

FLOOR PLAN

Scale: 1/4" = 1'-0"

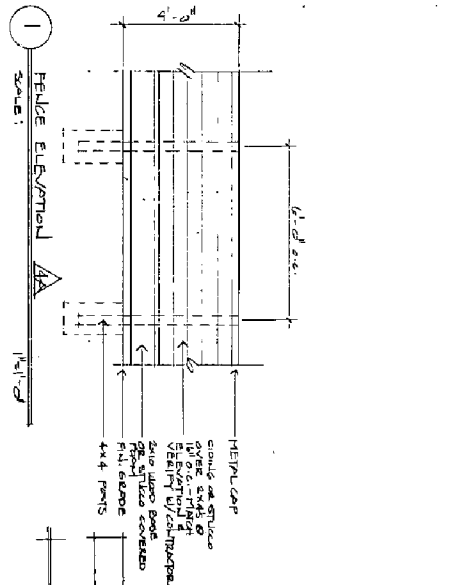
Notes:
 1. All dimensions are in feet and inches.
 2. All walls are 1/2" thick unless otherwise noted.
 3. All doors are 36" wide unless otherwise noted.
 4. All windows are 60" wide unless otherwise noted.
 5. All windows are 48" high unless otherwise noted.
 6. All windows are 12" from the top and bottom of the wall unless otherwise noted.
 7. All windows are 12" from the side of the wall unless otherwise noted.
 8. All windows are 12" from the corner of the wall unless otherwise noted.
 9. All windows are 12" from the edge of the wall unless otherwise noted.
 10. All windows are 12" from the center of the wall unless otherwise noted.

Architect: JAMES PLUMB ASSOCIATES
 8880 CAPITOL AVENUE
 SACRAMENTO, CA 95818
 TEL: 916-485-8881
 FAX: 916-485-1428

Client: ERGOS DEVELOPMENTS
 WILDFLOWERS AT NORWOOD

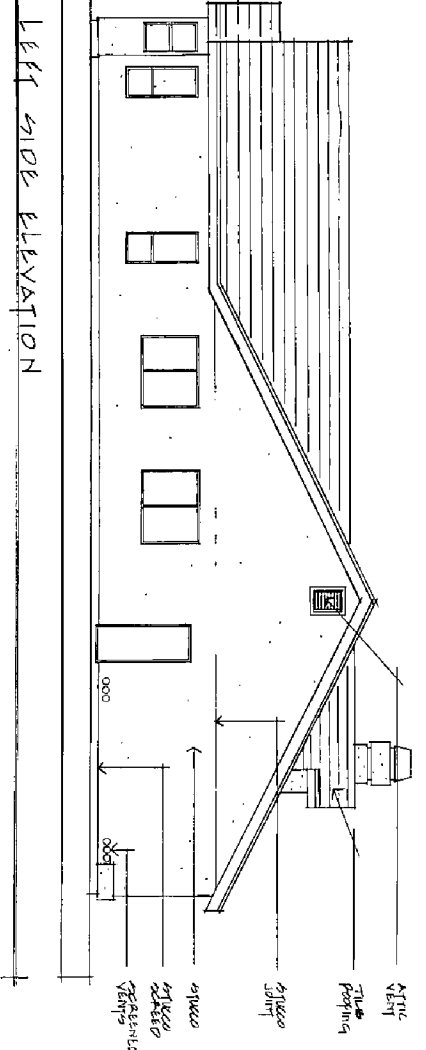
Project No: 70
 Drawing No: 1 of 7

P90-445

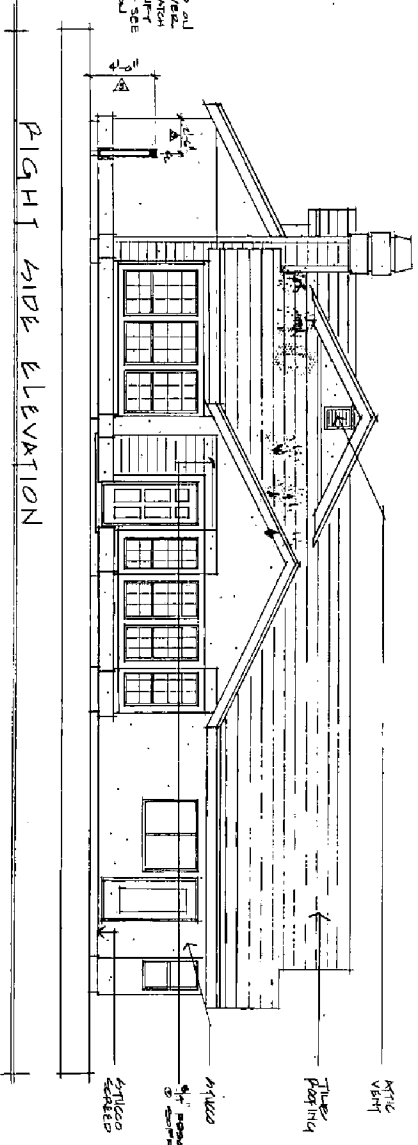


1 FENCE ELEVATION A-A
Scale: 1/4" = 1'-0"

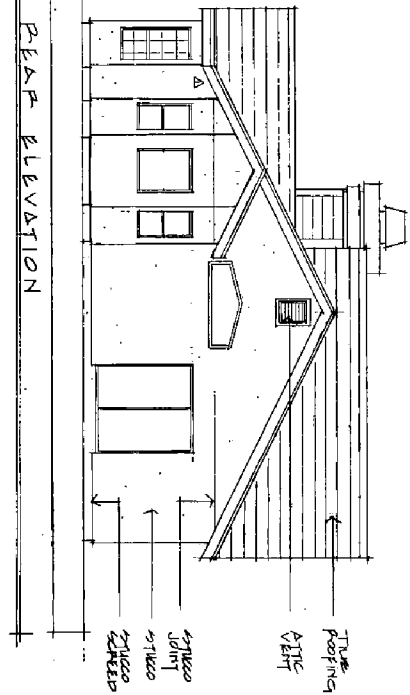
▲ SINKS OR STAPLES AND BOTH SIDES OVER EDGE OF JOIST BOARD ELEVATION & HEIGHT FROM ELEVATION



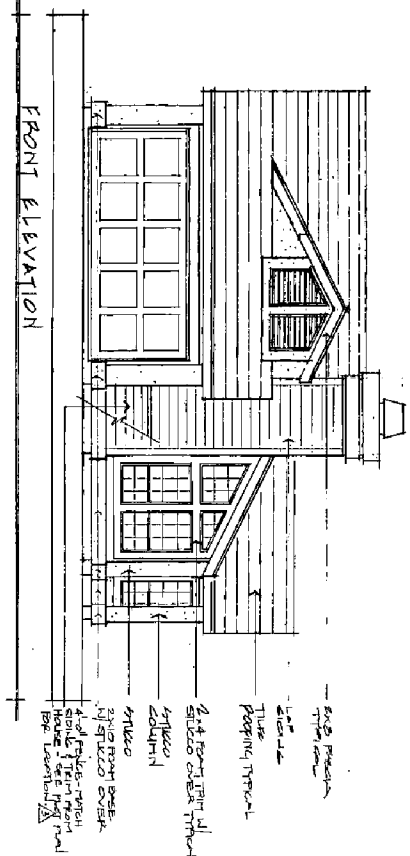
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

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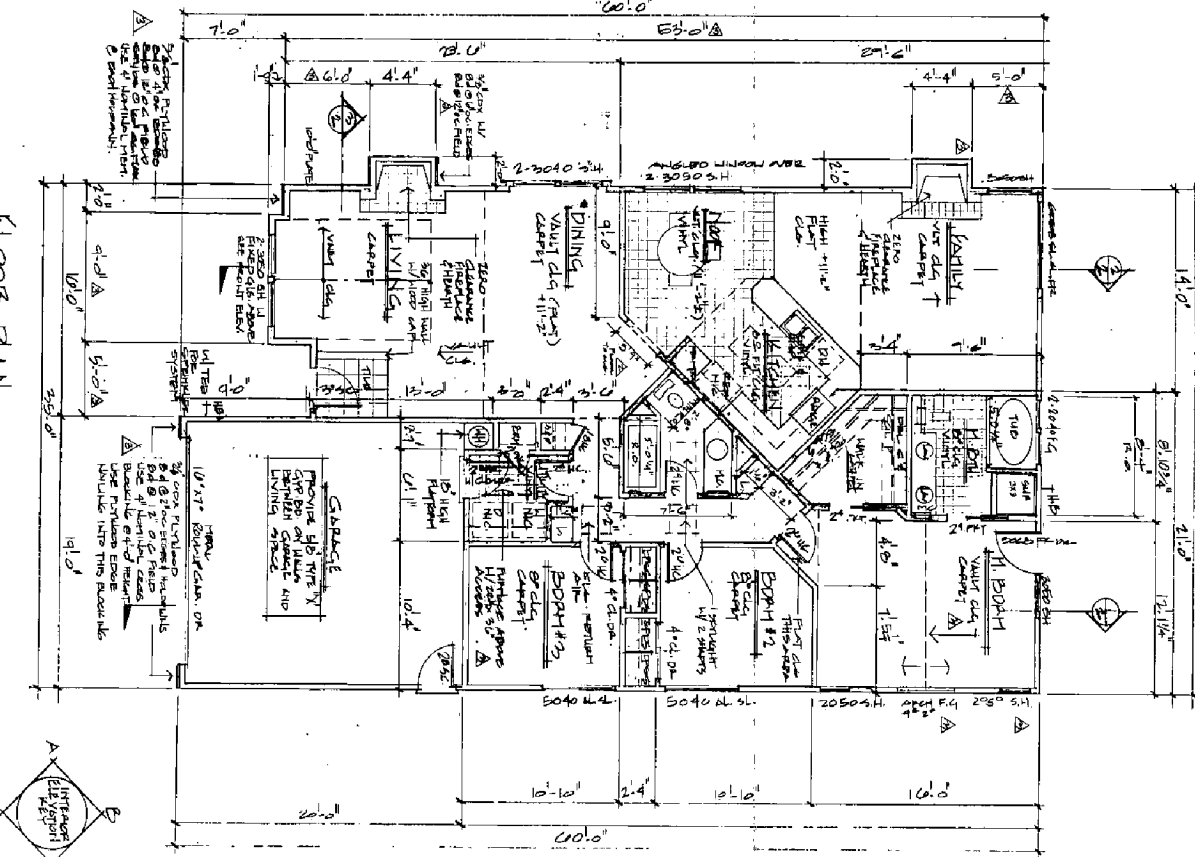
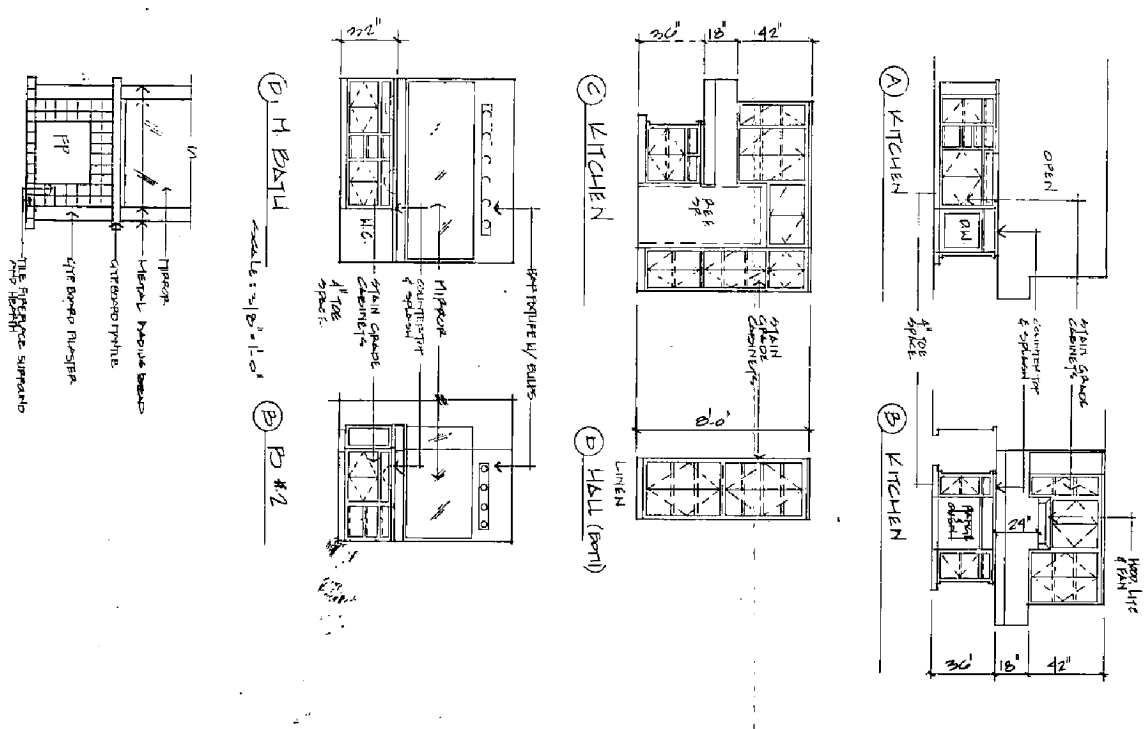
Date	Revised	Approved
11/11/11		
11/11/11		
11/11/11		

ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

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Job No.	70
Revision No.	37
Drawn By	DATE
Checked By	DATE
Scale	

890-445



FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1. CROSS SECTION: SQUARE PANEL, 4" X 4" SQUARE 2. "HIPS" CEILING: SQUARE PANEL 12" X 12"

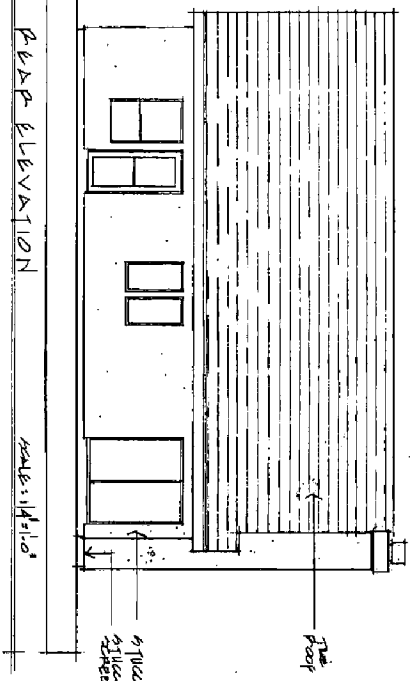
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ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

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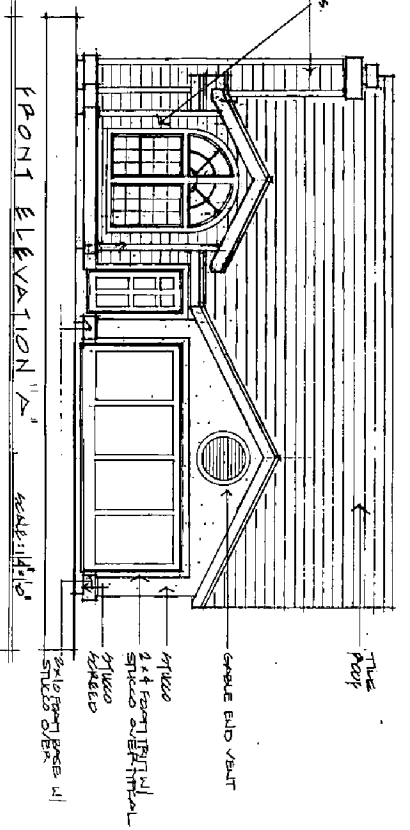
Drawn By	71
Checked By	
Date	
Scale	
Revision No.	1
Sheet	17

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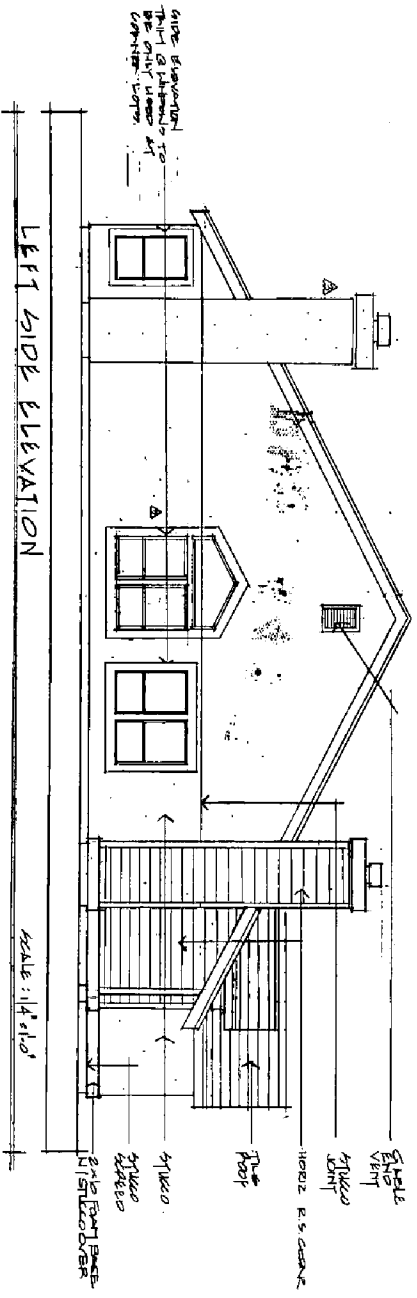
REAR ELEVATION

SCALE: 1/4" = 1'-0"



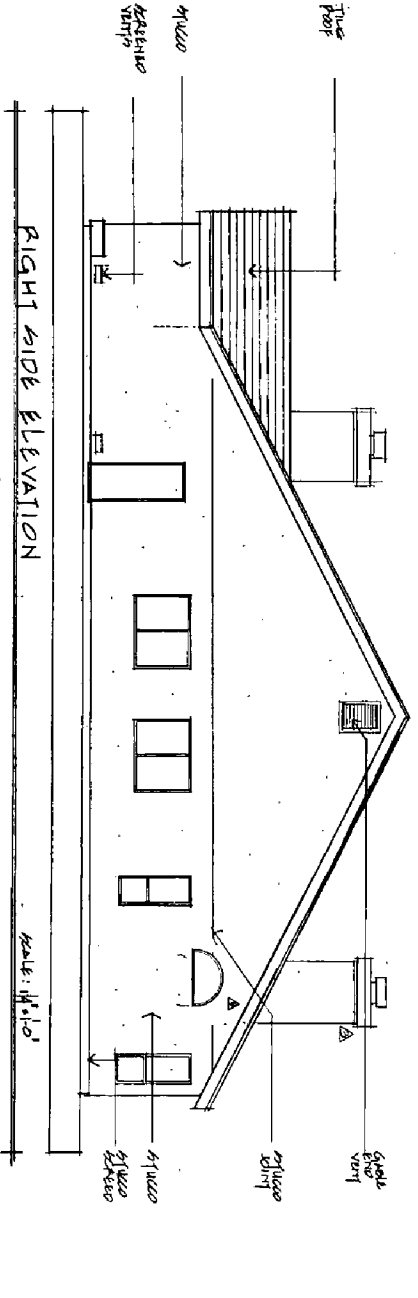
FRONT ELEVATION "A"

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



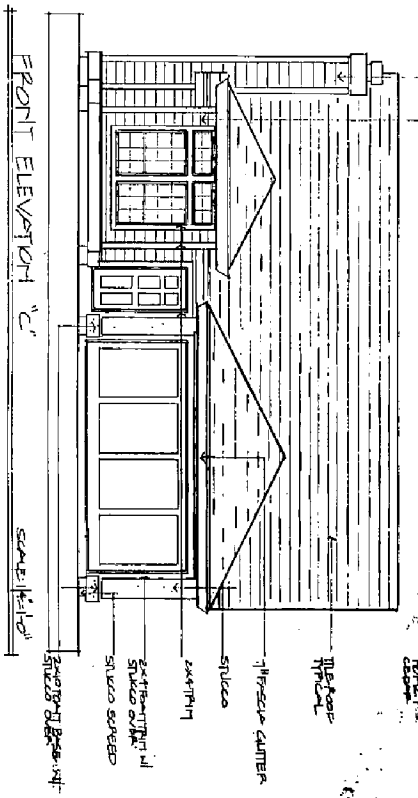
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

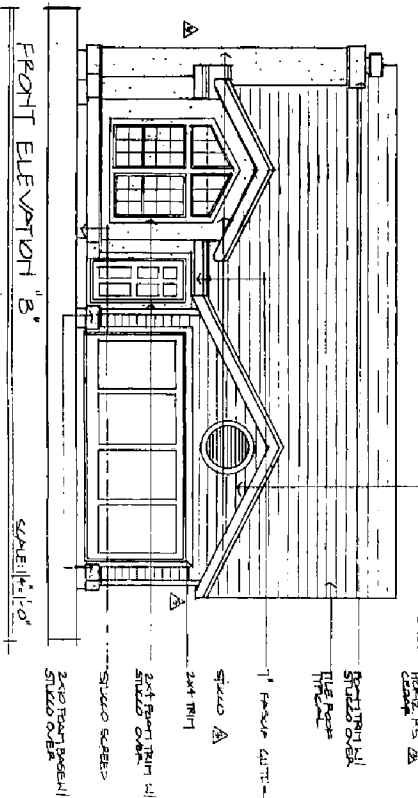
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DRAWING NO. **71**
 SHEET NO. **37**
 DATE **11/11/10**
 PROJECT **WILDFLOWERS AT NORWOOD**
 ARCHITECT **JAMES PLUMB ASSOCIATES**
 2300 CARROLL AVENUE
 SACRAMENTO, CA 95815
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 (916) 753-1102

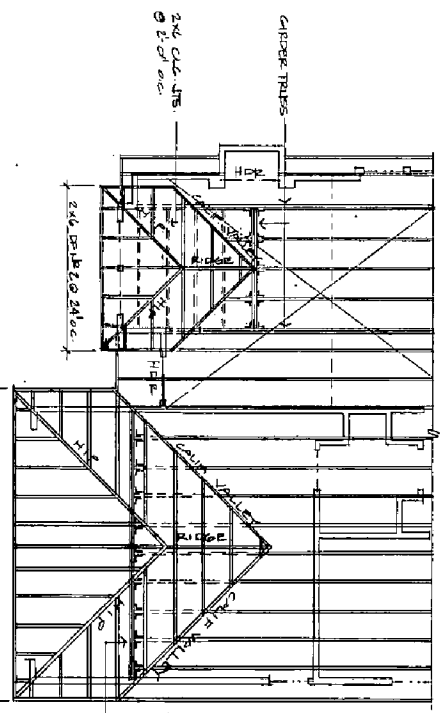
P90-445



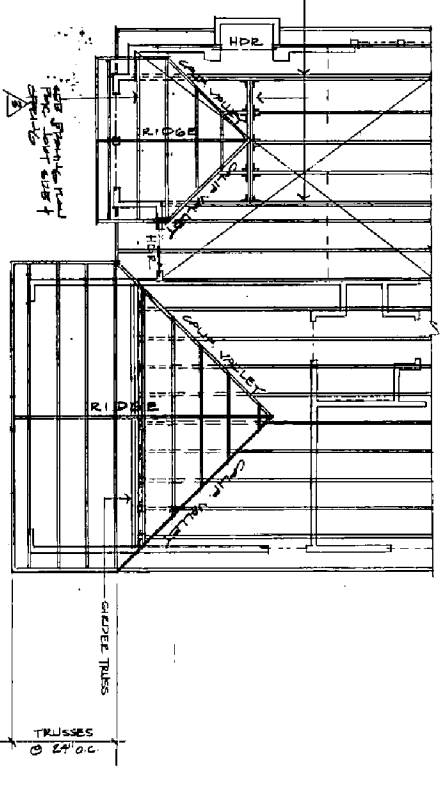
FRONT ELEVATION "C"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION "B"
SCALE: 1/4" = 1'-0"



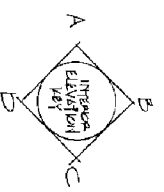
ROOF FRAMING PART "C"
SCALE: 1/4" = 1'-0"
*SEE COMPLETE FRAMING PLAN - SEE SHEET 5.



ROOF FRAMING PART "B"
SCALE: 1/4" = 1'-0"
*SEE COMPLETE FRAMING PLAN - SEE SHEET 5.

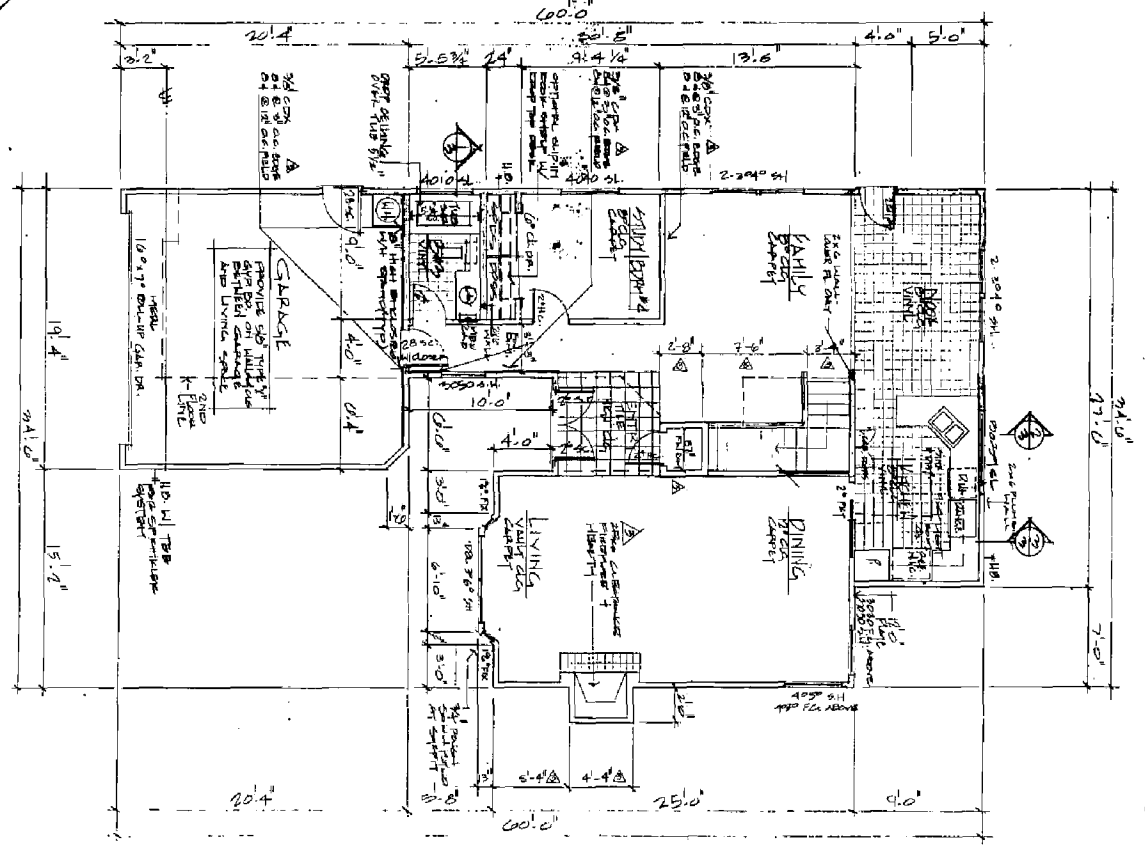
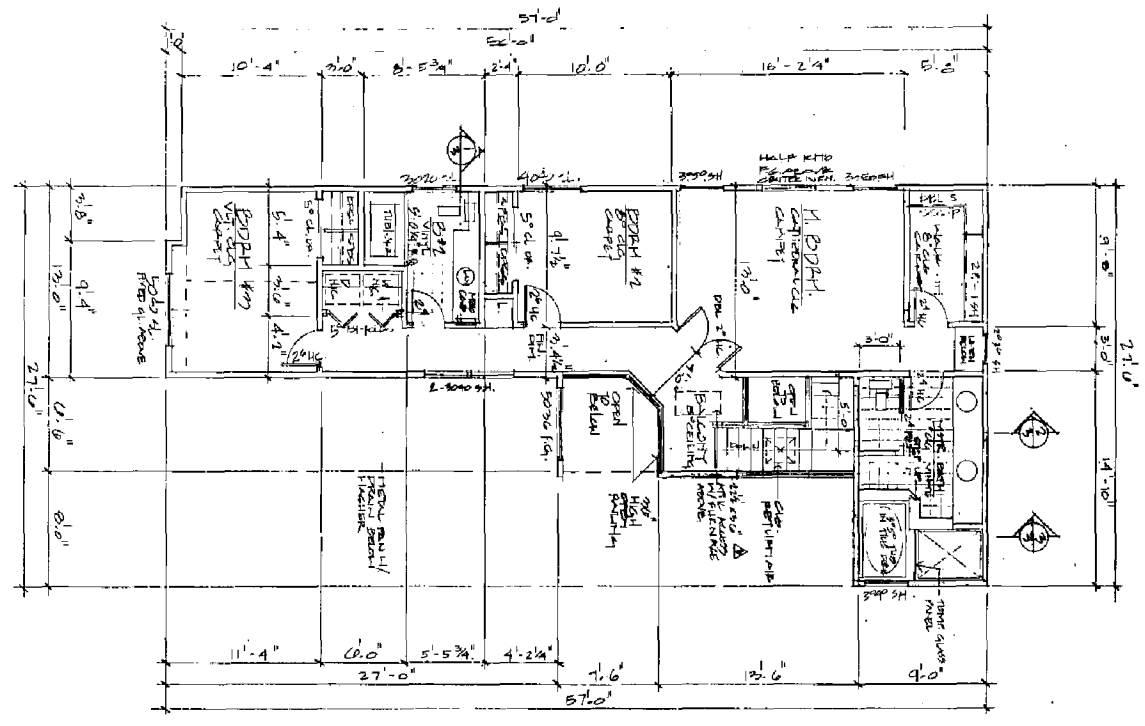
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FLOOR PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"



FLOOR PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"


Notes:
1. Structure is constructed of masonry.
2. All exterior walls are finished with stucco.
3. All interior walls are finished with drywall.
4. All floors are finished with carpet.
5. All ceilings are finished with drywall.



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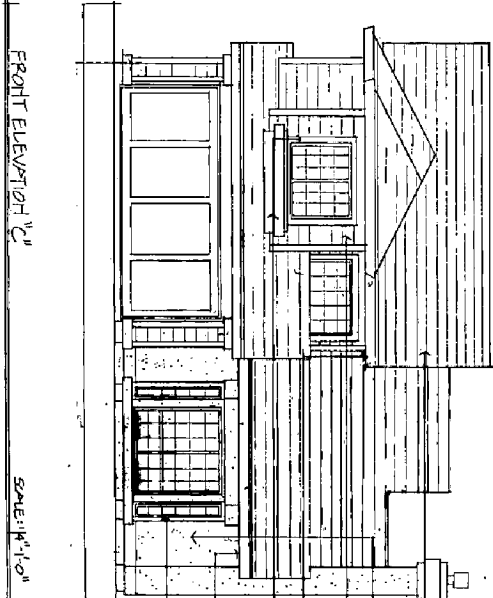
Drawing No.	72
Drawn By	
Checked By	
Date	
Scale	
Revision No.	
Sheet	1 of 1

ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

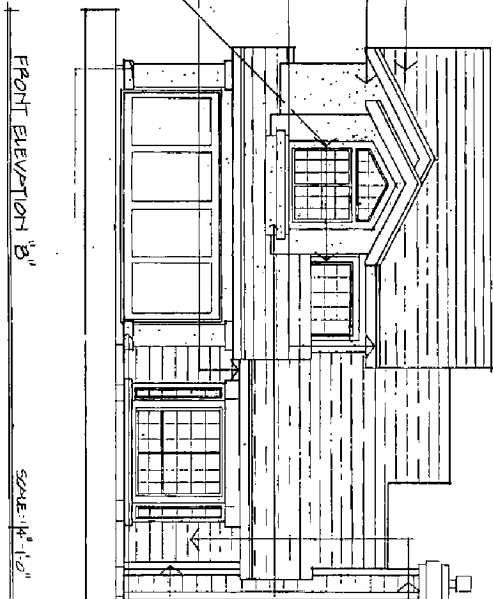


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90-445

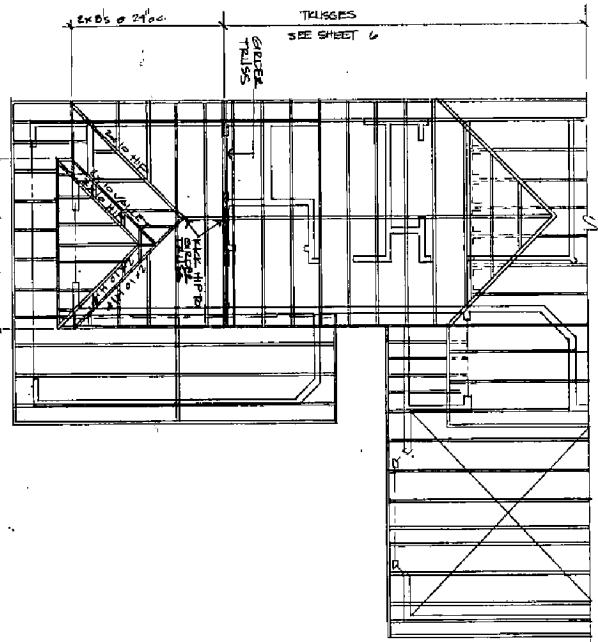


FRONT ELEVATION "C"
SCALE: 1/4" = 1'-0"

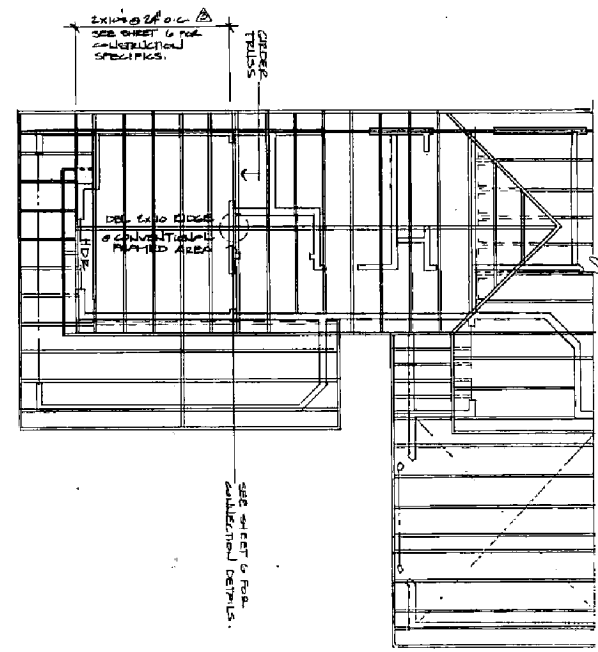


FRONT ELEVATION "B"
SCALE: 1/4" = 1'-0"

ROOF FRAMING PLAN "C"
*SEE SHEET 6 FOR COMPLETE FRAMING PLAN.



ROOF FRAMING PLAN "B"
*SEE SHEET 6 FOR COMPLETE FRAMING PLAN.



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ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

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Drawing No: **72**
 Sheet: **4A**

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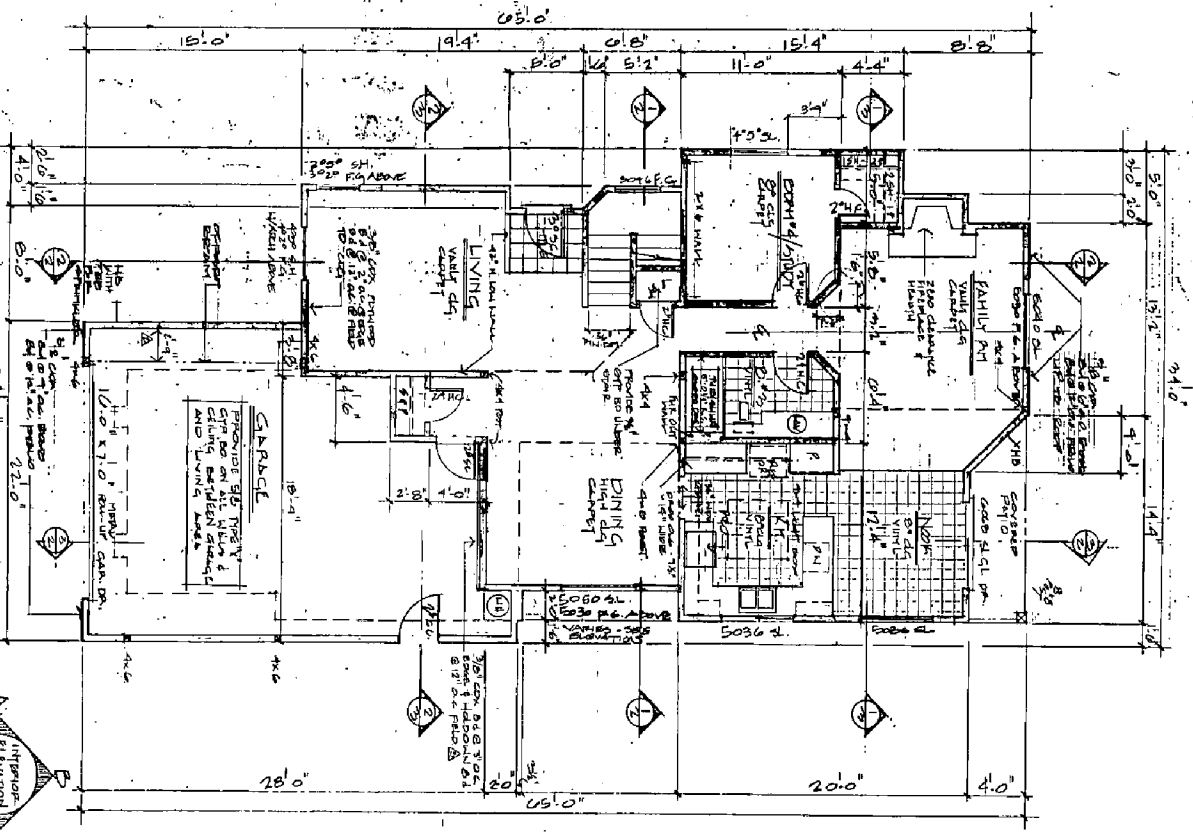
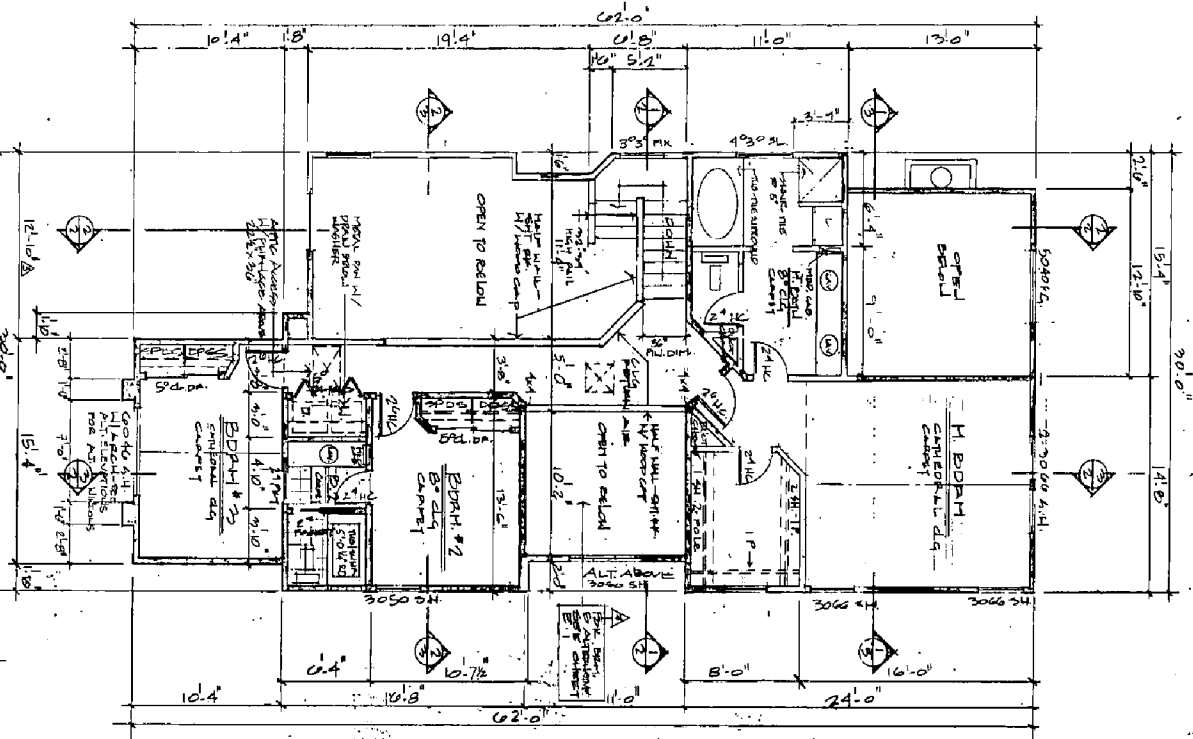
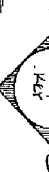
UPPER FLOOR

SCALE: 1/4" = 1'-0"

1. BRICK EXTERIOR WALLS, 2. CONCRETE SLAB ON GRADE, 3. INTERIOR WALLS, 4. INTERIOR CEILING, 5. INTERIOR FLOORING, 6. INTERIOR PAINT, 7. INTERIOR LIGHTING, 8. INTERIOR MECHANICAL, 9. INTERIOR PLUMBING, 10. INTERIOR ELECTRICAL.

LOWER FLOOR

SCALE: 1/4" = 1'-0"



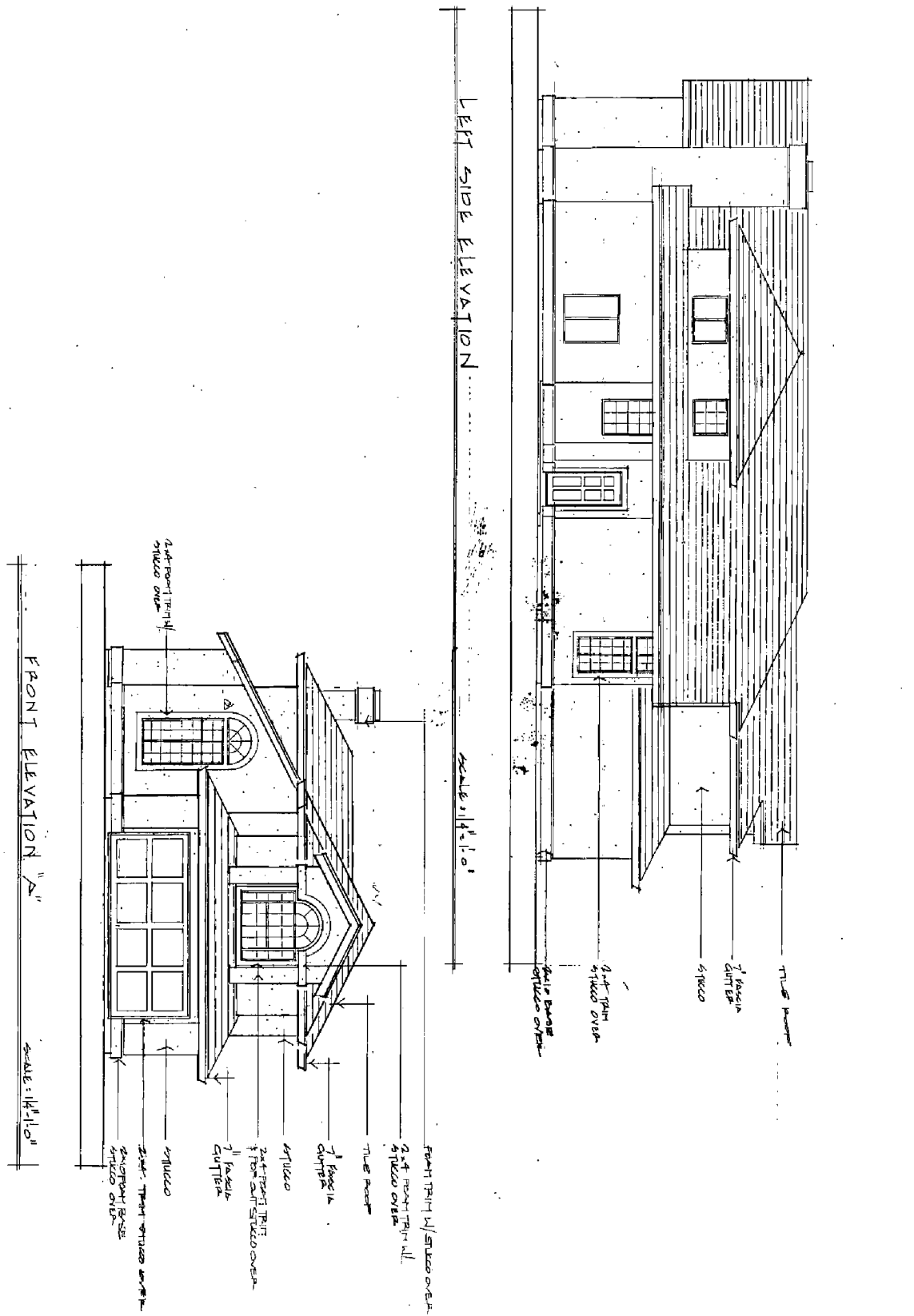
Project No.	73
Drawing No.	1/73
Date	04/27/06
Scale	1/4" = 1'-0"
Drawn By	
Checked By	
Date	

ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

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 (916) 442-8889

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

90-445



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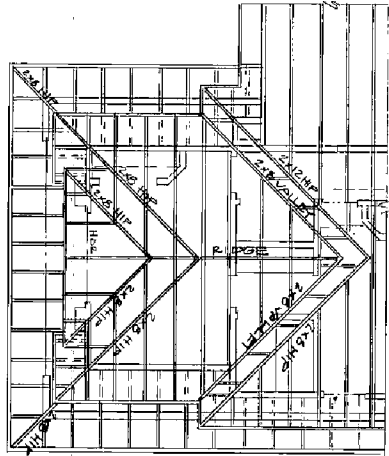
No.	Date	Description
1	10/1/15	Issue for Review
2	10/15/15	Issue for Construction

ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

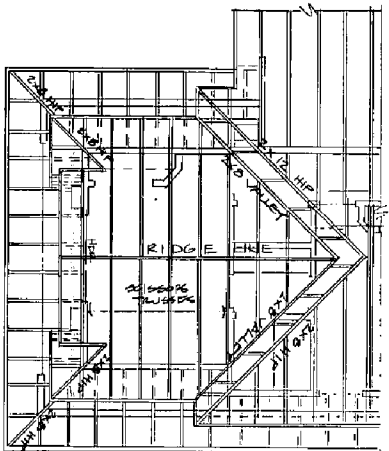
JAMES PLUMB ASSOCIATES
2620 CARTER AVENUE
SACRAMENTO, CA 95816
(916) 442-8184
(916) 753-1102

2015
 Drawing No. **73**
 Drawn By: [] Date: []
 Checked By: [] Date: []
 Scale: []
 Revision No. []

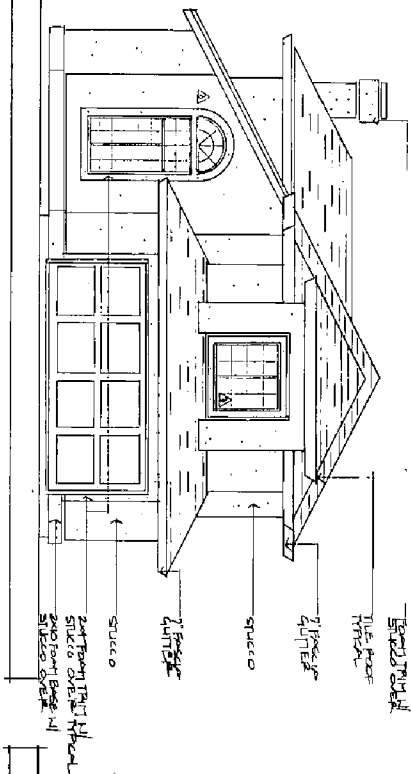
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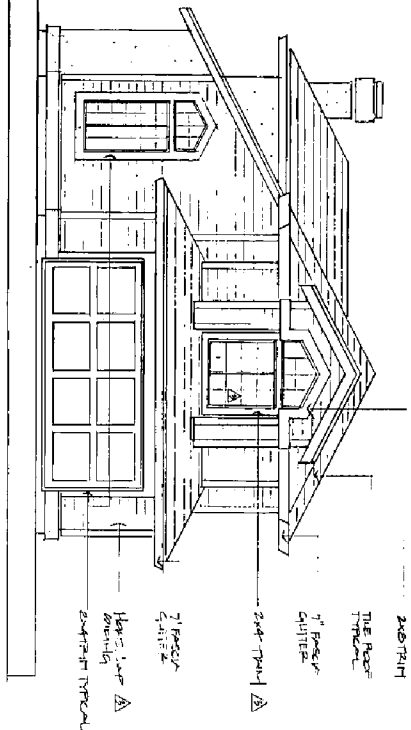
ROOF FRAMING PLAN "C" scale: 1/4" = 1'-0"
 *SEE SHEET S-2 FOR COMPLETE FINISHES PLAN



ROOF FRAMING PLAN "B" scale: 1/4" = 1'-0"
 *SEE SHEET S-2 FOR COMPLETE FINISHES PLAN



FRONT ELEVATION "C" scale: 1/4" = 1'-0"



FRONT ELEVATION "B" scale: 1/4" = 1'-0"

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DATE	BY	REVISION

ERGOS DEVELOPMENTS
WILDFLOWERS AT NORWOOD

JAMES PLUMB ASSOCIATES
 4045 BOND STREET
 BERKELEY, CA 94704
 (916) 835-8888
 (916) 752-1100

Project No. _____
 Drawing No. **73**
 Date By _____
 Checked By _____
 Scale _____
 Revision No. _____
 Sheet **A** of **4A**

PLANNING DIRECTOR'S SPECIAL PERMIT
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Jeff Kester, 1830 15th Street, Suite 150, Sacramento, CA, 95814
OWNER ekc-Collet and Associates, 1830 15th Street, Suite 150, Sacramento, CA, 95814
PLANS BY James Plumb Associates, 2230 Capitol Avenue, Sacramento, CA 95816
FILING DATE October 29, 1990 ENVIR. DET. Negative Declaration REPORT BY SLY
ASSESSOR'S PCL. NO. 237-061-026,027,028

- APPLICATION:**
- A. Negative Declaration
 - B. Planning Director's Special Permit to construct 3 single family homes on three vacant lots to be used as a model home complex with a sales office and on-site signs on 0.35± vacant acres in the Single Family Alternative, (R-1A) zone.

LOCATION: 4378, 4384, and 4390 Burgess Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a model home complex on three lots with a sales office and an on-site detached sign on 0.35± vacant acres in the R-1A zone.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
1984 North Sacramento	
Community Plan Designation:	Residential (7-15 du/na)
Existing Zoning of Site:	Single Family Alternative, R-1A
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks	Required	Provided
North: Vacant, R-1A & A	Front:	20-27'	Required
South: Vacant, R-1A & A	Side(Int):	5'	Setbacks
East: Vacant, R-1A & A	Side(St):	12.5'	to be
West: Vacant, R-1A & A	Rear:	15'	Provided

Property Dimensions:	Irregular
Property Area:	0.35± acres
Square Footage of Building:	1,364-2,313 square feet per unit
Height of Building:	24 feet- two story
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Stucco and wood
Roof Material:	Tile

BACKGROUND INFORMATION: On September 27, 1989, the City Council approved a Tentative Map to subdivide an 8.70± acres site into lots for 54 petite single family homes (reference P89-121).

APPLC. NO. 90-445

PROJECT EVALUATION: Staff has the following comments:

A. **Land Use and Zoning**

The subject site is 0.35± vacant acres in the Single Family Alternative, R-1A zone. The General Plan designates the subject site as Low Density Residential (4-15 du/na) and the 1984 North Sacramento Community Plan designates the site as Residential (7-15 du/na). The surrounding land use and zoning for the subject site are vacant, zoned R-1A to the north, south, east, and west.

B. **Applicant's Proposal**

The applicant is proposing to develop a model home complex on three lots with a sales office located within the house on Lot 28, a 5 foot by 8 foot awning over the sales office entry, and an on-site detached sign on 0.35± vacant acres in the R-1A zone (see Exhibit A).

C. **Staff Analysis**

The applicant is requesting a Planning Director's Special Permit to use three family homes as a model home complex with a sales office inside one of the garages in order to sell 54 petite single family homes. Staff recommends that no temporary sales trailer be used during the construction phase of the model homes without staff review and approval of the site plan.

The applicant proposes to provide no on-site parking and the entire model home complex area will be fenced off, preventing any of the driveways from being used for parking. According to the Zoning Ordinance, on-site parking is not required for a temporary model home complex and sales office. Staff recommends the fence blocking the driveways be removed when the homes are no longer used as a model home complex.

The applicant has proposed an on-site four foot by eight foot wood sign located in the front yard setback for advertising and three 1.5 feet by 2 feet signs two feet high located in the front yard of each home identifying the model type. According to the Sign Ordinance, a temporary on-site marketing sign for a subdivision shall not exceed 32 square feet in area nor exceed eight feet in height and the individual unit signs can not exceed one square foot in area nor two feet in height. The proposed signs must meet these requirements. The Sign Ordinance permits marketing signs for model home complexes to be located in the front yard setback provided the sign is 10 feet from any public right-of-ways or driveways. Staff recommends the detached signs meet the size requirements and location as stipulated in the Sign Ordinance. The Sign Ordinance also requires that no subdivision flags or banners be placed around or near the model home complex.

The applicant proposes a four foot high entrapment fence that encloses the front setbacks of the entire site. The Zoning Ordinance requires a fence height of three feet in the front yard setback unless the fence is decorative wrought iron in which case it may be six feet high in the front yard setback. Staff recommends that the fence either be reduced in height to three feet in the front yard setback or the type of fence be changed to a decorative wrought iron in order to keep the height of the fence at four feet.

The applicant proposes a 5 feet by 8 foot awning over the sales office entry. Staff recommends the awning not project into any required setback area.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact on the environment and has filed a negative declaration with no new mitigation measures for this specific application; however the applicant must comply with the mitigation measures, specifically the construction mitigation measures, found in the original entitlements of P89-121.

RECOMMENDATION: Staff recommends the following action:

- A. Ratify the Negative Declaration;
- B. Approve the Planning Director's Special Permit to allow 3 single family homes as a model home complex with a sales office and on-site signs subject to the conditions and based upon the findings of fact which follow.

Conditions:

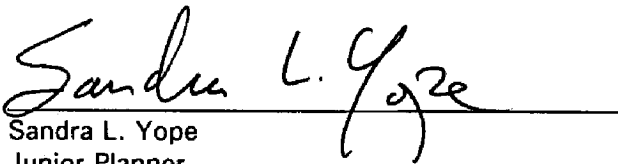
- 1. The garage of the model home used as a sales office shall be converted back to a garage use prior to final building inspection.
- 2. A temporary sales trailer shall not be used during the construction phase of the model homes without staff review and approval of the site plan.
- 3. The applicant shall remove the fence blocking the driveways when the homes are no longer used as a model home complex.
- 4. Signs must meet the requirements for Subdivision Development signs in the Sign Ordinance, specifically:
 - a. the temporary on-site marketing sign shall not exceed 32 square feet in area nor exceed eight feet in height,
 - b. individual unit signs shall not exceed one square foot in area nor two feet in height, and
 - c. signs may be located in the front yard setback but the signs must not be located within 10 feet of any public right-of-ways or driveways.
- 5. No subdivision flags or banners shall be placed around or near the model home complex.
- 6. The fence shall either be reduced in height to three feet in the front yard setback or the type of fence be changed to a decorative wrought iron in order to keep the height of the fence at four feet.
- 7. The awning shall not project into any required setback area.
- 8. This Planning Director's Special Permit shall expire two year from the date of approval. The Planning Director may renew the permit for an additional year upon receipt of an application submitted at least 30 days prior to expiration.

Findings of Fact:

- 1. The proposed project, as conditioned, is based upon sound principles of land use in that the proposed sales office will assist in marketing a previously approved residential subdivision in the Single Family Alternative, R-1A zone.
- 2. The project will not be detrimental to the public health, safety, or welfare nor result in a nuisance in that:
 - a. adequate street parking and landscaping are provided, and
 - b. the buildings are identical with the surrounding residences.

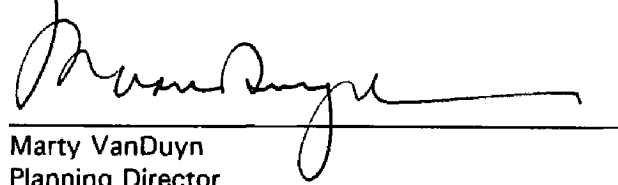
3. The project is consistent with the General Plan and the North South Sacramento Community Plan which designates the site as Low Density Residential (4-15 du/na) and Residential (7-15 du/na) respectively.

Report Prepared By:


Sandra L. Yope
Junior Planner

17 JAN 91
Date

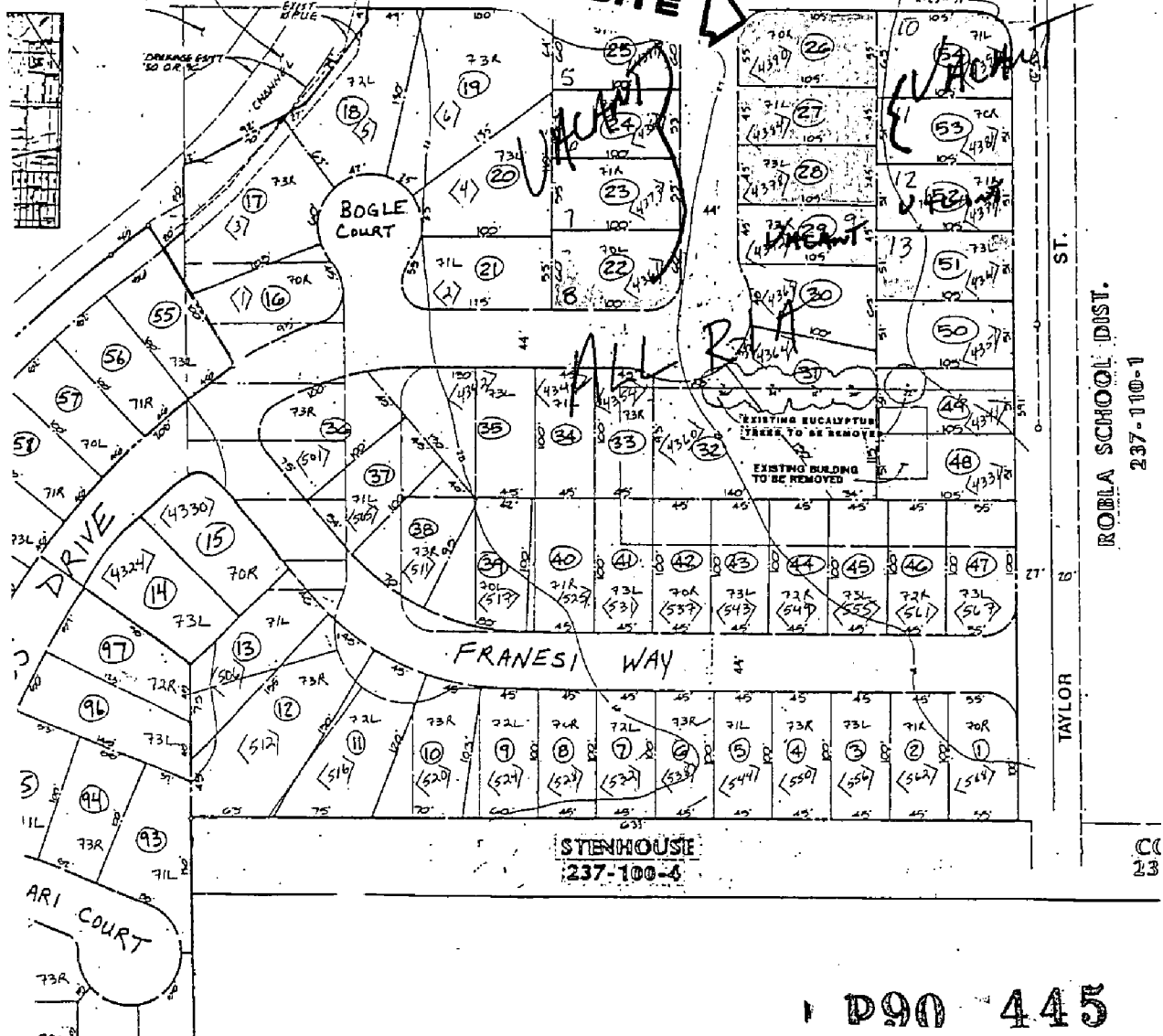
Recommendation Approved By:


Marty VanDuyn
Planning Director

1-17-91
Date

R-1A VACANT

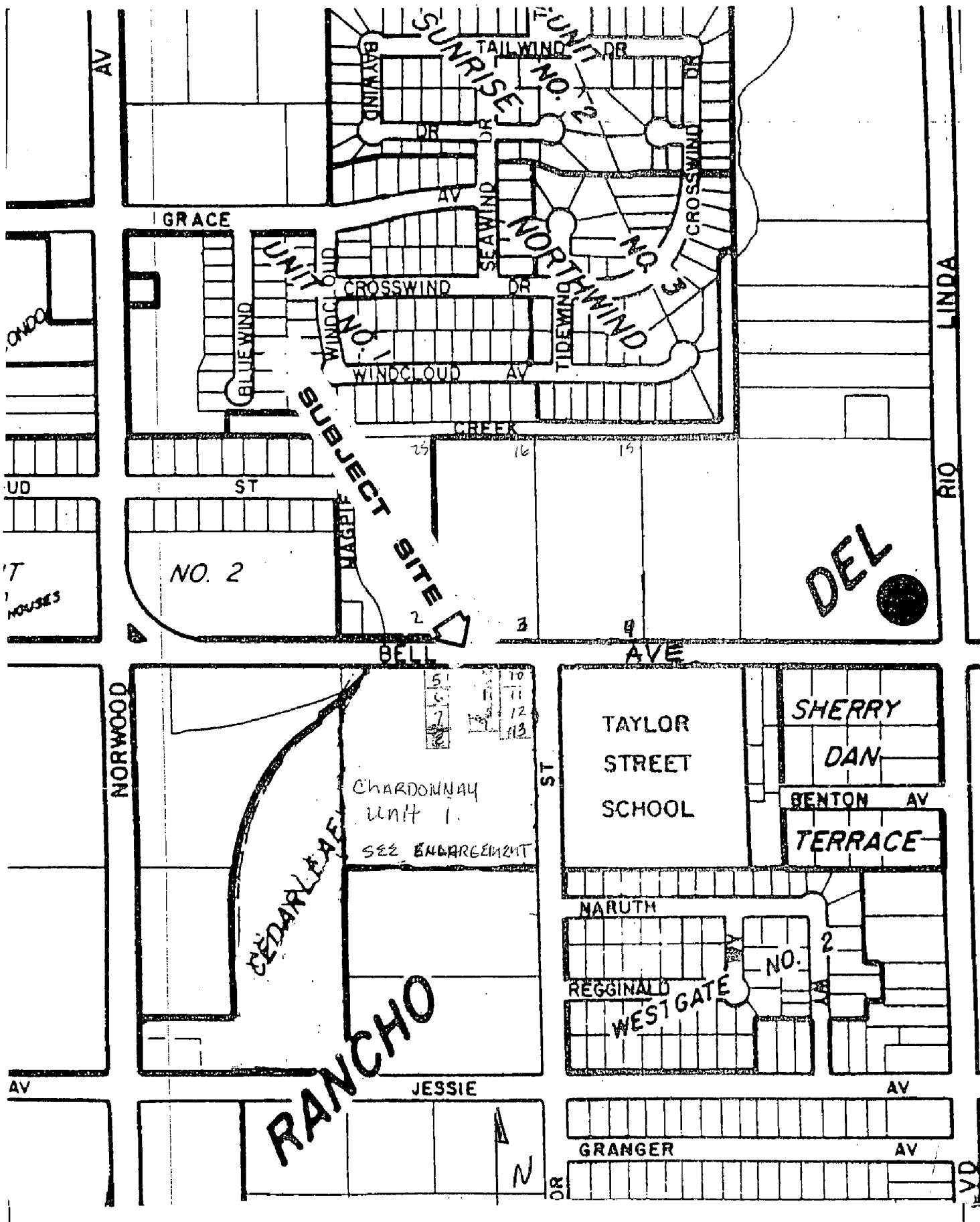
R.C.C. 237-100-4 SUBJECT SITE AVE.



P90 445

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LAND USE & ZONING MAP



P90-445

VICINITY MAP

EXHIBIT A

MILPFLOWERS AT HOWLAND
CEDARLEAF SUBDIVISION
EROS DEVELOPMENTS



SIDE PROPERTY LINE
79.64' N 88° 12' 17" E

REAR PROP. LINE
55.32' N 01° 47' 43" W

REAR PROP. LINE
45.00' N 01° 47' 43" W

REAR PROP. LINE
45.00' N 01° 47' 43" W

108.00' N 88° 12' 17" E
SIDE PROPERTY LINE

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TRIP POLE

INFORMATION SIGN

model id +
sales office id.

31.48' N 01° 47' 43" W
FRONT PROP. LI.

45.00' N 01° 47' 43" W
FRONT PROP. LINE

45.00' N 01° 47' 43" W
FRONT PROP. LINE

BURGESS DRIVE

20'-0" FRONT SETBACK

15'-0" REAR SETBACK

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