

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Donald Joseph Inc., 2555 3rd St., Suite 215, Sacramento, CA 95818
OWNER Robert Delponte, 6371 Riverside Blvd., Sacramento, CA 95831
PLANS BY Donald Joseph Inc., 2555 3rd St., Suite 215, Sacramento, CA 95818
FILING DATE 4/14/89 ENVIR. DET. Negative Declaration REPORT BY CL:kjr
ASSESSOR'S PCL. NO. 036-0063-011 and 012

- APPLICATION:
- A. Negative Declaration
 - B. Lot Line Adjustment to merge two undeveloped parcels
 - C. Plan Review for a six unit apartment complex on 0.3+ acres in the Multi-Family Review [R-3R(EA-4)] zone

LOCATION: 2601 47th Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to merge two parcels into one and develop a six unit apartment complex

PROJECT INFORMATION:

General Plan Designation: Medium Density Residential (16-29 du/na)
1984 Airport/Meadowview Community
Plan Designation: Residential (11-21 du/na)
Existing Zoning of Site: R-3-R (EA-4)
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family Residential; R-1 (EA-4)	Front:	25'	25'
South: Single & Multi-Family Residential; R-1(EA-4)	Side(Int):	5'	8'
East: Single Family Residential; R-1(EA-4)	Side(St):	25'	31'
West: Vacant; R-3(EA-4)	Rear:	15'	52'8"

Parking Required: 9 Spaces
Parking Provided: 9 Spaces
Property Dimensions: 90' x 150'
Property Area: 0.3+ acres
Density of Development: 20 d.u. per acre
Square Footage of Building: 912.5 sq. ft. per unit
Height of Building: 26 ft., 2 stories
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Stucco, lap siding
Roof Material: Composition

APPLC. NO. P89-182 MEETING DATE May 25, 1989 ITEM NO. 17

PROJECT EVALUATION: Staff has the following comments:A. Land Use/Zoning

The subject site consists of 0.3+ vacant acres in the Multi-Family Review [R-3R(EA-4)] zone. The General Plan designates the site Medium Density Residential (16-29 du/na). The 1984 Airport/Meadowview Community Plan designates the site Residential (11-21 du/na). The surrounding land use and zoning includes Single Family Residential, zoned R-1(EA-4), to the north; Single and Multi-Family Residential, zoned R-1(EA-4), to the south; Single Family Residential, zoned R-1(EA-4), to the east; and Vacant, zoned R-3(EA-4), to the west.

B. Applicant's Proposal

The applicant proposes to merge two lots into one in order to construct a six unit apartment complex. The units are two bedroom and two bathroom containing 912.5 square feet each. The structure is two stories with three units on each level. These apartments require Planning Commission review and approval. The applicant also proposes to build the same six units on the adjacent property across the alley. These units across the alley, however, are zoned R-3 and require no Planning Commission review.

C. Building Design

The building is constructed using stucco and hardboard lap siding. The structure is two story with a composition shingle roof.

Staff recommends the following modifications to improve the overall project:

1. The applicant should reverse the building orientation so that the side of unit number 1 is facing Ventura Street and unit 3 is near the parking area. This is to better allow the enhancement of the elevation facing Ventura Street. This enhancement can be achieved by wrapping the second story balconies around facing Ventura Street. Staff also suggests a window be placed on the wall facing the balcony. These balconies can project 2 feet into the front yard setback without requiring a variance.
2. The portion of the sidewalk which extends from the apartments toward the public right-of-way of 47th Avenue should be removed to minimize on-street parking.
3. Staff suggests the redesign of the stairs with the toe of the stairs directed toward the parking lot such as an L-shaped stairway with an intermediate landing.
4. The windows should be trimmed using the standard window trim treatment as shown in Exhibit C.
5. The applicant should provide a raised planter or large shrubs along the stucco walls facing 47th Avenue in order to break up the bare wall.

D. Parking and Circulation

The six unit apartment complex requires nine parking spaces. The applicant proposes nine spaces located with access from the alley. The parking lot and alley shall be paved to City standards. The alley shall line up with the existing alley and not be offset as shown on proposed site plan.

To improve the design, staff suggests the following modifications:

1. The parking stall directly adjacent to the wall of the building shall be an oversized compact stall in order to allow easier maneuverability.
2. The parking lot should be screened from view from 47th Avenue by a low stucco wall. The wall should look similar to the building and be located directly adjacent to the parking area. There should also be landscaping in front of this wall.
3. The applicant shall also provide a 6 foot solid masonry wall along the property line between the parking area and the adjacent single family residential lot.

E. Landscaping

The applicant shall landscape the 25 foot setback areas including the area fronting the parking lot with a combination of berming, shrubs, and trees.

The parking area shall meet the 50 percent shade requirements of the Zoning Ordinance.

F. Lighting

The lighting on the site must meet the requirements of the Personal Safety Ordinance and should be shielded from adjacent residential properties.

G. Trash Enclosure

The trash enclosure is located with its access off the alley. There needs to be an opening for pedestrian access from the interior of the site and the access gates should not face the alley. The trash enclosure shall be built to the requirements of the Zoning Ordinance.

H. Agency Comments

The proposed project was reviewed by Engineering Development Section, Traffic Engineering, Fire, and Building Inspections. The following comments were received:

Engineering Development Section

1. The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

- a. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees (presently \$500).
 - b. File a waiver of Parcel Map.
 - c. Pay off or segregate any existing assessments.
 - d. Coordinate with County Sanitation District
2. Dumpsters should be accessible from site without going into alley.
 3. Parking spaces adjacent to masonry wall and in NE corner appear to have access problems for maneuvering.

Traffic Engineering

1. The main access for the units will be from Hermosa Street and Ventura Street.
2. The full right-of-way of the alley shall be improved with no obstructions.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment and has filed a Negative Declaration.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Lot Line Adjustment to merge two lots into one by adopting the attached resolution.
- C. Approve the Plan Review of a six unit apartment building subject to conditions and based upon findings of fact which follow.

Conditions - Plan Review

1. The building orientation shall be reversed so Unit 1 is facing Ventura Street and Unit 3 is near the parking area.
2. The second story balconies shall wrap around the building to the Ventura Street side.
3. The portion of the sidewalk extending from the apartments toward the public right-of-way of 47th Avenue shall be removed.
4. The stairs shall be redesigned so the toe of the stairways points toward the parking lot.

5. The windows shall be trimmed using the standard window trim treatment per Exhibit C.
6. The applicant shall provide a raised planter or large shrubs along the stucco walls facing 47th Avenue.
7. The parking lot and alley shall be paved to City standards.
8. The alley shall line up with the existing right-of-way. The full right-of-way shall be improved, with no obstructions, to the satisfaction of the Public Works Department.
9. The parking lot shall be screened from view by a low stucco wall similar to the building.
10. The applicant shall provide a 6 foot masonry wall along the property line between the parking area and the adjacent single family lot.
11. The applicant shall landscape the 25 foot setback areas with a combination of berming shrubs and trees.
12. Revised plans indicating modified elevations and site plan shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
13. A detailed landscape plan shall be submitted to the Planning Director for review and approval prior to issuance of building permit.
14. The trash enclosure shall have an opening for pedestrian access and be built to the requirements of the Zoning Ordinance. Access gates shall not open into the alley.

Findings of Fact - Plan Review

1. The project, as conditioned, is based upon sound principles of land use, in that the design and number of proposed units are compatible with the surrounding uses.
2. The project, as conditioned, will not be detrimental to the public health, safety, or welfare, nor result in the creation of a nuisance, in that:
 - a. adequate on-site parking and landscaping is provided; and
 - b. the project adheres to the multi-family design criteria.

3. The project is consistent with the General Plan and the 1984 Airport/Meadowview Community Plan which designates the site for a maximum density of 21 du/na, in that the proposed apartment complex conforms with the plan designation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION
ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE TWO PARCELS
INTO ONE PARCEL AT 2601 47TH AVENUE

(APN: 036-0063-011, 012)

(P89-182)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 2601 47th Avenue; and

WHEREAS, the lot line adjustment has been given a Negative Declaration by the Environmental Coordinator; and

WHEREAS, the lot line adjustment is consistent with the General Plan and 1984 Airport/Meadowview Community Plan; and the proposed lot line adjustment conforms with the Plan Designation;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 2601 47th Avenue, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following conditions:

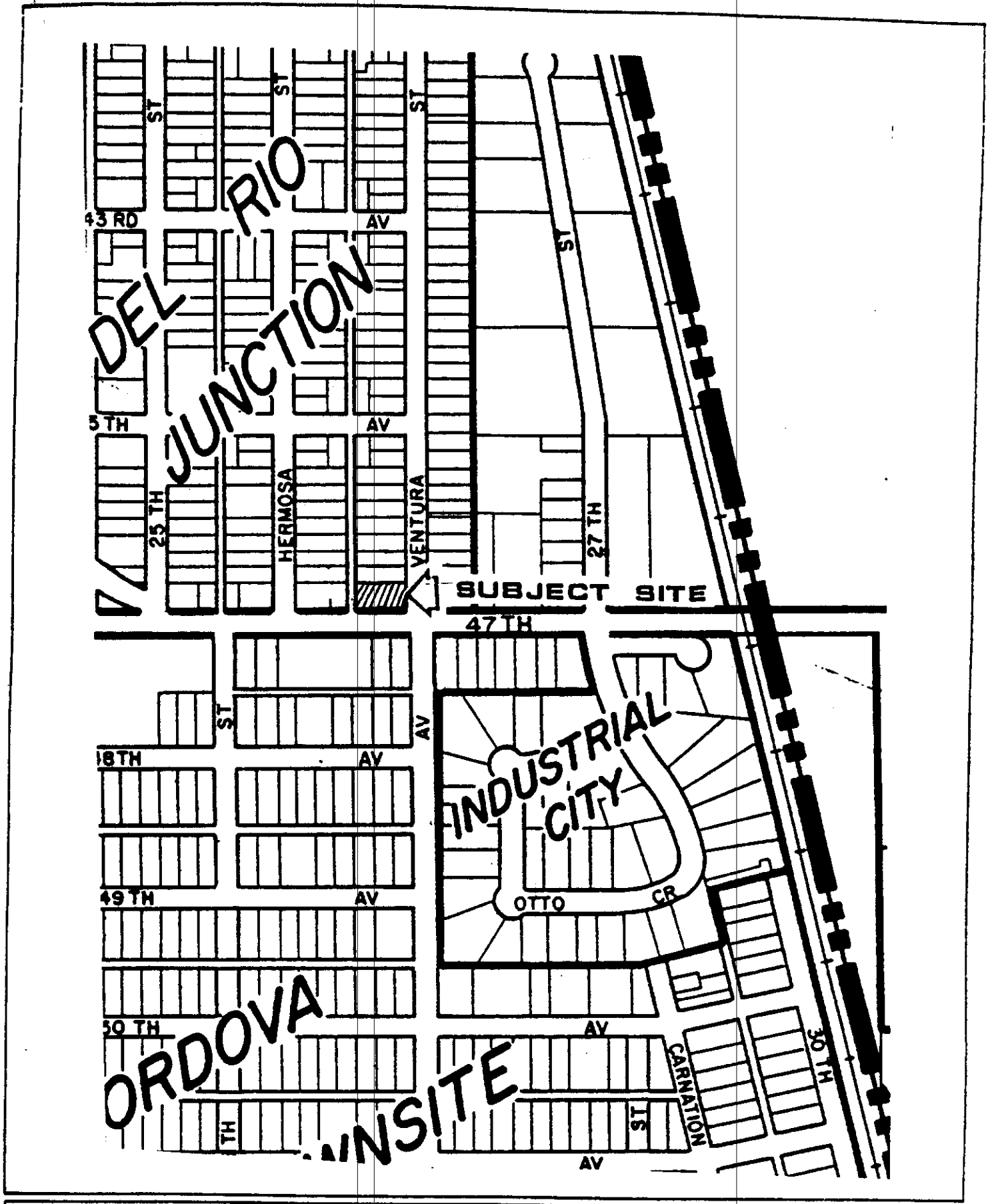
The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
2. File a waiver of Parcel Map.
3. Pay off or segregate any existing assessments.
4. Coordinate with County Sanitation District
5. Approval subject to the following notice: The property on which construction is authorized by this permit may be subject to flooding. It is the applicant's and property owner's responsibility to ascertain whether and to what extent such flooding may occur, and to review the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBFM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning

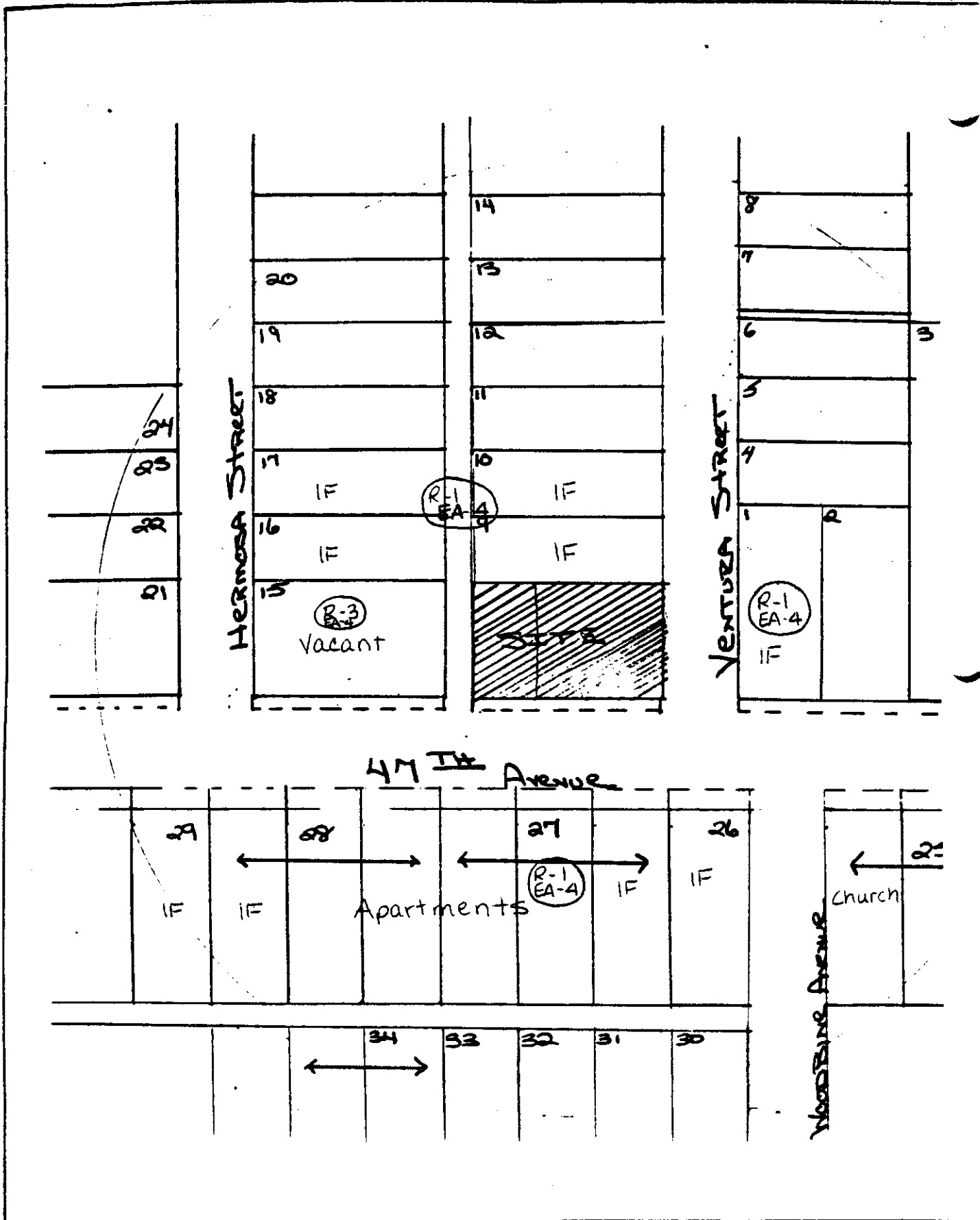
Division. The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not. If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owner's responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants, and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject. This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development. This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents, or employees for any damages to persons or property caused by flooding.

CHAIRPERSON

SECRETARY TO CITY PLANNING COMMISSION



VICINITY MAP



LAND USE & ZONING MAP

FRONT & REAR ELEVATIONS
Ventura Garden Apartments
Sacramento, Ca.

A-3

REAR ELEVATION
SEE PLAN SHEET 9 FOR TYPICAL WINDOW SIZES
Typical

FRONT ELEVATION
SEE PLAN SHEET 9 FOR TYPICAL WINDOW SIZES
Typical

NOTES:

- 1. FINISHES TO BE AS SHOWN ON SHEET 9.
- 2. ALL WINDOWS TO BE 1/2" MIN. CLEARANCE TO FINISH SURFACE.
- 3. ALL DOORS TO BE 1/2" MIN. CLEARANCE TO FINISH SURFACE.
- 4. ALL EXTERIOR WALLS TO BE 8" MIN. THICK UNLESS OTHERWISE NOTED.
- 5. ALL EXTERIOR WALLS TO BE FINISHED WITH 1/2" MIN. THICK PLASTER OR CONCRETE.
- 6. ALL EXTERIOR WALLS TO BE FINISHED WITH 1/2" MIN. THICK PLASTER OR CONCRETE.
- 7. ALL EXTERIOR WALLS TO BE FINISHED WITH 1/2" MIN. THICK PLASTER OR CONCRETE.
- 8. ALL EXTERIOR WALLS TO BE FINISHED WITH 1/2" MIN. THICK PLASTER OR CONCRETE.
- 9. ALL EXTERIOR WALLS TO BE FINISHED WITH 1/2" MIN. THICK PLASTER OR CONCRETE.
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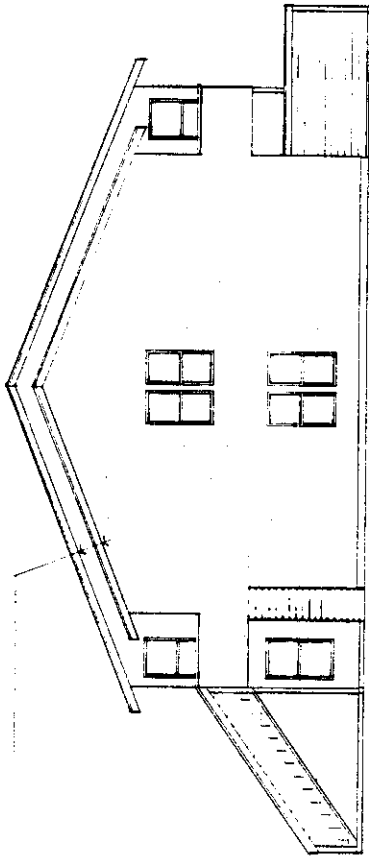
DONALD JOSEPH CO

Architects

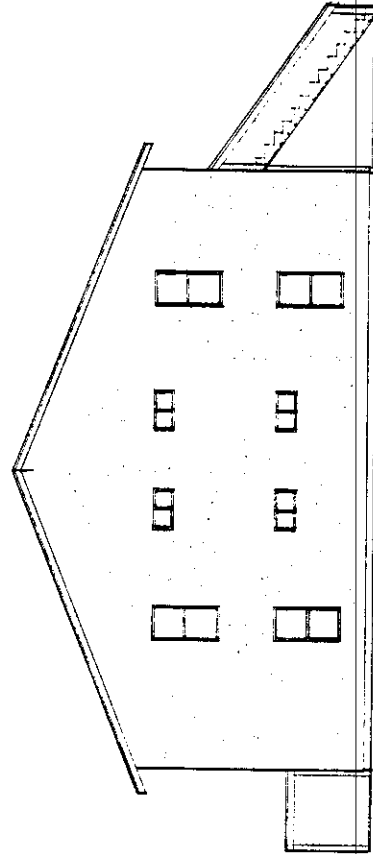
1000 J STREET, SACRAMENTO, CA 95811

Right & Left Elevations
Ventura Garden Apartments
Sacramento, Ca.

A-4



RIGHT ELEVATION
SEE PLAN AND SECTION A FOR TYPICAL NOTES AND DIMENSIONS
Typical

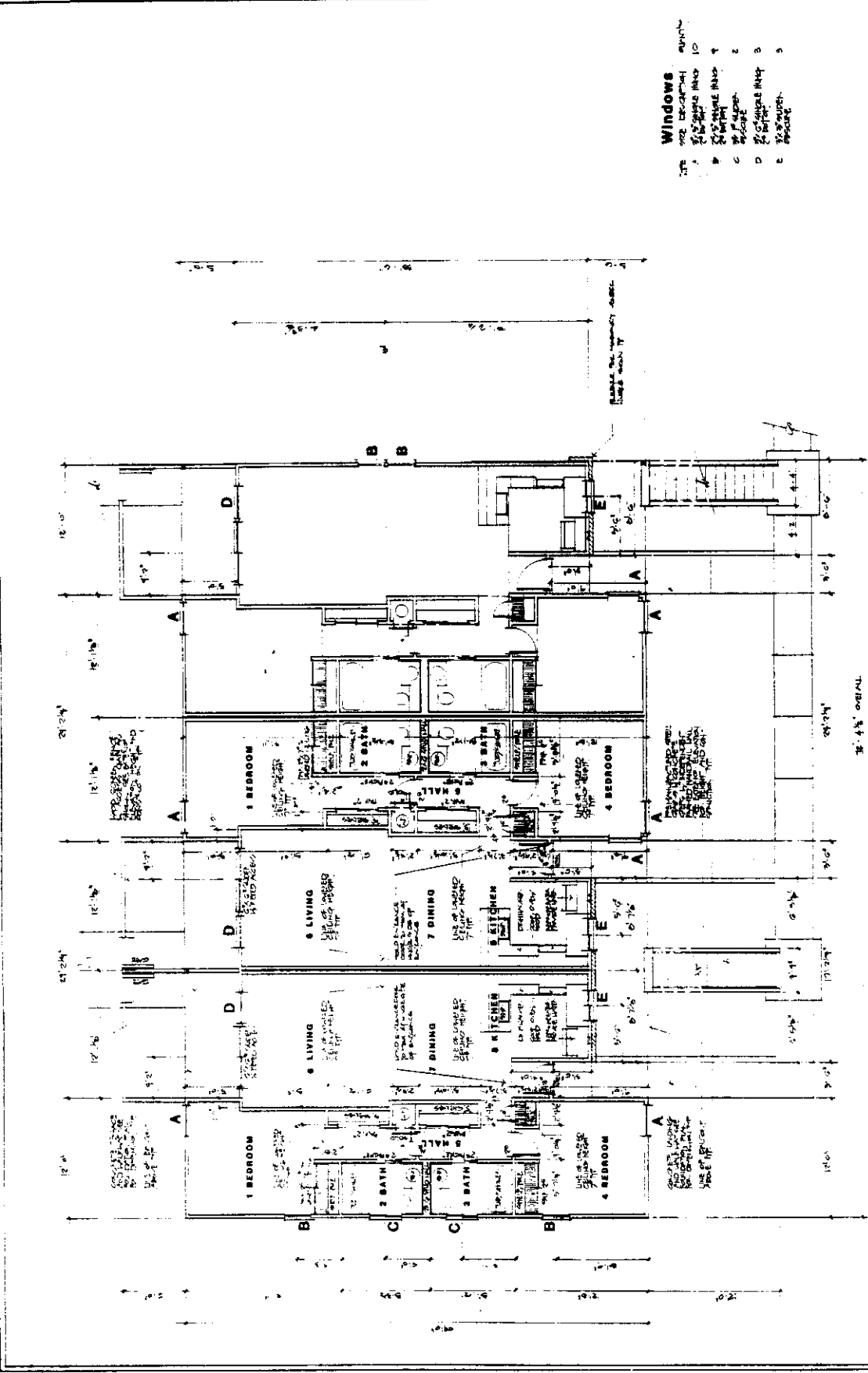


LEFT ELEVATION
SEE PLAN AND SECTION A FOR TYPICAL NOTES AND DIMENSIONS
Typical

231-182

5-25-89

Item # 7



- Windows**
- 1. 1st Floor Living Room
 - 2. 1st Floor Dining Room
 - 3. 1st Floor Kitchen
 - 4. 1st Floor Bedroom
 - 5. 1st Floor Bathroom
 - 6. 2nd Floor Living Room
 - 7. 2nd Floor Dining Room
 - 8. 2nd Floor Kitchen
 - 9. 2nd Floor Bedroom
 - 10. 2nd Floor Bathroom

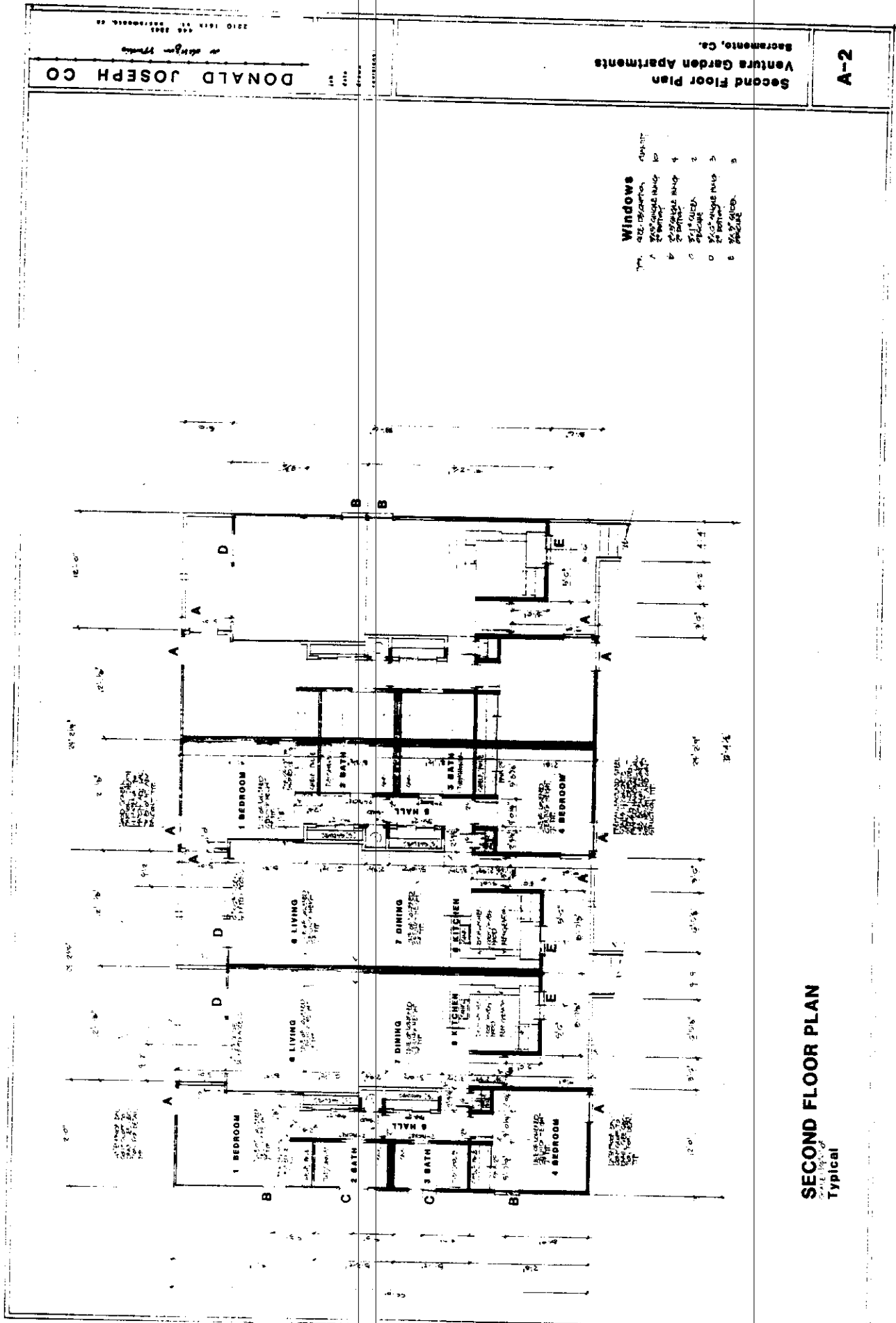
General Notes
1. All dimensions are in feet and inches.
2. All work to be done in accordance with the specifications and details.
3. The contractor shall be responsible for obtaining all necessary permits.
4. The contractor shall be responsible for the safety of all workers and the public.
5. The contractor shall be responsible for the protection of all existing utilities.

GROUND FLOOR PLAN
Typical

781-182

5-25-89

Item # 17



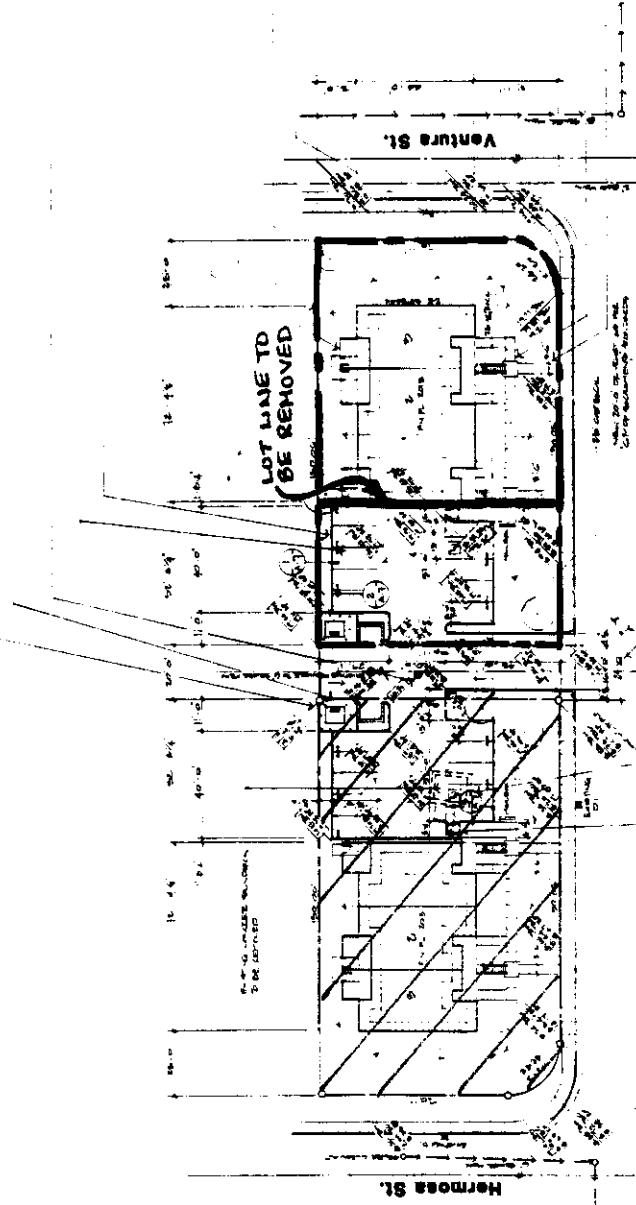
DONALD JOSEPH CO
 1415 1/2
 1415 1/2
 1415 1/2

EXHIBIT A
 PLANNING DEPARTMENT
 SACRAMENTO, CA

THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LOT LINE ADJUSTMENT FOR THE ABOVE DESCRIBED PROPERTY. THE PROPOSED LOT LINE ADJUSTMENT IS BASED UPON THE RECORD PLANS FOR THE PROPERTY AND THE RECORD PLANS FOR THE ADJACENT PROPERTY. THE PROPOSED LOT LINE ADJUSTMENT IS BASED UPON THE RECORD PLANS FOR THE PROPERTY AND THE RECORD PLANS FOR THE ADJACENT PROPERTY.

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- Legend**
- EXISTING LOT LINE
 - PROPOSED LOT LINE
 - EXISTING BUILDING FOOTPRINT
 - PROPOSED BUILDING FOOTPRINT
 - EXISTING DRIVEWAY
 - PROPOSED DRIVEWAY
 - EXISTING UTILITY LINE
 - PROPOSED UTILITY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING CURB
 - PROPOSED CURB
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - EXISTING TREE
 - PROPOSED TREE
 - EXISTING SIGN
 - PROPOSED SIGN
 - EXISTING FENCE
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THE PROPOSED LOT LINE ADJUSTMENT IS BASED UPON THE RECORD PLANS FOR THE PROPERTY AND THE RECORD PLANS FOR THE ADJACENT PROPERTY. THE PROPOSED LOT LINE ADJUSTMENT IS BASED UPON THE RECORD PLANS FOR THE PROPERTY AND THE RECORD PLANS FOR THE ADJACENT PROPERTY.

SITE PLAN
 SCALE: 1" = 20'-0"

Lot Line Adjustment Exhibit

EXHIBIT B

LEGAL DESCRIPTION - P89182

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SACRAMENTO, CITY OF SACRAMENTO, LOT 62 OF DEL RIO JUNCTION, FILED IN BOOK 8 OF MAPS, MAP NO 38, SACRAMENTO COUNTY RECORDS; EXCEPTING THEREFROM THE SOUTH 10 FEET OF LOT 62 AND ALSO EXCEPTING THEREFROM THAT PORTION OF LOT 62 LYING EASTERLY AND SOUTHEASTERLY OF A CURVE OF 20 FEET RADIUS CONNECTING THE EAST LINE OF SAID LOT 62 WITH THE NORTH LINE OF THE SOUTH 10 FEET OF LOT 62.

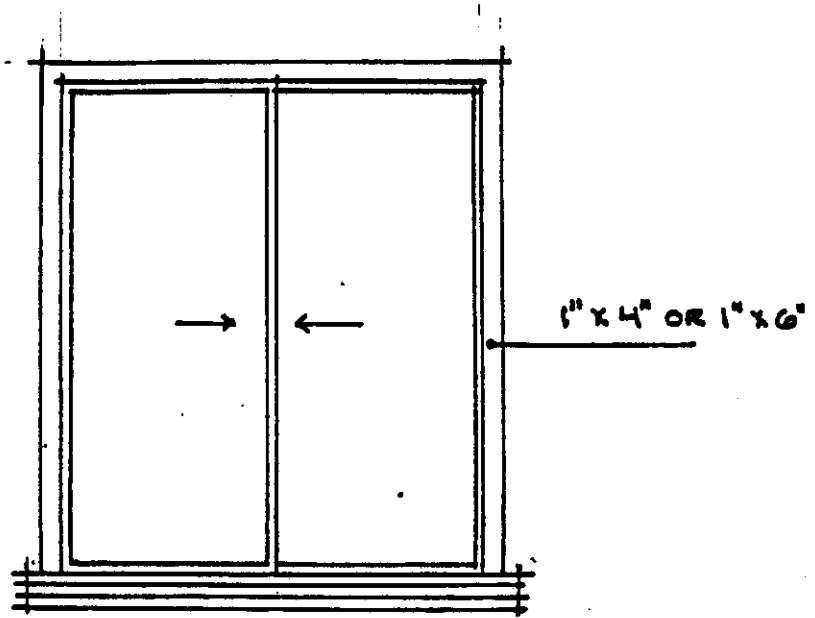
LOT LINE ADJUSTMENT P89182

P 89182

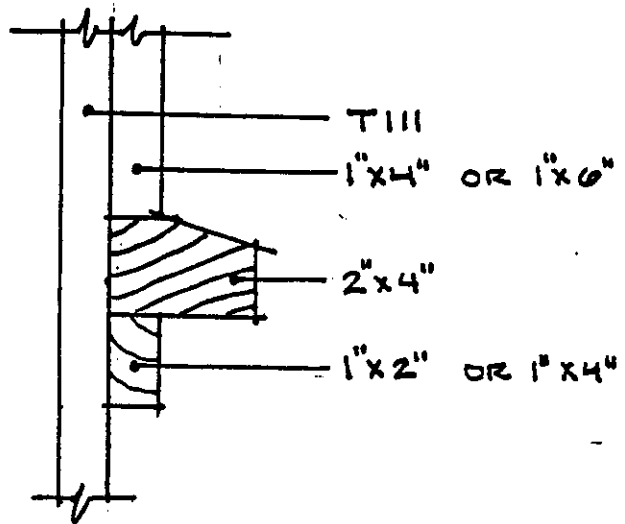
5-25-89

Item # 17

EXHIBIT C



WINDOW & TRIM 1/4" = 1'-0"



SILL TRIM 3" = 1'-0"

May 18, 1989

Cindy Lauchland
1231 - I Street Room 200
Sacramento, Ca 95814

PROJECT: P89-182

Attached is a xerox copy of the residents and property owners at Ventura, Woodbine and 47th Avenues who object to an apartment building being built on the corner of 47th and Ventura Avenues. I will bring the original copy with the lists of names to the hearing scheduled on May 25, 1989 at 5:30pm.

I contacted Joseph A. Semon, Senior Investigator for the Department of Public Works, Transportation Division who is very aware of the traffic and accident problems at this intersection and received from him a report of the traffic and accidents.

For a 24 month period there has been 8 reported accidents and many accidents and property damages not reported. The volume of traffic in a 24 hour period on 47th Avenue is 20,777 vehicles. On Woodbine which is not a through street is 6,598 vehicles.

Please take all this into consideration and do not approve the lot line adjustment or zoning for an apartment house.

thank you,

Raymond L. Bice



CITY OF SACRAMENTO
CITY PLANNING DIVISION

MAY 19 1989

RECEIVED

P89-182

5-25-89

Item 17

May 12, 1989

Cindy Lauchland
1231 - I Street, Room 200
Sacramento, Ca 95814

SUBJECT: P-89182

We the undersigned home owners object to a 6 unit apartment house building to be built on the corner of Ventura Avenue and 47th Avenue in Sacramento due to the already heavy traffic and density problems in this immediate area.

Ventura Avenue, 47th Avenue and Woodbine Avenue all come to a triangle and is one of the worst areas on 47th Avenue for vehicle accidents and if an apartment building is erected there, this would create many more accidents and possibly lost lives. These named cross roads could not handle the added traffic.

An apartment building erected on this site would also de-value the home owners property.

This change of zoning was tried and turned down once before, which was just a few years back, possible in 1981 or 1982.

As property owners on and around Ventura/47th Avenues we are objecting to this change and request that you do not approve a change of zoning or lot line change for this site.

	<u>NAME</u>	<u>ADDRESS</u>	<u>CITY</u>
1.	Juanne C. Bue	2536-47th Ave.	Sacramento 95822
2.	Raymond Bue	2536-47th Ave.	Sacramento 95822
3.	Ashley Jackson	6400 Woodbine Ave	Sacramento 95822
4.	Rosalina Chob	6408 Woodbine Ave	Sacramento 95822
5.	Fred W. Roberts	2604 47th Ave.	Sacramento, CA 95822
6.	Jewel Gidley	2627 47th Ave	Sacramento Ca 95822
7.	Gary W. Smith	2612 47th Ave	Sac Ca 95822
8.	J. Chen	6328 Ventura St	Sac Ca 95822
9.	Clyde B. Smith	6324 Ventura St	Sac Ca 95822
10.	Jackie N. Perry	6304^{1/2} Ventura St	Sac Ca 95822
11.	Prof. C. Smith	6316 Ventura St	Sac Ca 95822
12.	Henry Lytle	6304 Ventura St	
13.	Don Voe	6300 Ventura St	
14.	Mohammed Ali	6255 - - -	
15.	Michael Treaslow	6335 Ventura	

P89-182

5-25-89

Item 17

- 16 ~~Bus~~ ~~Samble~~ 6301 Ventura St. Sac. Ca 95822
- 17 Huey Phn 6317 Ventura St Sacramento CA 95822
- 18 Angie TRAYVA 6339 Ventura St Sacramento CA. 95822
- 19 Floyd Eowice 2524 47th Ave SACRTO CA 95822
- 20 Arlena Shurman 2520 47th Ave
- 21 Parvinder Blutta. 6320 Ventura St. Sac. 95822
- 22 Raf Salhan 6325 Ventura St Sacramento 95822
- 23
- 24
- 25