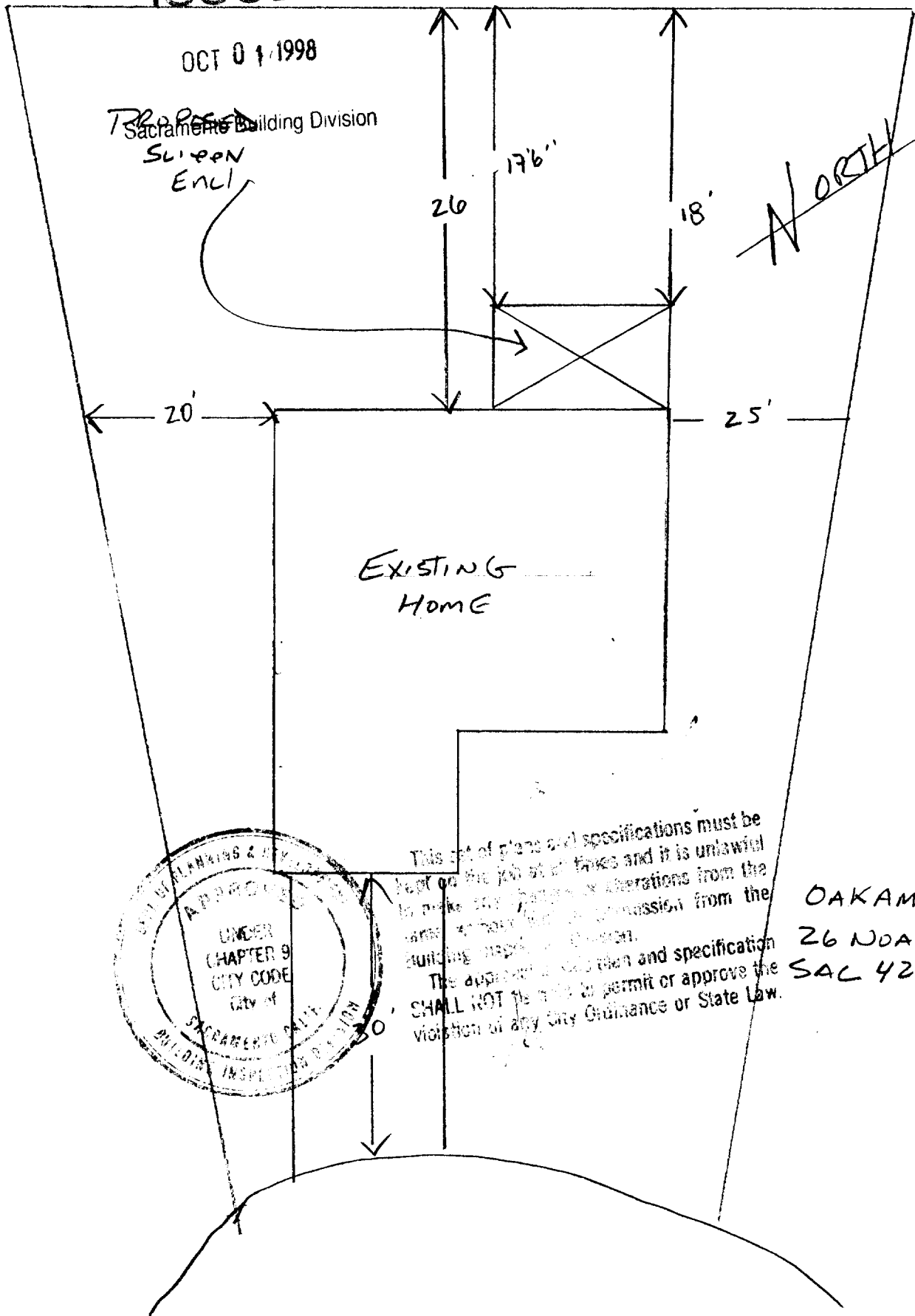
Planning Review by/Date: Hick 10.1.98

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

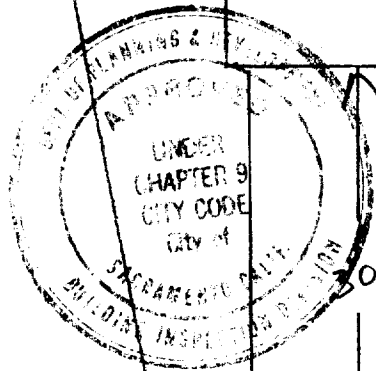
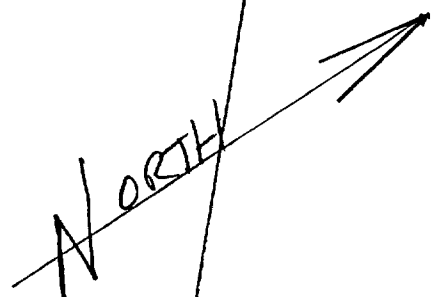
ISSUED

OCT 01 1998

Proposed Building Division
Sacramento Building Division
SLEEPER
ENCL



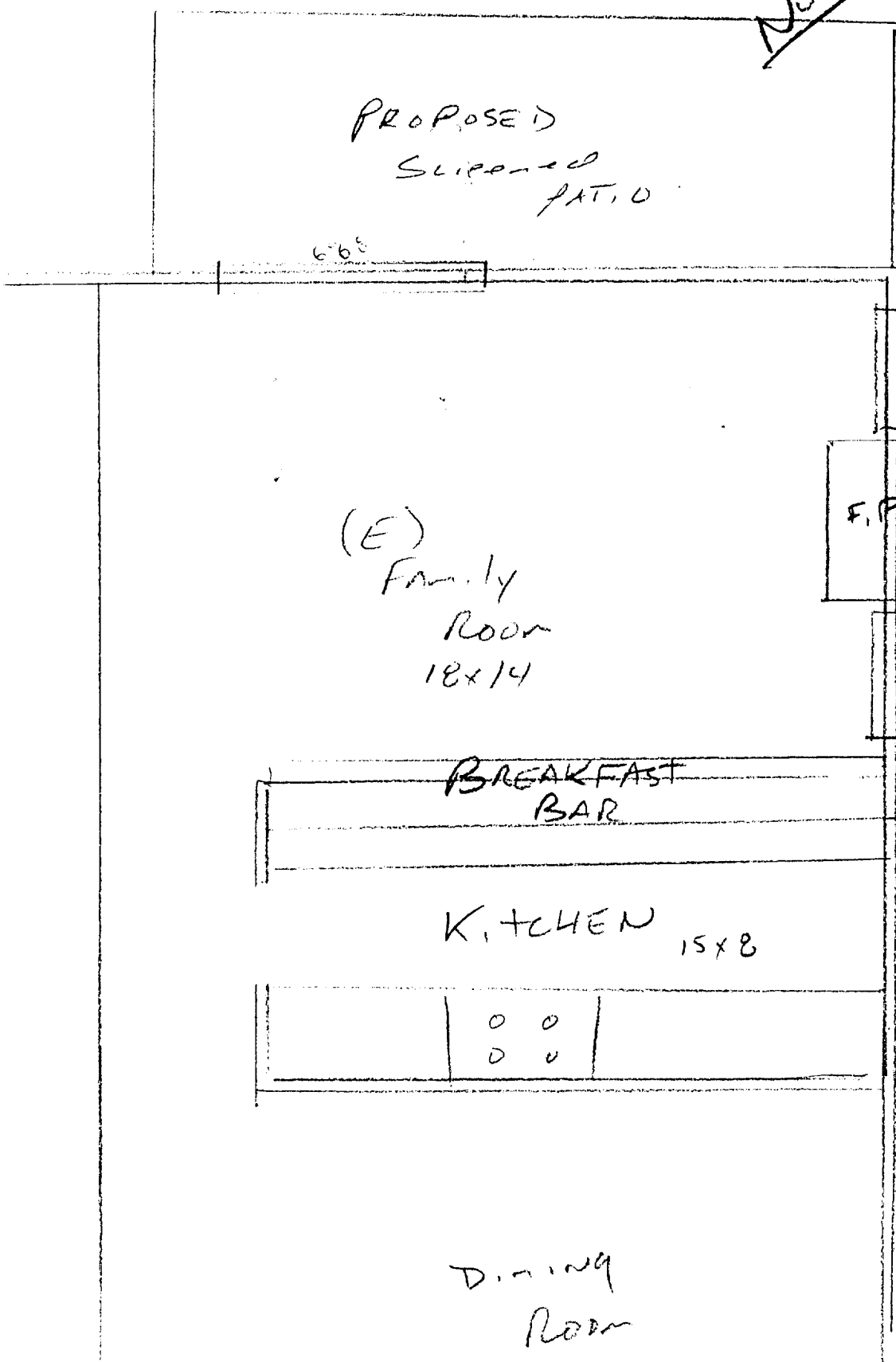
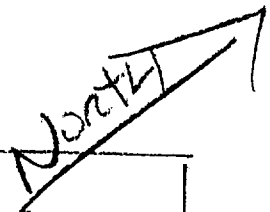
EXISTING
HOME



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without the permission from the building inspection division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

OAKAMURA
26 NOAH CT
SAC 428-2547

LOCATION
MAP



PROPOSED
SCREENED
PATIO

6'6"

3'5"

F.P.

3'5"

(E)
Family
Room
18x14

BREAKFAST
BAR

KITCHEN 15x8

o o
o o

Dining
Room

M/MS DKAMURA
26 NDAH CT.
428-2547

P/L

GRASS AREA

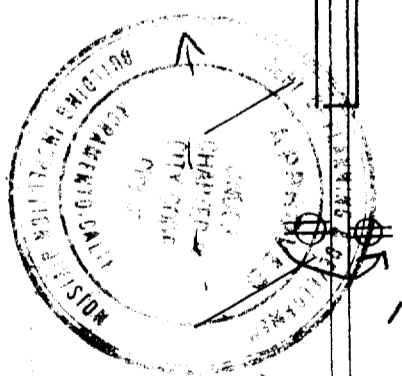
RELOCATE Downspout

EXISTING HOME

ISSUED

OCT 01 1998

Sacramento Building Division



10.11.98

HP

This set of Plans and specifications must be approved by the City Engineer and approved by the City Council. The City Engineer shall not be held responsible for any errors or omissions in the Plans and specifications. The City Engineer shall not be held responsible for any errors or omissions in the Plans and specifications. The City Engineer shall not be held responsible for any errors or omissions in the Plans and specifications.

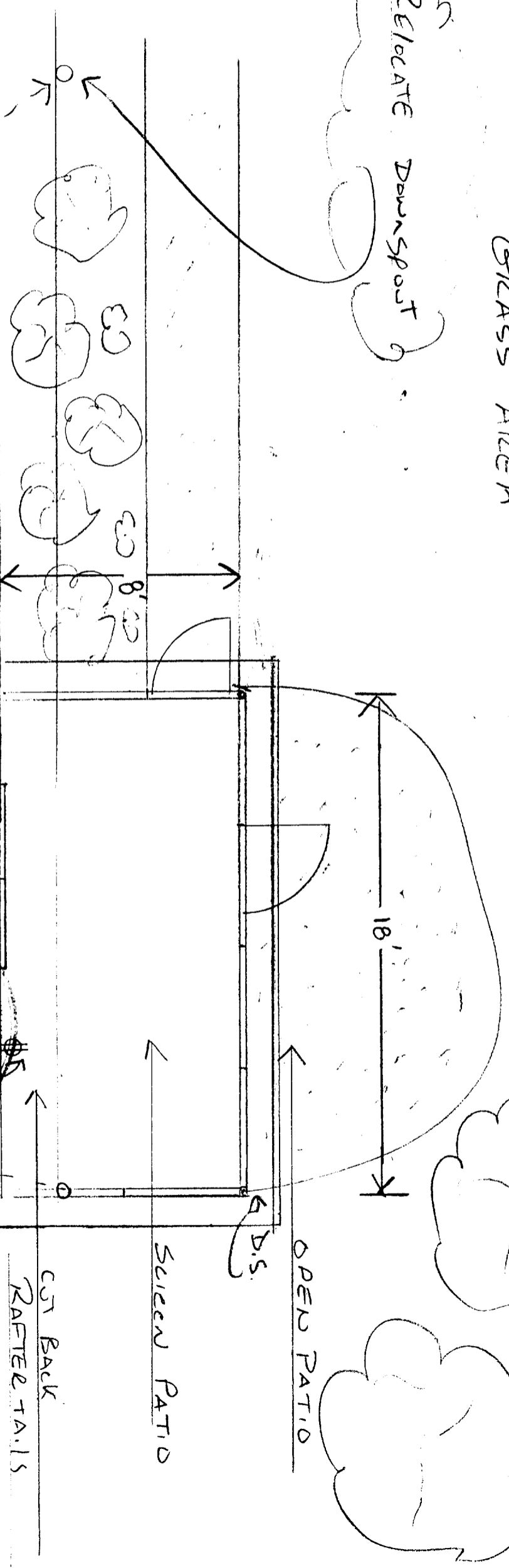
CUT BACK
RAFTER TAILS
AND GUTTER

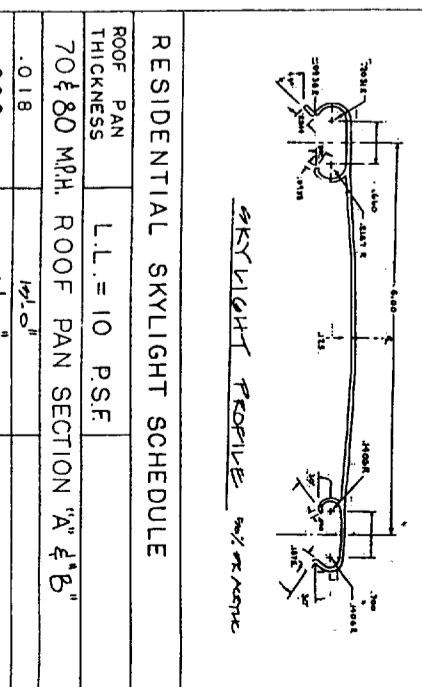
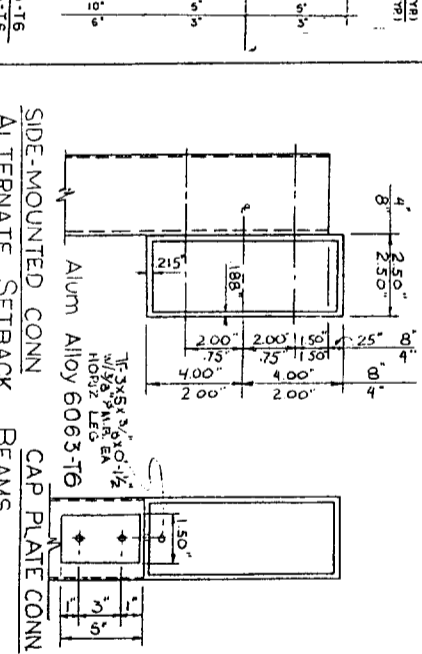
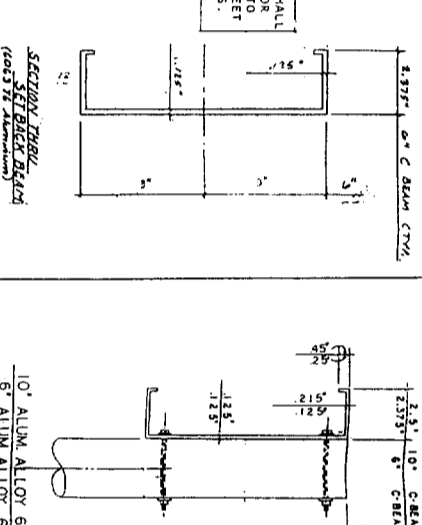
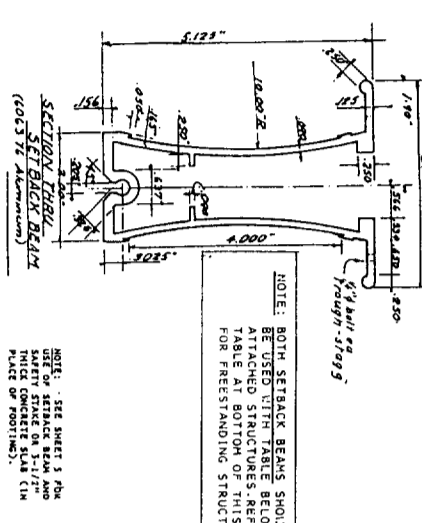
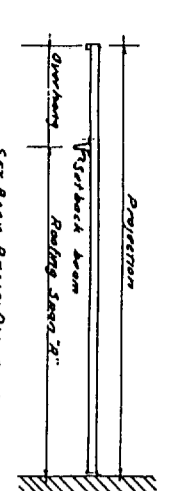
SCREEN PATIO

OPEN PATIO

A.D.S.

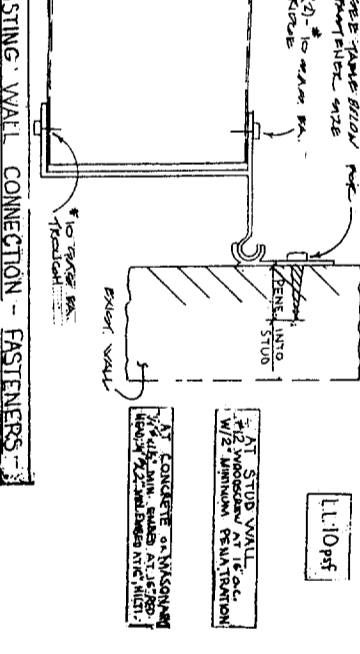
18'





Beam	Section	Overhang	10"	6"	20"	40"
Minimum Post Spacing (ft)	7.0	7.0	7.0	7.0	7.0	7.0
Maximum Post Spacing (ft)	10.0	10.0	10.0	10.0	10.0	10.0
Minimum Post Spacing (in)	84	84	84	84	84	84
Maximum Post Spacing (in)	120	120	120	120	120	120

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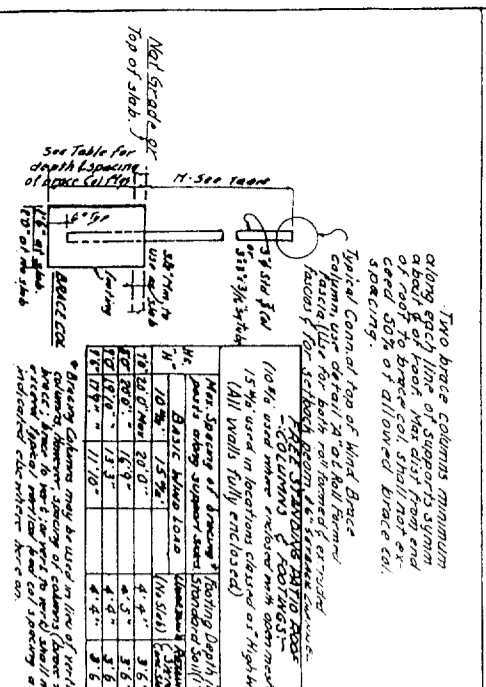
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CITY OF LOS ANGELES
STANDARD PLAN # 118

DATE: 5-30-88
SCALE: NONE
DRAWN: K.K. / C.L.
REVIEWED: J.G. / J.B.

FOX ENGINEERING INC.
JAMES M. FOX, S. J. CIVIL ENGINEER
JAMES G. FOX, CIVIL ENGINEER
8080 TELEGRAPH RD., DOWNEY, CALIF.

ROOF LIVE LOAD
10 P.S.F.

AIRFLO ALUMINUM AWNING COMPANY
13012 CRENSHAW BOULEVARD - BOX 1427
GARDENA, CALIFORNIA 90249
(213) 529-6335 / (213) 321-6611

JOB NO. 85-13005
SHEET 3 OF 4

GENERAL NOTES & SPECIFICATIONS

1. THIS ENCLOSURE SYSTEM IS LIMITED TO RECREATION AND OUTDOOR PATIO, GARAGE, STORAGE, OR HABITABLE ROOM CARPORT, GARAGE, STORAGE, OR HABITABLE ROOM.
2. THIS ENCLOSURE SYSTEM TO BE INSTALLED UNDER ANY ENCLOSURE COVER WHICH IS SPECIFIED FOR BUILDING CODE.
3. DESIGN LOADS: 10 PSF ROOF LIVE LOAD, 1 TON/FT² WIND LOAD.

4. FASTENERS: "POP" RIVETS, WHERE SHOWN, SHALL BE 1/8" DIA ALUMINUM RIVET WITH CARRON STEEL PLATED MANDREL BEING MANUFACTURED BY THE U.S. VANCE COMPANY. FASTENERS SHALL BE SIZES GALVANIZED STEEL OR 2024-T4 ALUMINUM.
5. ALL STRUCTURAL COMPONENTS OF THIS ENCLOSURE SYSTEM (EXCEPT SOLID PANELS) ARE OF ALUMINUM MEMBER 6063-T6 (EXCEPT SOLID PANELS) NOTED OTHERWISE.
6. THE SOLID WALL PANELS SHOWN SHALL COMPLY WITH AN I.C.D.O. REPORT COVERED AND RECOGNIZED BY I.C.D.O. EVALUATION SERVICE, INC. REFORCED PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CAULKED.
7. WHERE ENCLOSURE IS REQUIRED TO BE LEFT OPEN, PER SECTION 4.50 OF THE APPENDIX TO THE UNIFORM BUILDING CODE, THE MINIMUM OPEN AREA IN THE LONGER WALL AND BELOW A MINIMUM OF 5.8% OF EACH WALL (MIN. OF THE AREA FOR EACH WALL) SHALL BE PROVIDED TO PERMIT AIR FLOW THROUGH THE ENCLOSURE SYSTEM. PERMANENTLY AND ADDRESS OF THE MANUFACTURER, DESIGN LOADS, AND I.C.D.O. EVALUATION SERVICE REPORT NUMBER.

8. ALUMINUM SURFACES IN CONTACT WITH WOOD OR CONCRETE SHALL BE GIVEN A HEAVY COAT OF ALKALI-RESISTANT PRIMER PAINT MEETING THE REQUIREMENTS OF U.S. MILITARY SPECIFICATION MIL-P-16883.
9. A 6'-0" MAX. WIDTH SLIDING TEMPERED GLASS OR PLASTIC DOOR MAY BE INSTALLED IN ENDOWALLS WHERE SOLID PANELS ARE PERMITTED (SEE NOTE 10). ANY 6'-0" WIDTH SLIDING PLASTIC DOOR MAY BE INSTALLED IN ANY NON-BEARING WALL.
10. ALUMINUM SURFACES IN CONTACT WITH WOOD OR CONCRETE SHALL BE GIVEN A HEAVY COAT OF ALKALI-RESISTANT PRIMER PAINT MEETING THE REQUIREMENTS OF U.S. MILITARY SPECIFICATION MIL-P-16883.

TABLE "A" PANEL WIDTHS

MAX PANEL HEIGHT	MAX PANEL WIDTH
8'-0"	48"
9'-0"	42"
9'-6"	36"

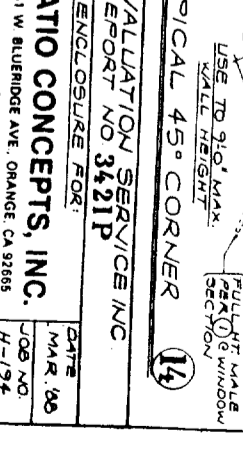
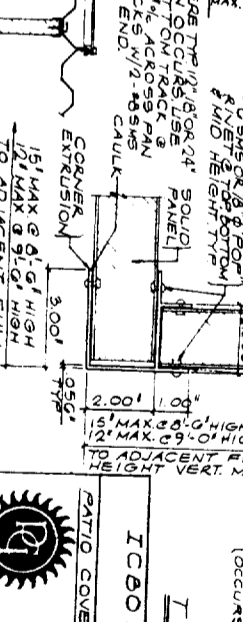
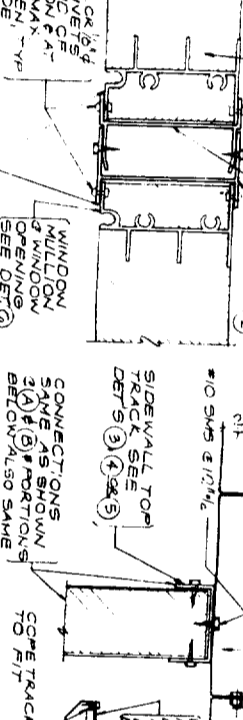
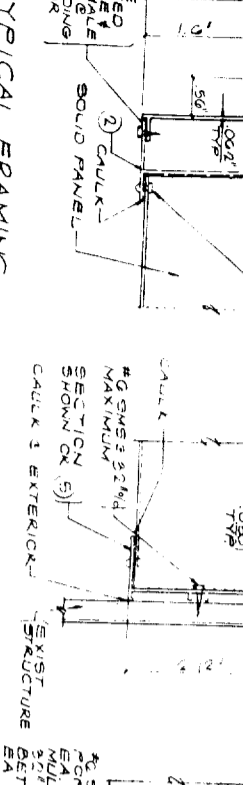
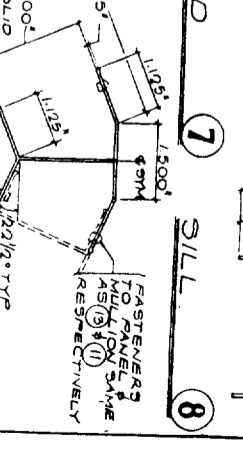
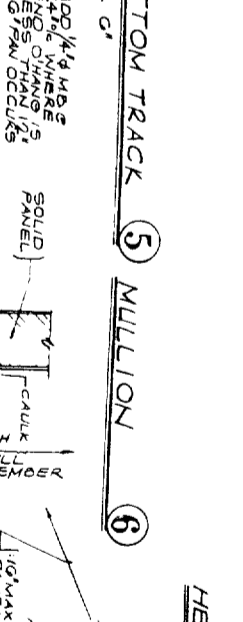
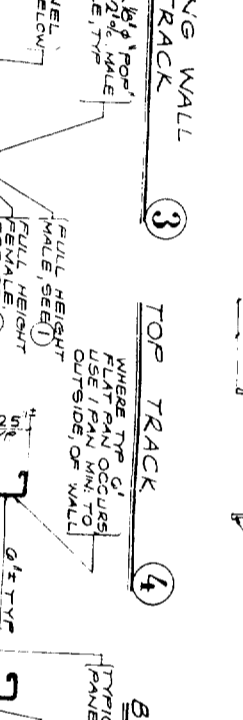
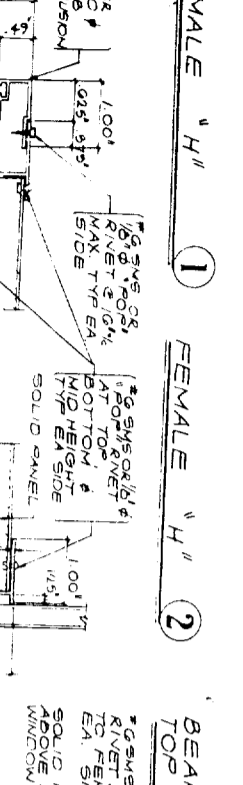
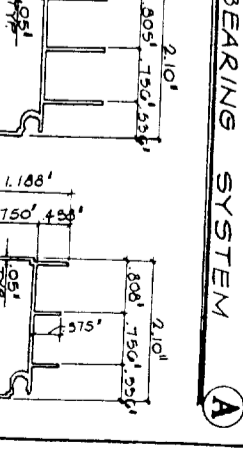
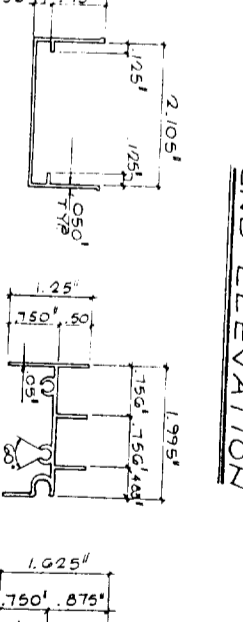
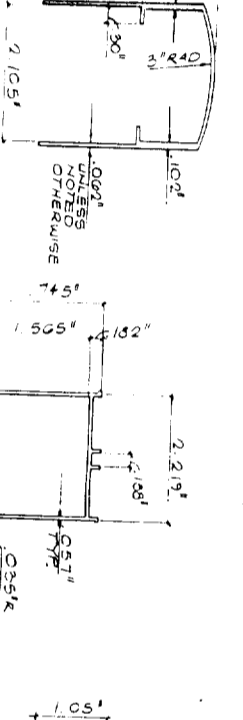
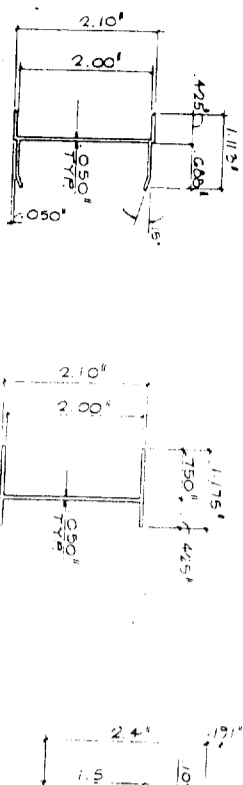
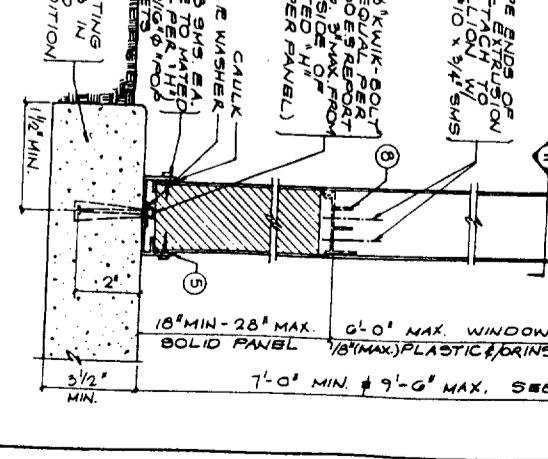
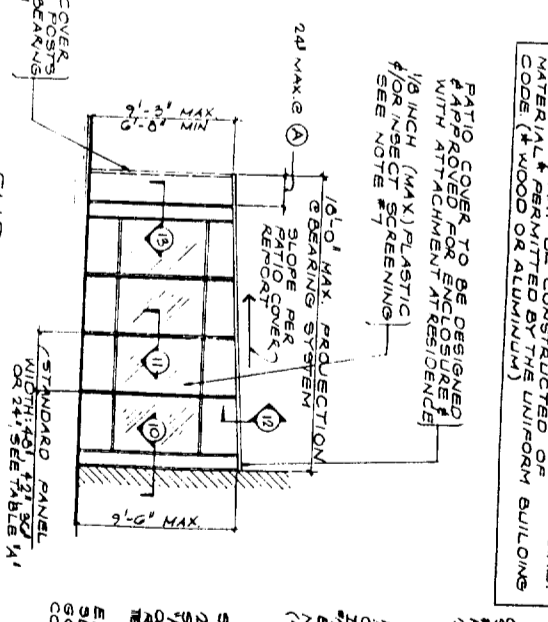
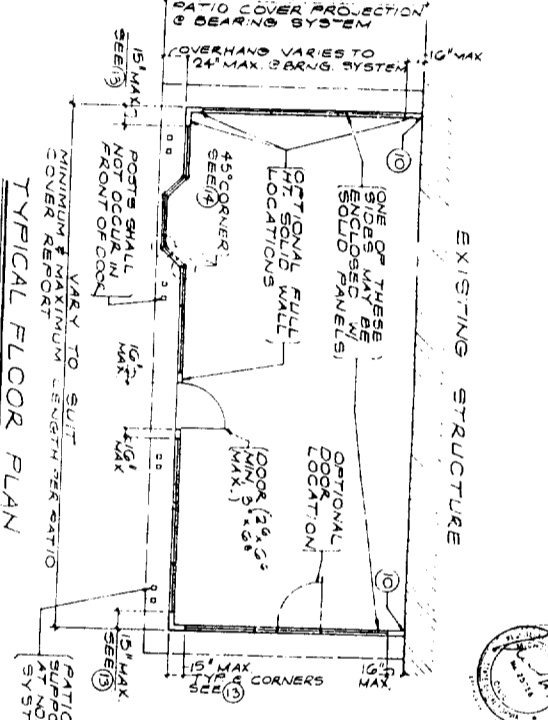
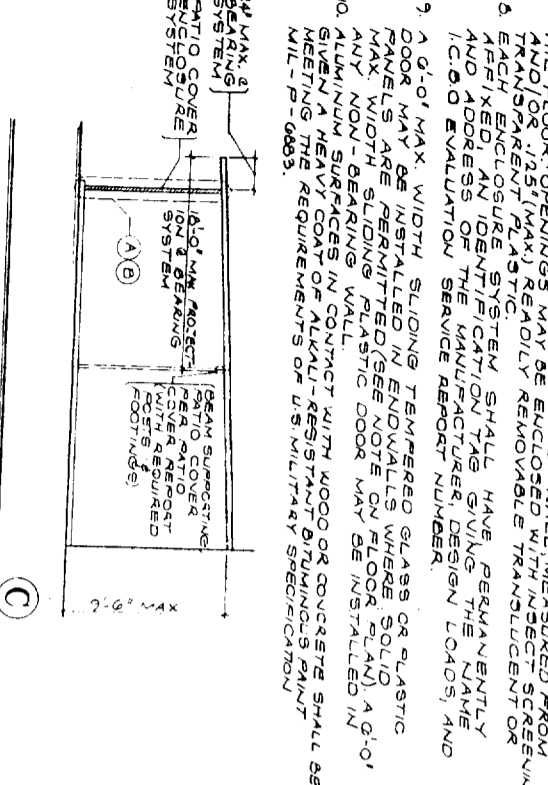
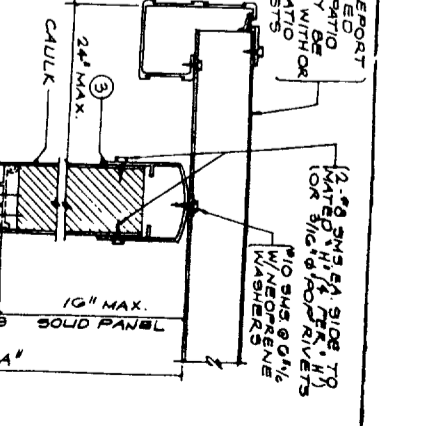
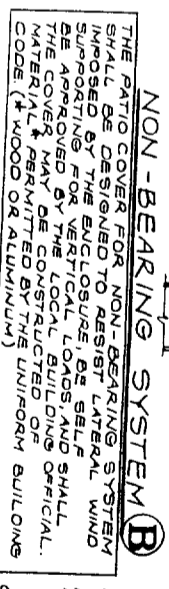
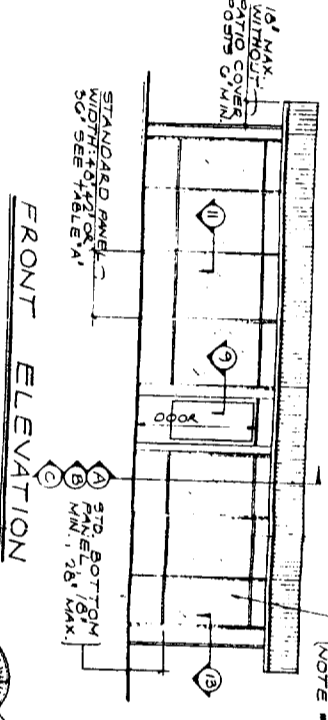
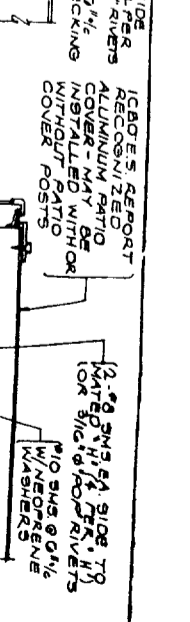
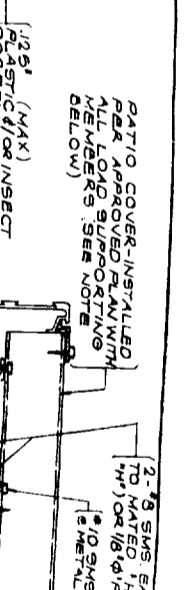


TABLE "A" PANEL WIDTHS

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ICDO EVALUATION SERVICE INC. REPORT NO. 3421P

PATIO COVER ENCLOSURE FOR:

PATIO CONCEPTS, INC.
341 W BLUESIDGE AVE. ORANGE, CA 92665
(714) 898-9130

DATE: MAR '85
JOB NO: H-194
DRAWN BY: T.CANAVIA
CHKD BY: P.VANCE
DATE: 1985

ASHTON, VANCE AND ASSOCIATES, INC.
98 WEST FOOTHILL BOULEVARD
CLAREMONT, CALIFORNIA 91711
TELEPHONE: (714) 824-8855

1945 / OF 1