

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Benjamin Guerra, 5625 4th Street, Rio Linda, CA 95673		
OWNER	Benjamin Guerra, 5625 4th Street, Rio Linda, CA 95673		
PLANS BY	Brooks and Associates, 849 North 12th Street, San Jose, CA 95112		
FILING DATE	5-29-87	ENVIR. DET.	Neq. Dec.
ASSESSOR'S-PCL. NO.	237-0092-023 & 27		REPORT BY DH:tc

- APPLICATION:**
- A. Negative Declaration
 - B. Special Permit to sell alcohol on-site and off-site
 - C. Special Permit to establish a 24 hour convenience market with gas dispensing facility on 0.91+ net acres in the Light Industrial-Review (M-1(S)-R) zone.
 - D. Plan Review for a 2,500 square foot convenience market, a 1,836 square foot restaurant, and a 2,160 square foot canopy over the gas island

LOCATION: 1595 Bell Avenue

PROPOSAL: The applicant is requesting the necessary entitlement to construct a 30 seat restaurant, 2,500 square foot 24 hour AM-PM mini-market and 2,160 square foot canopy.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1984 North Sacramento Community
Plan Designation: Industrial
Existing Zoning of Site: M-1(S)R
Existing Land Use of Site: Vacant; former gas station site

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Vacant; M-1(S)R	Front: (Raley)	50'	50' to canopy
South: Bar and Residential; C-2-R	Side(Int):	0	0'
East: Gas Station; M-1(S)-R	Side(St):(Bell)	25'	25' to canopy
West: Vacant; M-1(S)-R	Rear:	0'	7'

Parking Required: 10 spaces for restaurant; 10 spaces for convenience Market - Total 20 spaces

Parking Provided: 20 spaces

Property Dimensions: 225' x 135'

Property Area: 0.91+ acres; 1.2+ gross acres

Square Footage of Building: Restaurant = 1,836 sq. ft.; AM-PM = 2,500 sq. ft.; canopy = 2,160 sq. ft.

Height of Building: 17 ft.

Topography: Flat

Street Improvements: To be provided

Utilities: To be extended

Exterior Building Materials: Stucco, wood trim on restaurant; metal panels on AM-PM

Roof Material: Stucco's wood frame on AM-PM

Restaurant Seating Capacity: 30
Number of Employees per Shift: Restaurant - 4; AM-PM - 2
Total Number Employees: Restaurant 4; AM-PM - 6
Hours of Operation: Restaurant - 10 AM to 12 PM; AM-PM - 24 hours

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning:

The subject site is a 0.91+ vacant lot which is zoned Light Industrial Review (M-1(S)R) zone. The site contains the foundations of former gas station. Underground gasoline storage tanks may still be installed so that their removal would be necessary prior to any new construction. Adjacent land uses consist of vacant to the north and west, with two retail shops to the east across Raley Boulevard, one of which is a gas station with mini-market which includes the sale of wine and beer. This market is open from the hours of 8 AM to 9PM. To the south is a bar and dance hall and parking areas.

The Planning Commission previously approved a lot line adjustment to expand the subject site from .45 acres to 1.2 gross acres on May 23, 1985, (P85-173). A certificate of compliance has been recorded, however, the assessor's office incorrectly established two lots rather than to adjust the common property line. The applicant's engineer is correcting the problems at the time this report is being prepared.

B. Project Description: The applicant is requesting the necessary entitlement to construct a pizza restaurant with 32 seats, 2,500 square foot AM-PM mini-market and two gas station islands with canopy. The convenience market is located within 500 feet of residentially zoned property and is proposed to be open 24 hours thereby requiring a Special Permit. The applicant is also subject to the new ordinance regulating the sale of off-site alcoholic beverages effective June 23, 1987 (Ordinance 87-077). The ordinance regulating alcoholic beverage sales requires a special permit from the Planning Commission. The applicant proposes to operate the restaurant from 10 AM to 12 midnight and employ four people. The convenience market is proposed to be open 24 hours with a total of six employees, two employees per eight hour shift.

C. Site Plan: Staff has reviewed and revised site plan and offers the following comments:

Landscaping:

1. Parking and maneuvering areas shall be designed to meet the City Tree Shading Ordinance requirement. Additional trees appear to be necessary to meet the 50 percent tree shade coverage within 15 years of planting. The applicant shall prepare detailed landscaping and irrigation plans for review and approval by the Planning Director complying with the Tree Shading Ordinance;
2. landscaping along the public right-of-way shall consist of living ground cover. Primary use of bark or mulch, rock or other non-living material is not allowed;

3. no portable concrete wheel stops are allowed. Use of a continuous pour six inch concrete curb wheel stop and two feet of vehicle overhang into the planter strip is recommend;
4. landscaping should include undulating berms along the public right-of-way, a minimum of three to four feet in height along Raley Boulevard and along Bell Avenue.

Lighting:

All lighting shall be directed on-site and not reflect off-site onto residentially zoned property. Use of shields along the Bell Avenue lights shall be installed.

Air and Water Dispenser Unit:

No air and water dispenser unit is shown on the revised site plan. Staff recommends that the water and air unit be located away from vehicle travel areas.

Parking:

Parking spaces are required at a ratio of one space per 250 square feet of building for the convenience market and one space per three seats for the restaurant. A total of 20 spaces are required with 20 spaces shown. Parking may be reconfigured to meet the 50 percent tree shading ordinance requirement.

Trash Enclosure:

A trash enclosure is shown on the plan. The trash enclosure shall be designed to comply with the trash enclosure guidelines, Exhibit K.

- D. Canopy: The applicant proposed to construct a 32 foot by 55 foot canopy over the islands, with an overall height of 16 feet. A total of eight pumps will be provided with four pumps per island. The canopy will have an illuminated fascia band which will outline the canopy which is painted the Arco blue, orange and white bands. The canopy color is considered part of the signage so that direct illumination constitutes a violation of the City Sign Ordinance. In order to comply with the Sign Ordinance, the internally illuminated fascia should be modified to delete the lighting fixtures. Sufficient lighting under the canopy will provide on-site illumination. Eight two feet by two feet florescent light cabinets are proposed under the canopy.

The canopy also shows two external loudspeakers. The volume of the loudspeaker system shall be adjusted so to not be audible off-site. The purpose of the speakers is to provide directions to users of the pumps. No music or constant usage is planned. Staff does not recommend constant noise from the speakers due to the proximity of the site to residential land uses.

E. Security and Adjacent Land Use:

As the Police Department commented, the area may create a potential source of increased law enforcement demand. Staff notes areas which are not capable of being watched by the operator. The open landscaped area located at the southwest corner of the property may become a loitering area. Staff recommends that the applicant increase security for that area not visible from the inside of the mini-market. Use of video cameras or television monitors for areas outside the building may provide one alternative suitable to address surveillance. Fencing the area may also be appropriate. The City Police Department should be consulted and their recommendations reflected on the revised site plan. (Refer to Exhibit M-Correspondence).

F. Signage:

The applicant proposed internally illuminated, canned, plastic signs attached to the building and shows a pole sign. Illuminated spandrel signs are shown on the canopy. Staff supports the use of monument sign located 10 feet behind the future right-of-way of Bell Avenue and Raley Boulevard, limited to 12 feet in height and does not recommend approval of pole sign. Staff is concerned over possible duplication of price signs on the canopy and detached on the site. Staff recommends that a sign program be submitted for review and approval by the Planning Director prior to issuance of sign permits since the signs will be located on structures located within the 50 foot setback area. (Refer to Exhibits F and G for example of monument and pole sign).

G. Traffic and Circulation:

The City Traffic Engineer commented that Raley Boulevard and Bell Avenue will require dedication to a 110 foot half-section to accommodate proposed expanded intersection. The applicant has revised his drawings to reflect the increased right-of-way. Driveways are to be constructed to standard improvements with three foot flares on the driveways. Handicapped ramps for each crosswalk will be required, one east and one south. Driveways will eventually be confined to right-in and right-out when medians are constructed.

On-site circulation appears constrained near the gasoline islands. Staff recommends that the applicant provide adequate maneuvering and stacking area for cars to the satisfaction of the City Traffic Engineer.

H. Off-sale Alcohol Ordinance Requirements:

Under Ordinance 87-077, the Planning Commission is required to make the following findings in order to approve a special permit to sell alcoholic beverages for off premises consumption:

1. The proposed use will not adversely affect the peace or general welfare of the surrounding neighborhood.

2. The proposed use will not result in undue concentration of establishments dispensing alcoholic beverages.
3. The proposed use will not enlarge or encourage the development of a skid row or blighted area.
4. The proposed use will not be contrary to or adversely affect any program of redevelopment or neighborhood conservation.

The Ordinance also allows the Planning to regulate the following:

hours of operation; quantity and size of containers sold; alcoholic content of wines sold for off-premises consumption; percentage of shelf space devoted to alcoholic beverages; and requirement that the establishment post, in compliance with the City Code, signs prohibiting the possession of open alcoholic beverage containers or the consumption of alcoholic beverages on any property adjacent to the establishment under the control of the establishment's operator; any other activities proposed for the premises.

Staff has conducted an evaluation of the impact the proposed off-site sale of alcohol would have and recommended to the applicant that alcohol sales stop at 12 midnight rather than 2 AM as required by the State. This restriction would avert patrons of the bar south of the site crossing Bell Avenue at bar closing time to pickup alcohol. It would also discourage loitering in the late evening and early morning hours. The proposed pizza restaurant will close at midnight so no conflict between the AM-PM and restaurant close at midnight so to not attract patrons from the bar.

Staff also recommends that signs be posted prohibiting the possession of open alcoholic beverage containers or the consumption of alcoholic beverage containers on the consumption of alcoholic beverages on any property adjacent to the AM-PM site. Signs shall be installed prior to occupancy of the site and be shown on the revised site plan.

With the above modifications, staff finds that the proposed AM-PM mini-market and pizza restaurant consistent with the intent of the ordinance. The gas station located east across Raley Boulevard sells beer and wine for off-site consumption but is open from 8 AM to 9 PM Monday through Saturday and from 9 AM to 9PM on Sunday. Due to the restricted hours of operation of the existing off premises alcohol business, staff does not anticipate a problem with two facilities offering alcohol sales. Should a problem occur, review of the Special Permit would be possible.

Agency Comments:

The proposed project was reviewed by the City Engineer, Traffic Engineer, Fire Department and Police Department with comments received as follows:

Police Department - Refer to Exhibit M - Correspondence

Traffic Engineering:

1. Dedicate Raley and Bell to a 110 foot half-section to accommodate proposed expanded intersection. Construct standard improvements with three feet flares on driveway.
2. Handicapped ramps for each crosswalk, one east and one south.
3. Driveways will eventually be confined to right-in and right-out when medians are constructed.

Fire Department - No Comment

Environmental Determination:

The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration subject to the following mitigation measure:

In order to avoid any significant environmental impact that may result from these actions, the applicant shall provide letters approving the proposed project from the Cit Fire Chief, County Environmental Health Section (contact Jim Claypool, 366-2109) and the State Health Services (324-1826) for installation standards prior to issuance of any building permits.

RECOMMENDATIONS: Staff recommends the following actions:

- A. Ratification of the Negative Declaration; and
- B. Approve the Special Permit to sell alcohol subject to conditions and based upon findings of fact which follow; and
- C. Approve the Special Permit for a 24 hour convenience market subject to conditions and based upon findings of fact which follow; and
- D. Approve the Plan Review subject to conditions.

Conditions - Off-site and On-site Alcohol Beverage Consumption:

1. Alcohol shall not be sold between the hours of 12 midnight and 6 AM the following day.
2. Signs prohibiting the possession of open alcoholic beverage containers on the consumption of alcoholic beverages on any property under the control of the applicant shall be posted. Their location shall be shown on a revised site plan prior to issuance of building permits.
3. The restaurant shall close at 12 midnight so to not conflict with the convenience market.

Conditions - Special Permit and Plan Review:

1. All water, sewer and drainage facilities to serve the site shall met all applicable City and County Codes. The applicant shall sign a letter for the Public Works Department indicating no opposition to the formation of an assessment district to fund water, sewer or drainage improvements in the future. The letter of no protest shall be signed by the applicant and accepted by Public Works prior to issuance of building permits.
2. The applicant shall prepare a revised site plan showing compliance with the City Tree Shading Ordinance for review and approval by the Planning Director prior to issuance of building permits.
3. Landscaping along the public right-of-way shall consist of living ground cover. No bark, mulch, rock or other similar material is allowed.
4. No portable wheel stops are allowed. Parking stalls shall incorporate a continuous pour six inch concrete wheel stop with two feet of vehicle overhang into the planter. All landscaping int he vehicle overhang and irrigation shall be designed to allow car overhang.
5. Landscaping shall be bermed along the public right-of-way a minimum of three to four feet in height along Raley Boulevard and along Bell Avenue. If the site design is altered to provide shading, mounding alternatives are to be reviewed and approved by Planning staff.
6. All lighting shall be directed on-site and not reflect off-site onto residentially zoned property. Use of lighting shields may be appropriate along the Bell Avenue property line lights. Signs shall not glare onto residentially zoned property.
7. The air and water dispenser unit should be relocated away from vehicle travel areas.
8. All revised parking lot layout and maneuvering areas shall comply with City Code.
9. The trash enclosure shall be designed to comply with the trash enclosure guidelines, Exhibit E.
10. No external loudspeaker system shall be utilized if audible from adjacent residential uses; the air compressor for the air supply shall be muffled so that it is not perceptible from adjacent residential uses. No external bell system shall be used to indicate drive-up clients which is audible outside the mini-market building.
11. The applicant shall increase security along the southwest and western area of the property in consultation with the City Police Department. The revised site

plan shall be reviewed and approved by the Police Department and then reviewed by the Planning Director;

Steps that should be taken to mitigate and reduce the law enforcement problems are as follows:

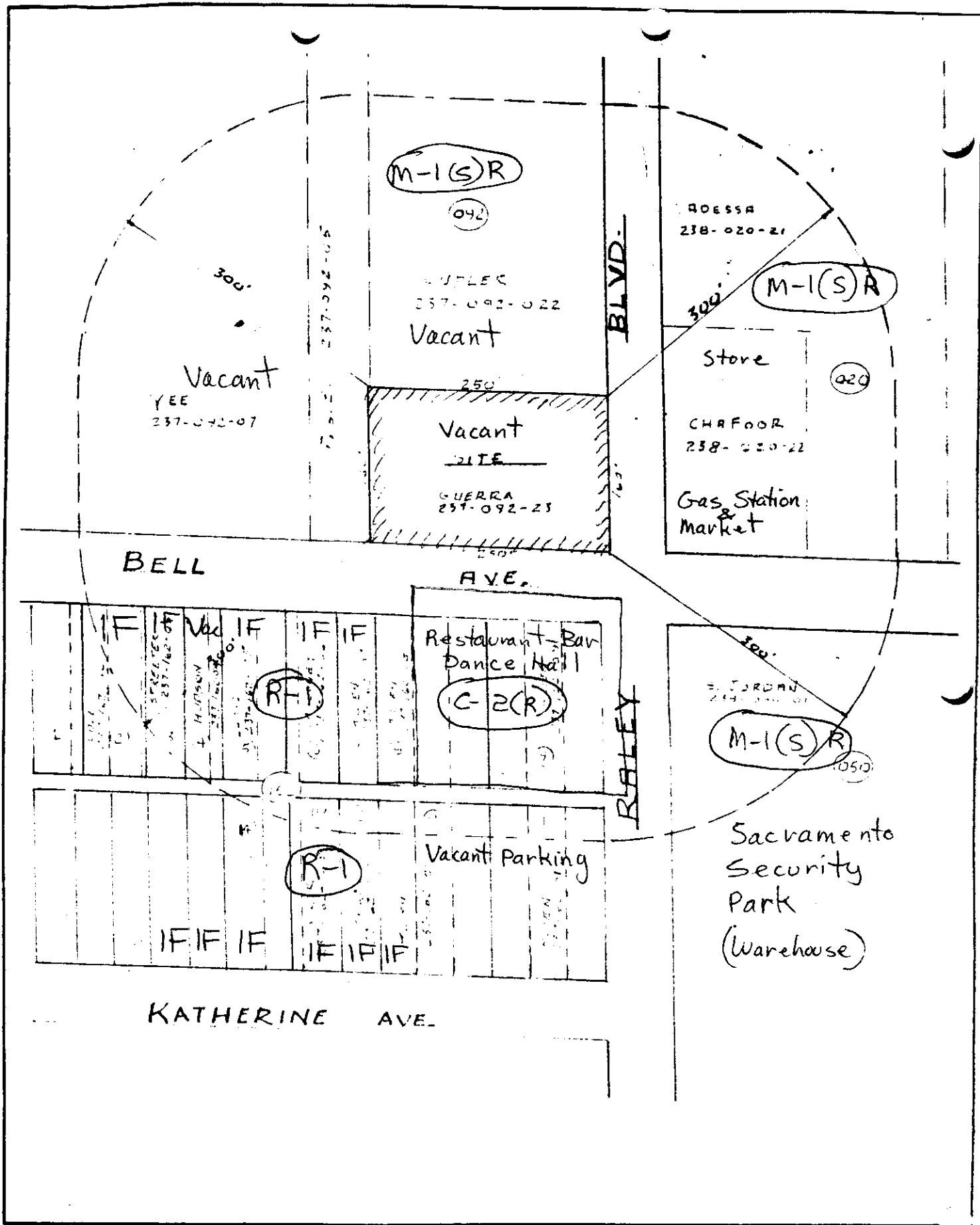
- a. Perimeter fencing or landscaping so that people and vehicles can only enter by means of the driveways. Fencing should be decorative wrought iron or masonry block. No chainlink fencing is recommended.
 - b. Bright lighting throughout the property shall be shown with no light reflecting south of Bell Avenue.
 - c. Keep the windows clear of merchandise so that the cash register area can be seen at times by cars passing by.
 - d. Post the property, "No Drinking and No Loitering."
 - e. Install adequate surveillance cameras and alarm systems. This will prevent both employee theft and help in the apprehension of robbery suspects.
12. The applicant shall submit a sign program for review and approval by the Planning Director prior to issuance of sign permits.
 13. The applicant shall satisfy all requirements of the City Engineer and City Traffic Engineer as indicated below:
 - a. Dedicate Raley and Bell to a 110 foot half-section to accommodate proposed expanded intersection. Construct standard improvements with three foot flares on driveways.
 - b. Handicapped ramps for each crosswalk - one east and one south.
 - c. Driveways will eventually be confined to right-in and right-out when medians are constructed.
 14. No perimeter fascia or soffit lighting which accents either the convenience market building or canopy structure is allowed. Revised elevation drawings shall delete the florescent light fixtures in the soffit and fascia panels for the canopy and mini-market.
 15. In order to avoid any significant environmental impacts that may result from these actions, the applicant shall provide letters approving the proposed project from the City Fire Chief, County Environmental Health Section (contact Jim Claypool, 366-2109) and the State Health Services (324-1826) for installation standards prior to issuance of any building permits.

Findings of Fact - Special Permit for Alcohol Sales

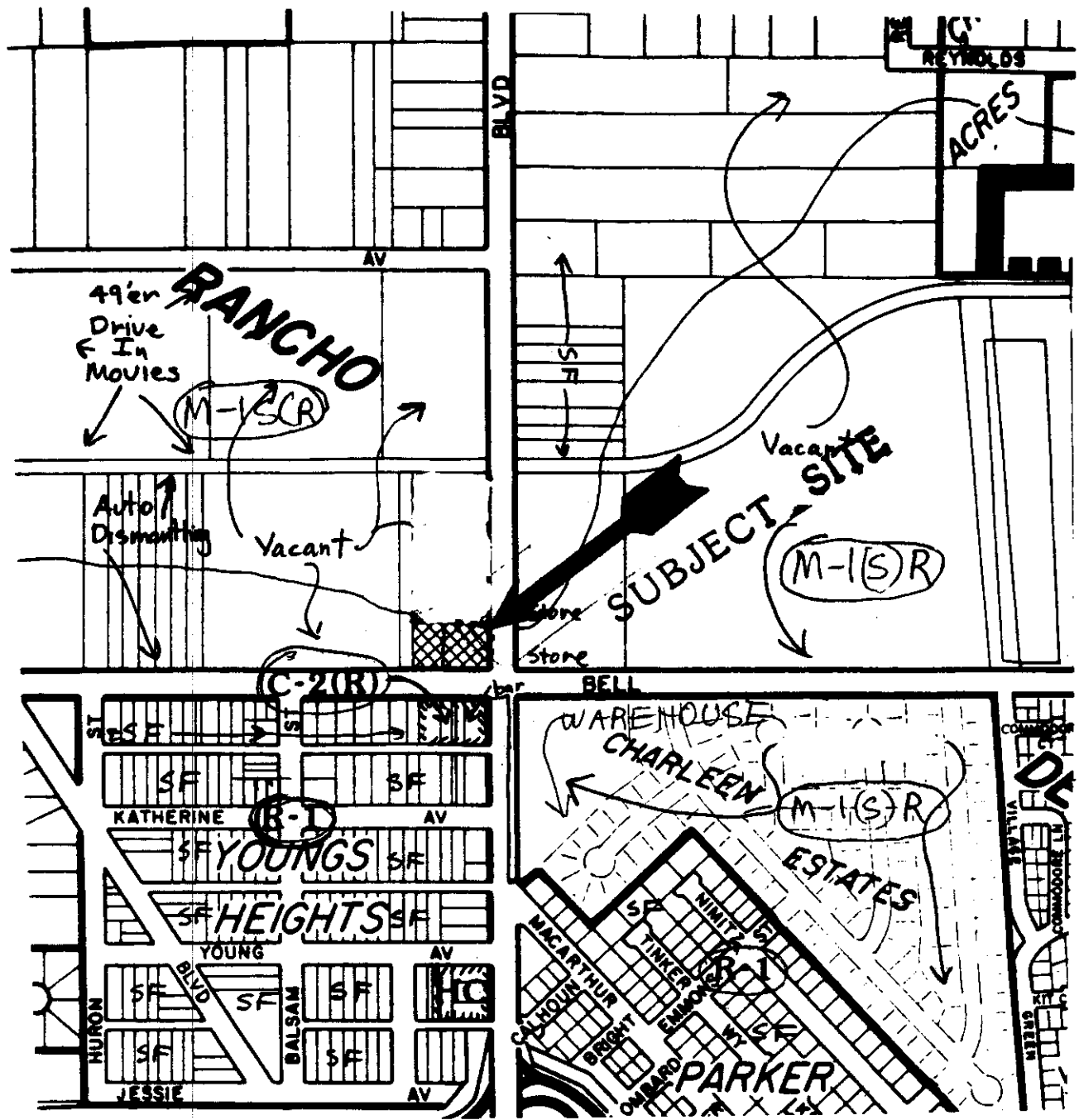
1. The proposed use will not adversely affect the peace or general welfare of the surrounding neighborhood.
2. The proposed use will not result in undue concentration of establishments dispensing alcoholic beverages.
3. The proposed use will not enlarge or encourage the development of a skid row or blighted area.
4. The proposed use will not be contrary to or adversely affect any program of redevelopment or neighborhood conservation.

Findings of Fact - Plan Review and Special Permit - Convenience Market:

1. The proposal, as conditioned, is based upon sound principles of land uses, in that:
 - a. the service station/convenience store will be compatible with the adjacent surrounding land uses which include residential, warehouse and commercial uses;
 - b. the facility is located on two major streets;
2. The proposal, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance in that;
 - a. adequate setback is provided;
 - b. security will be provided;
 - c. lighting will be directed on-site;
 - d. noise will be limited and insulated.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for general commercial uses in the 1984 North Sacramento Community Plan and the proposed service station/convenience store conforms with the plan designation.



LAND USE & ZONING MAP



All zoning M-1(S)R unless otherwise noted

Land Use: Vacant unless otherwise noted.

N
↑
Scale 1" = 500'

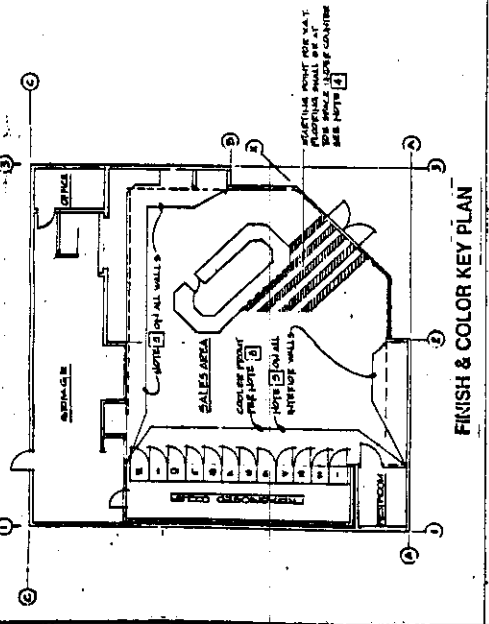
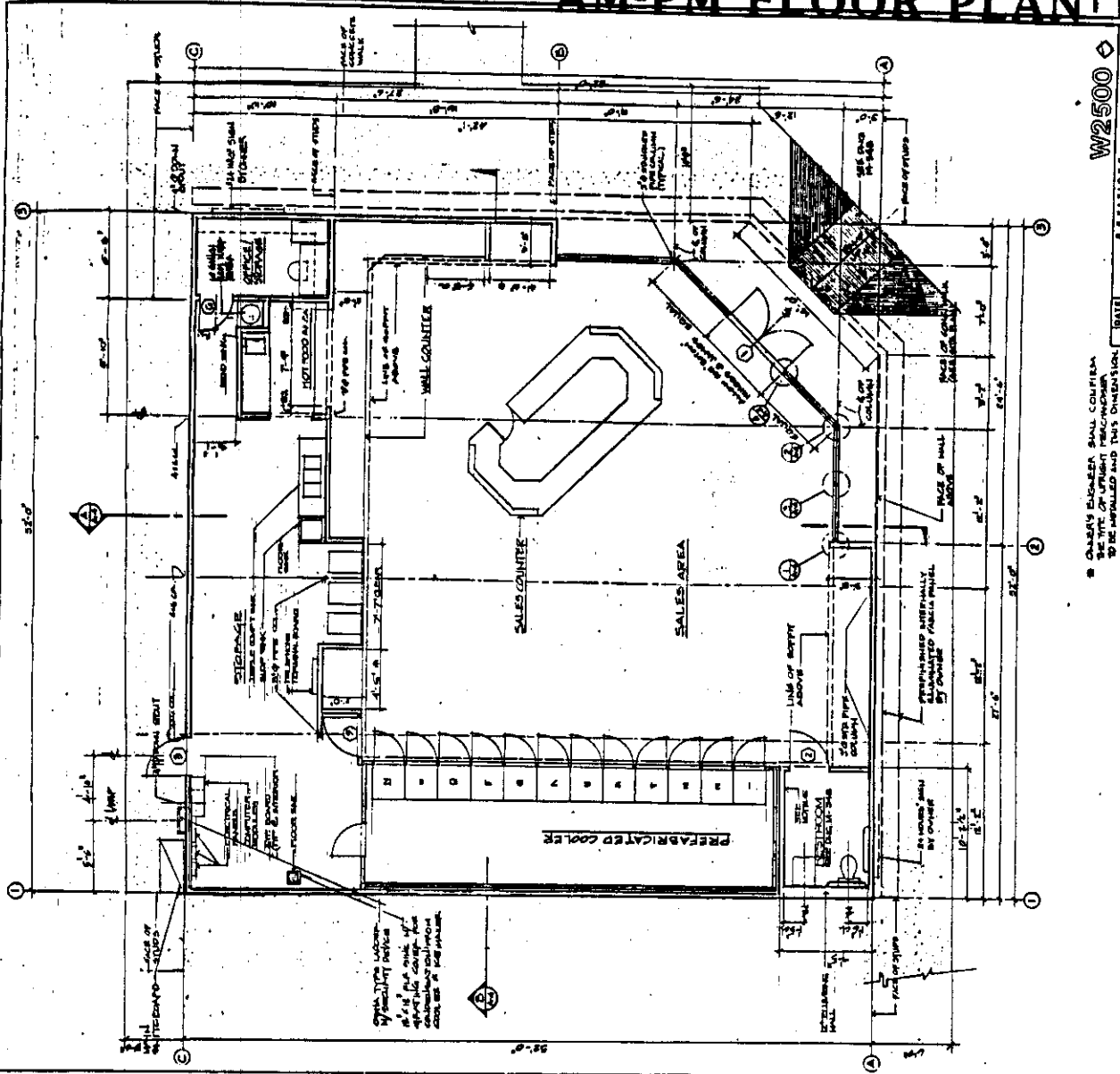
VICINITY - LAND USE - ZONING



ARCO Petroleum Products Company
 Design & Engineering
 1515 South Flower Street, Los Angeles, CA 90071

NEW AM/PM FACILITY
FLOOR PLAN FINISH SCHEDULE & COLOR KEY PLAN

NEW AM/PM FACILITY
 DRAWING NO. 69
 DATE



ROOM FINISH SCHEDULE

FINISH	FLOOR	BASE	WALLS	CEILING	REMARKS
SALES AREA	1	1	1	1	SEE NOTE 1 FOR COLOR PATTERN
SALES COUNTER	1	1	1	1	SEE NOTE 2 FOR FINISH
WALL COUNTER	1	1	1	1	SEE NOTE 2 FOR FINISH
PREFABRICATED COOLER	1	1	1	1	SEE NOTE 3 FOR FINISH
STORAGE	1	1	1	1	SEE NOTE 4 FOR FINISH
OFFICE	1	1	1	1	SEE NOTE 5 FOR FINISH

NOTE

- ALL WALLS SHALL BE 1/2" GYPSUM BOARD ON STUDS. ALL WALLS SHALL BE PAINTED TO MATCH THE SALES AREA.
- ALL SALES COUNTERS SHALL BE 1/2" GYPSUM BOARD ON STUDS. ALL SALES COUNTERS SHALL BE PAINTED TO MATCH THE SALES AREA.
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DOOR SCHEDULE

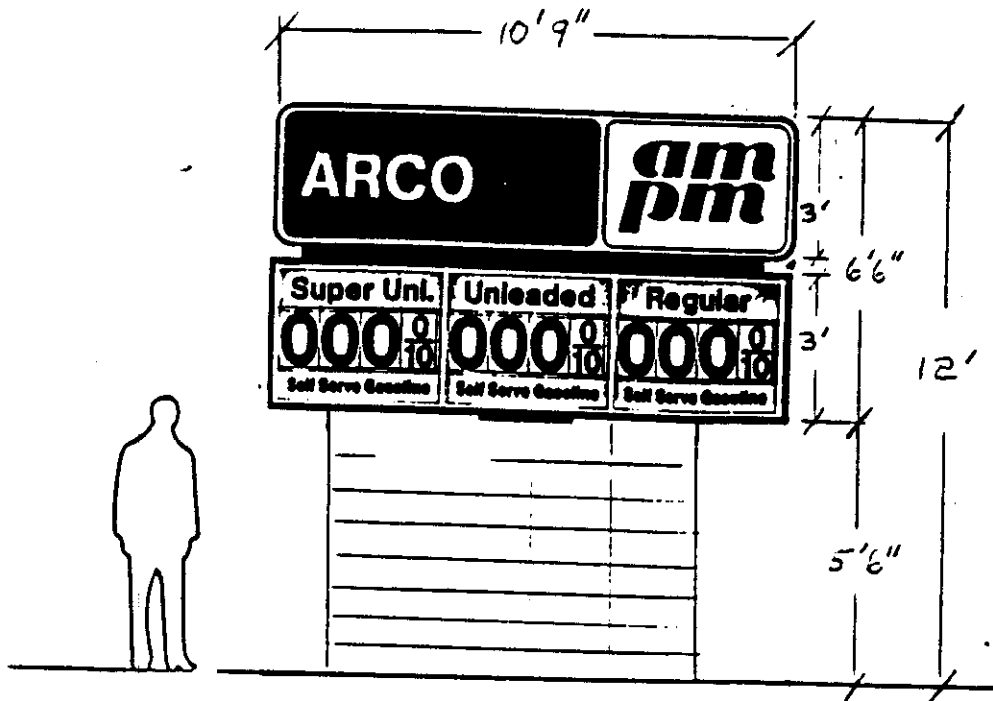
NO.	SIZE	HEAD	JAMB	MATERIAL	FRAME	REMARKS - SPEC. R.E.
1	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
2	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
3	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
4	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
5	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
6	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH
7	3'-0" x 7'-0"	1	1	1	1	SEE NOTE 1 FOR FINISH

P-87-262

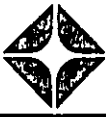
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Item 6

MONUMENT SIGN IN LIEU OF POLE SIGN

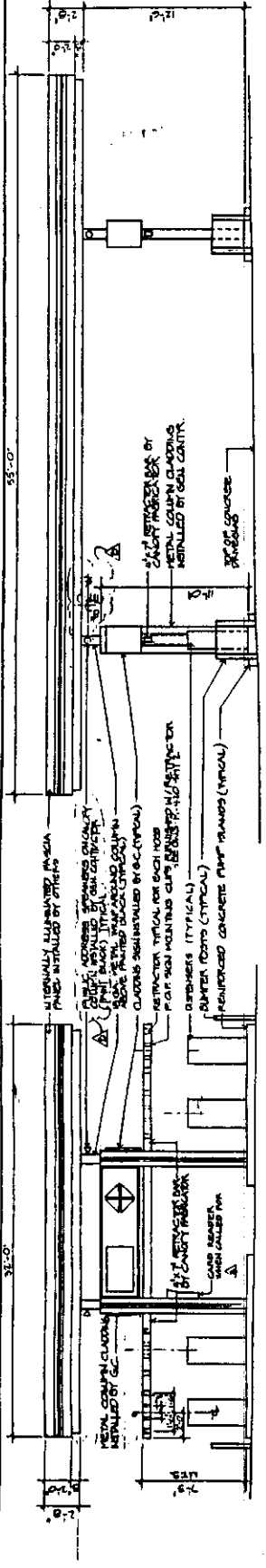


STAFF RECOMMENDATION



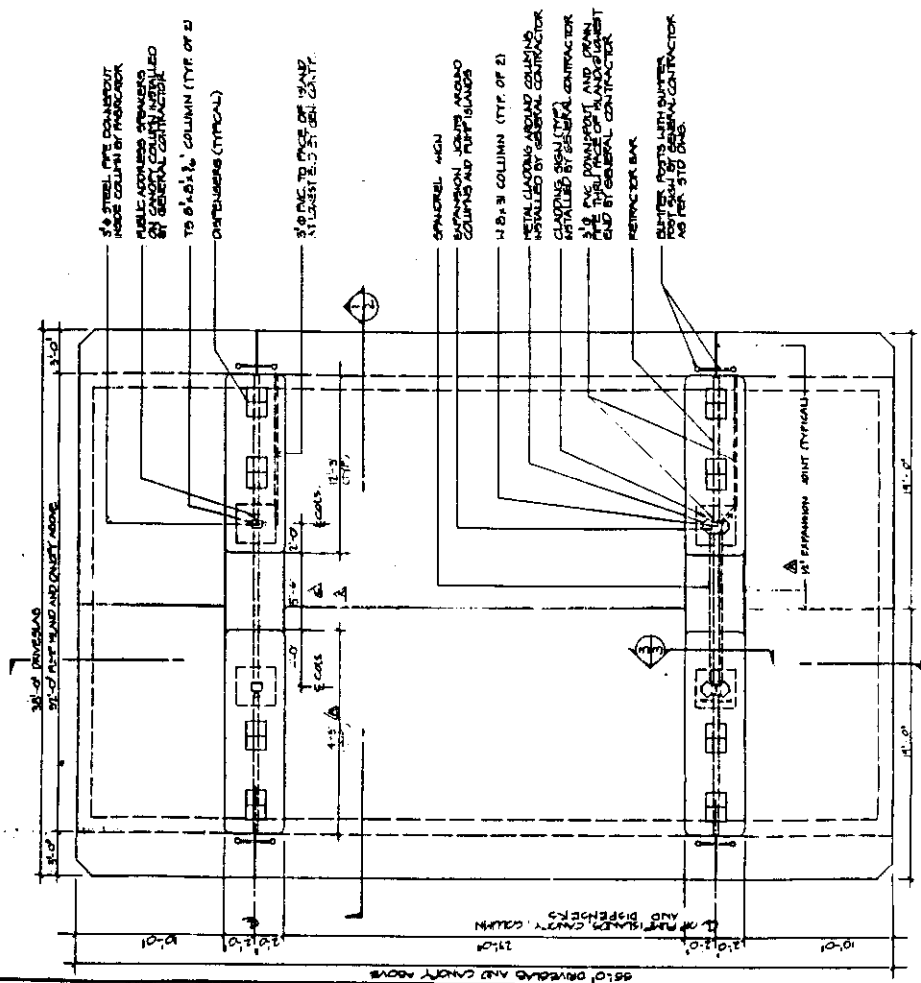
NEW SUPER-DOUBLE ISLAND CANOPY ELEVATIONS AND NOTES

DATE	REVISIONS
10/14/87	ORIGINAL PROJ. 1570
11/14/87	REVISIONS AND NOTES REVISED/ADDED PER ARCHITECT'S COMMENTS
12/14/87	REVISIONS AND NOTES REVISED/ADDED PER ARCHITECT'S COMMENTS
1/14/88	REVISIONS AND NOTES REVISED/ADDED PER ARCHITECT'S COMMENTS



FRONT ELEVATION

SIDE ELEVATION



FLOOR PLAN

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND ORDERS FOR THE CANOPY'S FOUNDATION AND ANCHOR BOLT SHALL BE AS SHOWN.
2. DETAIL OF CANOPY FRAMING AND COLUMN SHALL BE OBTAINED FROM LOCAL BUILDING CODES. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY CALCULATIONS FOR APPROVAL.
3. GENERAL CONTRACTOR SHALL FURNISH ANCHOR BOLTS AND INSTALL REINFORCING LIGHTS, P.A. HORNS, SPANDREL SIGN AND CARD READER.
4. THE STEEL CONTRACTOR SHALL FINISH AND INSTALL THE CANOPY STRUCTURE WITH ALL COLUMN AND BEAM CONNECTIONS AND OTHER FITTINGS DOWN TO TOP OF CONCRETE FOUNDATION.
5. STEEL CONTRACTOR SHALL COORDINATE WITH OTHER SUBCONTRACTORS AND PROVIDE ALL DETAILS FOR CANOPY AND SIGN, REQUIRED WITHIN THE STRUCTURAL MEMBERS AS SHOWN IN THE DRAWINGS.
6. CONCRETE:
 - PC-1500 PSI, 0.18 DAYS (FOR FOOTINGS)
 - CC-1500 PSI, 18 DAYS (FOR EXPOSED SLAB)
 - CONCRETE SHALL BE PLACED AND CURED ACCORDING TO THE CONTRACTOR'S SPECIFICATIONS AND SHALL NOT BE REFINISHED.
7. CANOPY IS DESIGNED FOR:
 - LL = 20 P.S.F.
 - WL = 10 P.S.F.
 UNLESS OTHERWISE DIRECTED BY OWNER'S ENGINEER.
8. COLUMN FOUNDATIONS SHALL BE INSTALLED BY GENERAL CONTRACTOR IN ACCORDANCE WITH DRAWINGS.
9. THE GENERAL CONTRACTOR SHALL BE FURNISHED BY ARCO AND INSTALLED BY:
 - A. LIGHT FIXTURES
 - B. PRE-FINISHED COLUMN CLADDING WITH HARDWARE
 - C. ILLUMINATED SPANDREL SIGN WITH HARDWARE
 - D. PUBLIC ADDRESS SYSTEMS CONSISTING OF 2 HORNS, 1/2" DIA. P.A. HORNS (3000 HZ) AND 1/2" DIA. P.A. HORNS TO 1000 HZ (3000 HZ)
 - E. "PAY POINT" CARD READER (WHEN CALLED FOR)
10. STRUCTURAL STEEL SHALL BE FURNISHED BY GENERAL CONTRACTOR. FABRICATOR SHALL BE FURNISHED BY GENERAL CONTRACTOR UNLESS OTHERWISE STATED IN SUPPLEMENTAL CONDITIONS.

TRASH ENCLOSURE GUIDELINES

The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main structure(s).

The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position. The hinges shall be sufficient in size, strength and number to adequately support the metal gates.

The trash enclosure facility shall be designed to allow walk-in access by janitors without having to open the main enclosure gates;

The walls shall be a minimum six feet in height, more if necessary for adequate screening.

The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines.

A concrete apron shall be constructed in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at the point of dumpster pickup;

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10 feet or width of enclosure facility; length 20 feet. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technician (Plan Checker);

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

--- A trellis structure covering the trash facility shall be constructed to screen these units from view from the upper floors of the office building.

EXHIBIT L PROPOSED LANDSCAPE LIST

		QUAN.	SIZE
<u>Ground Cover</u>			
1	BLUE GRASS (SOON)		
2	HEDERA ALGERIENSIS	FLAT	
3	BOULDER 2' TO 4' DIAMETER	FLAT	
4	RED LEMNA GRASS		
5			
<u>Shrubs</u>			
9	WATSONIA		
10	PAV. NANOUM JUNIPER	EVER 3'	1 GAL
11	TENAY IRIS	11 "	
12	INNOMINATA TRIS	7	1 GAL
13	AGAPANTHUS AFRICANUS	EVER 5'	1 GAL
14	DIANTHUS BARBATUS (SWEETWILL) & VIOLA ODORATA (SWEET VIOLET)	EVER 12'	1 GAL
15	SOLDANO PLANTAGO JUNIPER	17	5 GAL
16	LILIIUM CRENULUM	10	1 GAL
	LILIIUM COLORADO	11	1 GAL
<u>Trees</u>			
20	CINNAMOMUM CAMPHORA	2	15 GAL
21	MAYTELL TREE	4	10 GAL
22	ALBIZIA JULIBRISSAN (SILK TREE)	6	15 GAL
23	ITALIAN CYPRESS	13	15 GAL
24			
25			
26			

P87262



CITY PLANNING DIVISION
EXHIBIT M CORRESPONDANCE
JUN 30 1987
CITY OF SACRAMENTO

RECEIVED

DEPARTMENT OF POLICE

HALL OF JUSTICE
813 6TH STREET

SACRAMENTO, CALIFORNIA 95814
TELEPHONE (916) 449-5121

JOHN P. KEARNS
CHIEF OF POLICE

June 29, 1987
Ref: 6-15

MEMORANDUM

TO: WILL WEITMAN, SENIOR PLANNER
DEPARTMENT OF PLANNING & DEVELOPMENT

FROM: JERRY V. FINNEY
ASSISTANT CHIEF OF POLICE

SUBJECT: PROPOSED AM/PM MINI MARKET, 1595 BELL AVENUE

This memorandum is in response to your request dated June 18, 1987. You posed three questions regarding a proposed 24 hour mini market with gasoline sales at 1595 Bell Avenue. The questions asked were:

1. Have there been problems associated with activities of the Country Comfort Lounge which may affect the operation of a 24 hour convenience market?
2. Do you think the new 24 hour mini market would impact the adjacent residential neighborhood located to the south? Would the facility become a potential attractive nuisance for residents living south of Sacramento Security Park off McArthur Street?
3. We are aware of vandalism problems at Sacramento Security Park. In your opinion, would the opening of a 24 hour mini market, with beer and wine sales result in negative off site impacts?

Attached are comments from the various patrol sergeants that are familiar with the Bell Avenue site. In summary, the Country Comfort Lounge could have some impact on the proposed mini market. This location has been involved in disturbance type calls, the scene of bar fights, and other alcohol related problems. With the proximity of the mini market with beer and wine sales, there could be a "run" on the market as the bar closes. Some of the disturbances at the bar could carry over to the mini market.

June 29, 1987

The proposed site is now used for overflow parking from the bar on weekends. The surrounding area may have some problems as the people will have to find new parking areas.

The answer to your second question is that we do not believe the market would be a detriment to the residential neighborhood located to the south. It could be an attractive nuisance for juveniles who live in the area south of the security park. If the AM/PM Mini Market is run as are other 24 hour AM/PM Markets, the problems should not be substantial.

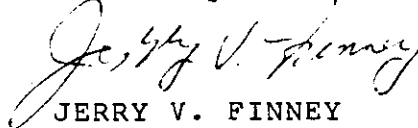
The answer to your third question is that we do not believe the vandalism issue will be increased because of the presence of the market. The negative off site impacts that could take place because of the establishment of this market would be drinking alcoholic beverages on the property or on adjacent property. Increased foot and vehicular traffic late at night when police resources are limited, and the potential for robbery at this location due to its isolated circumstances.

Steps that should be taken to mitigate and reduce the problems are as follows:

1. Perimeter fencing or landscaping so that people and vehicles can only enter by means of the driveways.
2. Bright lighting throughout the property.
3. Keep the windows clear of merchandise so that the cash register area can be seen at all times by cars passing by.
4. Post the property properly, "No Drinking and No Loitering".
5. Install adequate surveillance cameras and alarm systems. This will prevent both employee theft and help in the apprehension of robbery suspects.

If you have any further questions, feel free to call me.

Sincerely,



JERRY V. FINNEY
ASSISTANT CHIEF OF POLICE

JVF:lf

Attachments