

City Planning Commission
Sacramento, California

Honorable Members in Session:

From: Planning Staff

Attached is the Planning Commission regular meeting schedule for 1988. Staff recommends the Commission review and adopt this Meeting Schedule.

Respectfully submitted,

Will Weitman

Will Weitman,
Senior Planner

***1988 REGULAR MEETING SCHEDULE
SACRAMENTO CITY PLANNING COMMISSION**

PLACE: PLANNING COMMISSION CHAMBERS - 1231 I STREET, ROOM 101

TIME: 5:30 P.M.

Closing date for
accepting pre-
application packet
is 12:00 noon on:

		**Subdivision Review Committee Meeting	Planning Commission Meeting
December 4, 1987		December 23, 1987	January 14, 1988
December 18, 1987		January 13, 1988	January 28, 1988
January 8, 1988		January 27, 1988	February 11, 1988
January 22, 1988		February 10, 1988	February 25, 1988
February 5, 1988		February 24, 1988	March 10, 1988
February 19, 1988		March 9, 1988	March 24, 1988
March 4, 1988		March 23, 1988	April 14, 1988
March 18, 1988		April 13, 1988	April 28, 1988
April 1, 1988		April 27, 1988	May 12, 1988
April 15, 1988		May 11, 1988	May 26, 1988
May 6, 1988		May 25, 1988	June 9, 1988
May 20, 1988		June 8, 1988	June 23, 1988
June 3, 1988		June 29, 1988	July 14, 1988
June 17, 1988		July 13, 1988	July 28, 1988
July 8, 1988		July 27, 1988	August 11, 1988
July 22, 1988		August 10, 1988	August 25, 1988
August 5, 1988		August 24, 1988	September 8, 1988
August 19, 1988		September 7, 1988	September 22, 1988
September 2, 1988		September 28, 1988	October 13, 1988
September 16, 1988		October 12, 1988	October 27, 1988
October 7, 1988		October 26, 1988	November 10, 1988
October 28, 1988		November 16, 1988	December 1, 1988
November 18, 1988		November 30, 1988	December 15, 1988
December 2, 1988		December 21, 1988	January 12, 1989
December 16, 1988		January 11, 1989	January 26, 1989

*Special meetings are scheduled as needed; they are usually on the Thursdays not utilized for regular meetings.

**Subdivision Review Committee meetings are held in the Third Floor Conference Room.

APPROVED WITH AMENDED CONDITIONS

Design Review/Preservation Board
Sacramento, California

Members in Sessions:

SUBJECT: 3204 Broadway, office/warehouse project revision from Board approved plans. (DR86-216)

BACKGROUND: The Board approved the project with conditions on November 5, 1986. The project is to be funded by the Sacramento Housing and Redevelopment Agency. A meeting of SHRA staff, the owner, Mr. Teeple, Councilman Serna and Planning Staff was held to work out the process of funding, Design Review and Permit Issuance. The concerns of Councilman Serna were as follows:

1. The project should be taken back to the Board;
2. The Board should be requested to delete the condition requiring a horizontal band of split-face concrete block on each side elevation. It was felt that the cost of split-face concrete block was not worth the possible short term visibility to the public.
3. The SHRA is to look into additional funding sources to pay for the added parapet height.
4. The Board should delete the condition requiring a trash enclosure at the rear of the building. It was felt that the owners trash could be easily handled within the building.

STAFF RECOMMENDATIONS: Staff recommends approval of the project with the following conditions:

1. A painted horizontal band equal to the width of the split-face concrete block band found on the front elevation be provided on the two side walls. The color to be reviewed and approved by staff;
2. The building to have a uniform parapet height. The height to be sufficient to hide any HVAC equipment from street view. Height to be based on the average height of equipment required to heat/cool an office area equal to that proposed within this project;
3. Trash storage to be provided within the building;
4. Conditions number 2 may be appealed to the Planning Commission as a request for a variance to eliminate the required six foot masonry block wall. If the variance is approved, then the owner of the project will provide a six foot cyclone fence with vertical wood lath;
5. The following conditions of the attached report will be retained: 1,5,6,7,10 and 11;
6. The following conditions of the attached report are to be deleted: 2, 3, 4, 8 and 9.

see conditions 7,8 and 9 on following page.

Approval is based on the following Findings of Fact:

1. The revised conditions will allow the project to continue to fruition;
2. The project will be equal to or better than existing buildings in the area.

Respectfully submitted,

R. HASTINGS

Richard B. Hastings,
Design Review/Preservation Board Director

RBH:vf

7. All smooth block and stucco to be painted.
8. Final landscaping and irrigation plans for front and rear to be reviewed and approved by staff.
9. The applicant is to provide a trash enclosure in the rear behind the building, design to be reviewed and approved by staff.

DESIGN REVIEW & PRESERVATION BOARD
1231 "I" Street, Suite 200 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Sacramento Redevelopment Agency, 630 I Street, Sacramento, CA 95814		
OWNER	Bob Teeple, 7831 Clifton Road, Sacramento, CA 95826		
PLANS BY	Bud Goldberg, 8920 Sunset Avenue, Fair Oaks, CA		
FILING DATE	-	ASSESSOR'S PCL. NO.	010-308-02
NEGATIVE DEC.	N/A	FIR	N/A
		REPORT BY:	RH:ds

Approved with Added Conditions

LOCATION: 3204 Broadway

PROPOSAL: The applicant proposes construction of a single story commercial structure on the subject site.

PROJECT INFORMATION:

Existing Zoning of Site: C-2
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Church and Parking; R-2A
South: Residential; R-2B
East: Commercial; C-2
West: Commercial and Residential; C-2

Parking Required: Three Spaces
Parking Provided: Three Spaces
Parking Ratio: 1 - 400 for office use; 1 per 1,000 for warehouse use
Property Dimensions: Varied
Square Footage of Building: 1,976 for warehouse; 597 for office
Height of Building: One story - 19 feet to parapet
Exterior Building Colors: Brown
Exterior Building Materials: Concrete Block, Glass

BACKGROUND INFORMATION: The application is a proposal to construct a combination warehouse and office use building on a vacant parcel in the Oak Park Redevelopment Area. The parcel fronts onto Broadway and runs to an alley in the rear. The project is being funded by the Sacramento Housing and Redevelopment Agency.

PROJECT EVALUATION:

1. The design of the facade which will face Broadway will upgrade the existing architectural character of the block face.
2. Planters are proposed to extend from the facade of the building two feet into the public right of way. This area along Broadway is currently under reconstruction to provide new sidewalks and landscaping. It is possible that the two foot width of the planter may extend too far into the public walkway and would reduce the width of the sidewalk in areas down to three feet in width. The applicant will need to coordinate the placement of a planter with the City's Public Works Department in order to allow the proposed planting area to conform with the redevelopment of the Broadway Street and sidewalk area.

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NOV. 5, 1986

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12-3-86

3. Two existing residential structures are located behind the two story commercial/residential building facing Broadway to the west of the subject site. The residential structures front onto 32nd Street. The area of the parking lot from the rear of the building to the alley on the west side of the subject site will need to have a six-foot concrete block wall to meet City Zoning Ordinance requirements.
4. Because the side elevations of the new construction on both the west and east side will be visible; the staff suggest that a horizontal band of split-faced concrete block matching that used on the front of the proposed structure be carried along the side elevations in order to give visual relief to these elevations. This is particularly important on the elevation facing toward the west which backs up to the rear of two residential units. The elevation facing towards the east will presently have a vacant parcel between it and the next structure further to the east on Broadway.
5. The facade of the building is proposed to have a low parapet. Staff is concerned that should any AC equipment be placed on the roof of the structure, it would be visible from the street. The project should have the parapet of the facade raised a sufficient amount to shield any AC equipment from view.
6. The applicant proposes to use graylight glass in the store front portion of the elevation. Staff feels it would be more appropriate to use clear glass unless the graylight is needed for energy conservation. The recommendation for clear glass is so that there will be more of a feeling of eyes on the street between the sidewalk area and the interior of the building.

STAFF RECOMMENDATION: Staff recommends approval of the project with the following conditions:

1. The applicant shall coordinate the location of a planter with the appropriate City departments.
2. The applicant shall provide a six-foot high masonry block wall along the western side of the property running from the rear of the building to the alley.
3. The applicant shall continue a horizontal band of split-faced concrete block to match that found on the front elevation around both side elevations of the proposed structure.
4. ~~The applicant shall raise the parapet of the front elevation a sufficient amount to hide any AC units placed on the roof.~~
5. The applicant shall provide clear glass in the store front section of the front elevation.
6. The applicant shall provide watering systems to both planter boxes if those boxes are provided on the front elevation.
7. The applicant shall provide a hose bib at some location at the front elevation of the building.
8. The parapet is to have a uniform height around the entire building. The height is to be a minimum 40" above the roof at the front elevation.

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Approval is based on the following findings of fact:

1. The proposal will upgrade the architectural character of the area.
2. The development is in keeping with the Redevelopment Agency Guidelines and with the City's Zoning Ordinance.
3. The development with those conditions recommended by staff will allow the building to blend into the neighborhood when adjacent to residential use.

APPROVAL BY THE DESIGN REVIEW/PRESERVATION BOARD DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITIES TO MEET REQUIREMENTS OF ALL ZONING ORDINANCES AND BUILDING CODES.

THE APPLICANT IS RESPONSIBLE FOR ANY DELAYS RESULTING FROM NONCOMPLIANCE WITH CONDITIONS OF APPROVAL.

9. *The applicant is to provide a trash enclosure in the rear behind the building, design to be reviewed and approved by staff.*
10. *The wood trellis at the front elevation is to have a 6" minimum thickness of wood and no plywood is to be used.*
11. *Building colors and signage to be reviewed and approved by staff.*

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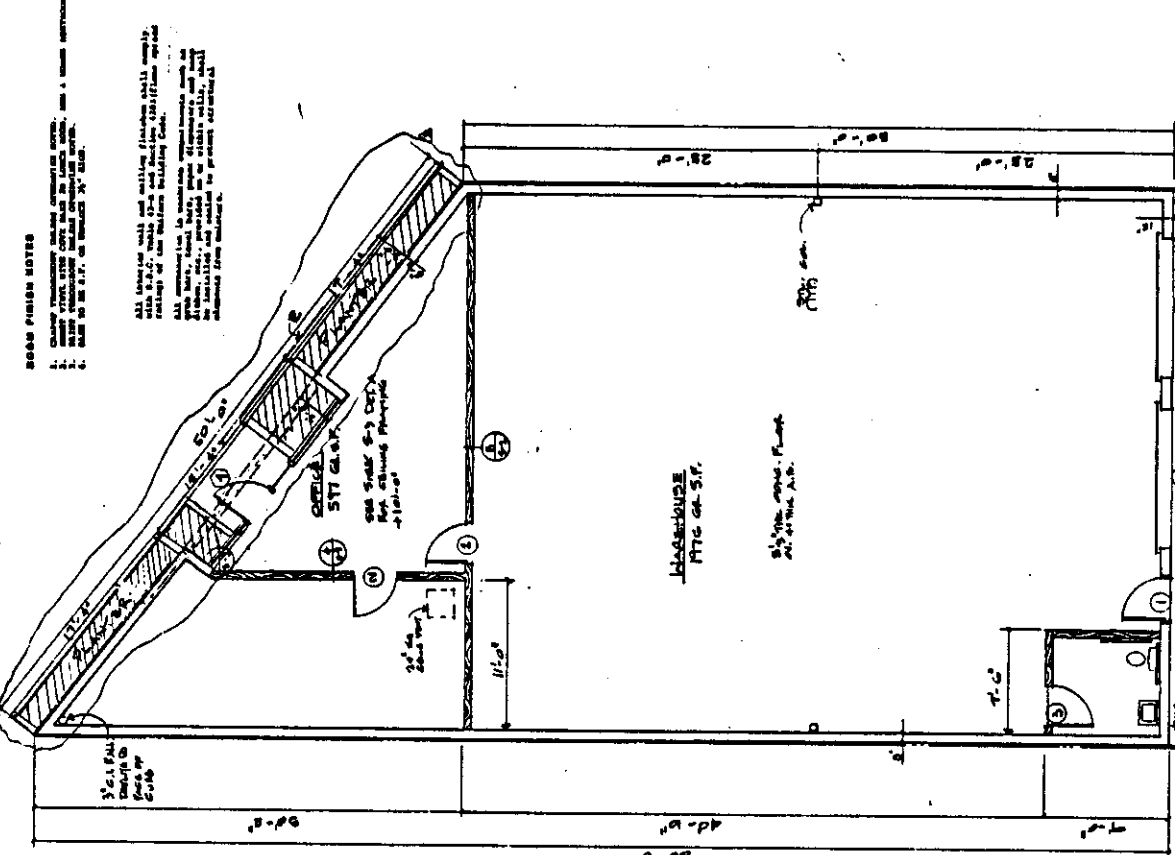
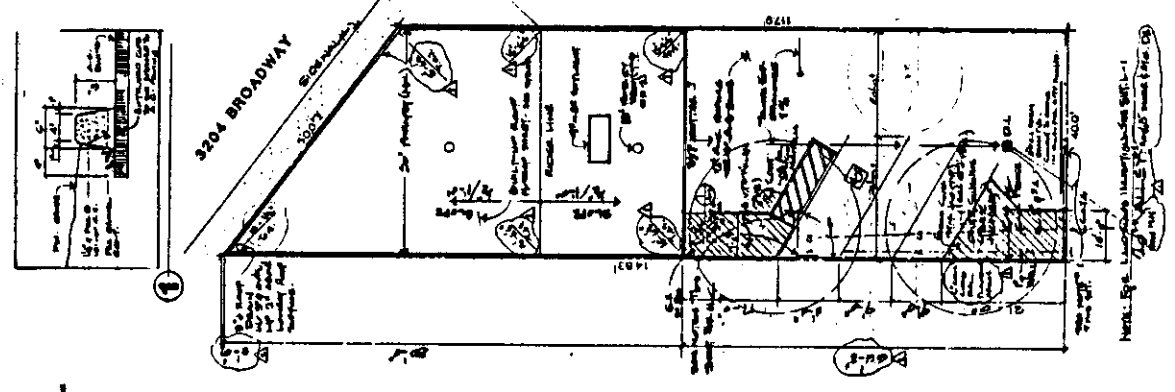
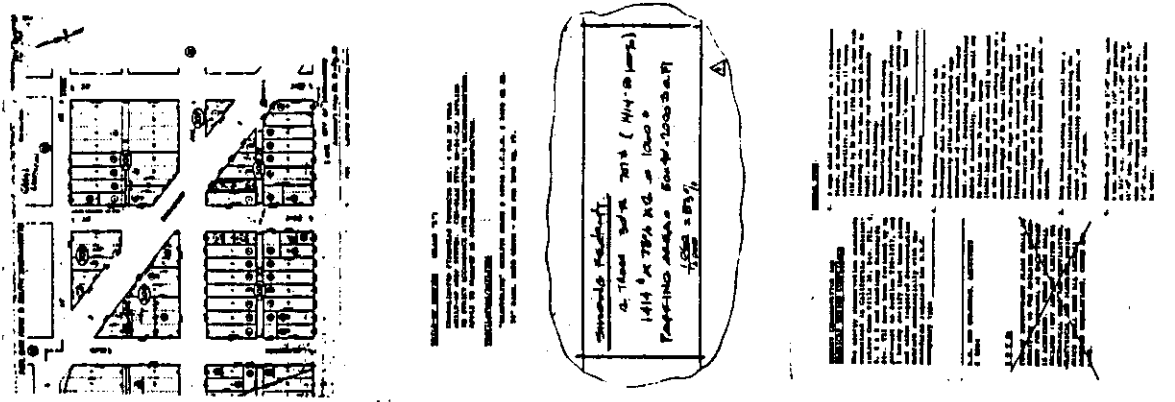
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GOOD FINISH NOTES
 1. ALL INTERIOR WALLS AND CEILING FINISHES SHALL BE...
 2. ALL INTERIOR FLOOR FINISHES SHALL BE...
 3. ALL INTERIOR DOORS SHALL BE...
 4. ALL INTERIOR WINDOWS SHALL BE...
 5. ALL INTERIOR LIGHT FIXTURES SHALL BE...
 6. ALL INTERIOR PAINT SHALL BE...
 7. ALL INTERIOR TRIM SHALL BE...
 8. ALL INTERIOR STAIRS SHALL BE...
 9. ALL INTERIOR ELEVATORS SHALL BE...
 10. ALL INTERIOR MECHANICAL EQUIPMENT SHALL BE...

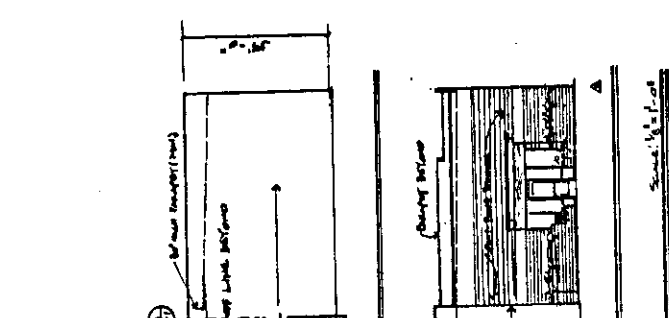
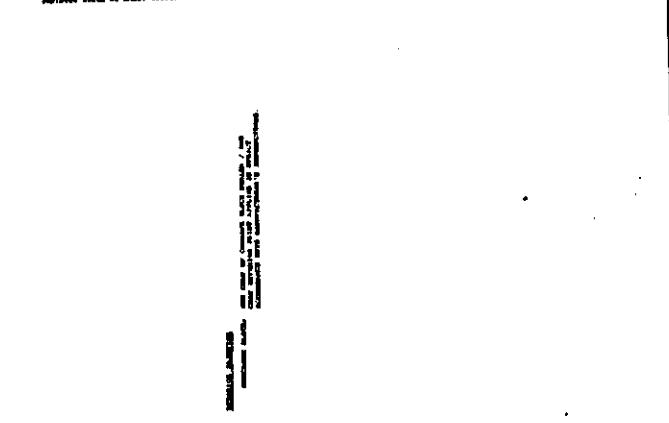
FLOOR PLAN
 SCALE: 1/2" = 1'-0"
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 UNLESS COUNTERSIGNED BY AN ARCHITECT/ENGINEER

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PLUMBING

