

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Tuesday, February 3, 1999, the Zoning Administrator approved with conditions a special permit to allow an off-site parking lot under same ownership for additional parking for an office for the project known as Z98-143. Findings of Fact and conditions of approval for the project are listed on pages 2-5.

**Project Information**

- Request:     1.     **Zoning Administrator Special Permit** to construct an off-site parking lot (under same ownership) to be used for additional parking for a commercial complex on 0.65± partially developed acres in the Heavy Industrial (M-2S) zone.
2.     **Zoning Administrator Variance** to reduce the required 25 foot landscaped setback along all street frontages to 13.5 feet.

Location:     Northeast corner of Florin-Perking Road and Kiefer Boulevard (proposed lot) and 3201 Florin Perkins Road (office building)(D6, Area 3)

Assessor's Parcel Number:     079-0310-035, 036

Applicant:    Buzz Oates Enterprises II (Rod Gover)  
                  8615 Elder Creek Road  
                  Sacramento, CA 95828

Property     Marvin "Buzz" Oates  
Owner:       8615 Elder Creek Road  
                  Sacramento, CA 95828

General Plan Designation:     Heavy Commercial or Warehouse  
Existing Land Use of Site:     Vacant and Office Building  
Existing Zoning of Site:        Heavy Industrial (M-2S)

Surrounding Land Use and Zoning:  
    North: C-2; Commercial  
    South: M-2S; Industrial

East: M-2S; Industrial

West: M-2S; Industrial

Property Dimensions: Irregular  
 Property Area: 0.65± acres  
 Topography: Flat

Project Plans: See Exhibits A and B

Previous Files: None

Additional Information: The applicant is requesting to construct a 46 space parking lot on a separate parcel for an existing office building. The irregular shaped lot is on the northeast corner of Florin-Perkins Road and Kiefer Boulevard. The associated office use is on the southeast corner. The proposed parking spaces are non-required spaces for the office building. The tenant of the office building is the County Probation Department. The office has a high turnover of clients visiting the building. This has been noticed by staff in site visits. Even with the proximity of the light rail station, there is a parking shortage for the office use. The proposed parking lot will help alleviate an on-site parking shortage in the immediate area of the site and reduce the overflow of parking on to the adjacent streets. The site is within 300 feet of the adjacent property and under the same ownership. A Zoning Administrator Special Permit is necessary for an off-site parking area that is within 300 feet of the use and under the same ownership.

The applicant proposes to reduce the required 25 foot landscaped setback along both street frontages to 13.5 feet. The Zoning Ordinance requires a 25 foot landscape setback along all street frontages for properties with the "S" suffix in the zoning designation. The lot is irregular shaped and narrow. Requiring the full setback would severely limit the usable area of the parcel for any use. The applicant is seeking a variance to the requirement. Conditions of approval will reduce the number of spaces to approximately 44.

The project has been noticed and staff has not received any calls.

#### Agency Comments

The proposed project has been reviewed by the City Utilities Department, the Public Works- Transportation and Engineering Planning Divisions, the Building Division, and the Police Department. The comments received pertaining to the project have been included as conditions.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15311(b)}.

Conditions of Approval

1. The applicant will provide a pedestrian walkway at the corner from the parking lot to the street crosswalk. The submitted landscape plan shall be revised to match the grading plan. The applicant shall attempt to expand the landscaped setback area along Florin-Perkins Boulevard during the parking lot revision if at all possible. The applicant shall replace the "Switch Grass" indicated on the landscape plan for the setback area with one of the following plants: Pennisetum orientale (Fountain Grass) or Agapanthus 'peter pan' (Lily of the Nile) or Liriope muscari (Big Blue Lily turf) or Dietes bicolor (Fortnight Lily).
2. The parking lot shall comply with ADA and Title 24 requirements for handicap accessible spaces.
3. The required accessible HCP parking spaces shall not be less than (2) spaces based on total proposed parking stalls shown on site plan.
4. One of the HCP parking stalls shall be served by an access aisle 96 inches wide and shall be designated as "van accessible."
5. HCP accessible path of travel to the proposed parking lot shall be shown on the site plan. The driveway shall not be used as HCP path of travel.
6. The first two stalls on the southeast side at the site entry shall be eliminated and the raised island extended into the area to provide a 25 foot throat at the entry point of the parking lot. The proposed drain inlet located within this area will need to be relocated.
7. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is in an area served by a regional water quality control facility only source control measures are required. Refer to the draft "Manual of Standards for Design of New Development On-Site Stormwater Quality Control Measures" dated January 23, 1995, for appropriate source control measures.
8. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
9. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.
10. **ADVISORY NOTE:** The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after

construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.

11. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of .25 foot-candles of illumination shall be provided at the surface of any walkway, alcove, or passageway related to the building project during the same hours.
12. All landscaping shall be maintained as at a minimum plant and/or shrub height of 30 inches and trees maintained at a minimum distance of six feet from the lowest branch to the ground.
13. Decorative planting shall be maintained as not to obstruct or diminish lighting level throughout project.
14. Should the applicant decide to install fencing then the following requirements must be met.
  - a. Decorative wrought iron no higher than eight feet shall be installed along all street frontages;
  - b. Decorative wrought iron or a solid decorative masonry wall no higher than eight feet may be installed along the north property line up to the required 25 foot landscape setback which shall only have wrought iron;
  - c. If a gate is installed, the gate must meet Zoning Ordinance requirements; and
  - d. The applicant shall submit revised plans showing the proposed fence/wall to include elevations.
15. If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.
16. The applicant shall obtain all necessary building permits prior to commencing construction.
17. The reduced landscape setback is for the proposed parking lot only. The setback is not reduced for fencing or structures.

Findings of Fact-Special Permit:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
  - a. the proposed parking lot will improve a vacant small irregularly shaped parcel and will not substantially alter the characteristics of the site or the surrounding mixed use area; and
  - b. the proposed parking lot will provide additional off-street parking for an existing office building that has a parking shortage and is creating an impact on the surface streets.
2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
  - a. adequate drainage and new landscaping with trees will be provided;
  - b. additional on-site parking will be provided to an area with inadequate on-site parking for the office use; and
  - d. the parking lot will not have a significant impact on the industrial development.
3. The project is consistent with the General Plan which designates the subject site as Heavy Commercial or Warehouse.

Findings of Fact-Variance:

1. Granting the variance does not constitute a special privilege extended to an individual applicant in that a variance would be and has been granted to other property owners facing similar circumstances.
2. Granting the variance request does not constitute a use variance in that a parking lot is an allowed use in the industrial zone with a Special Permit.
3. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
  - a. there will be adequate landscaping along all street frontages;
  - b. the proposed project will not substantially alter the characteristics of the site or the surrounding area; and
  - c. the site is narrow and irregular in shape which greatly restricts usable area.

Joy D. Patterson

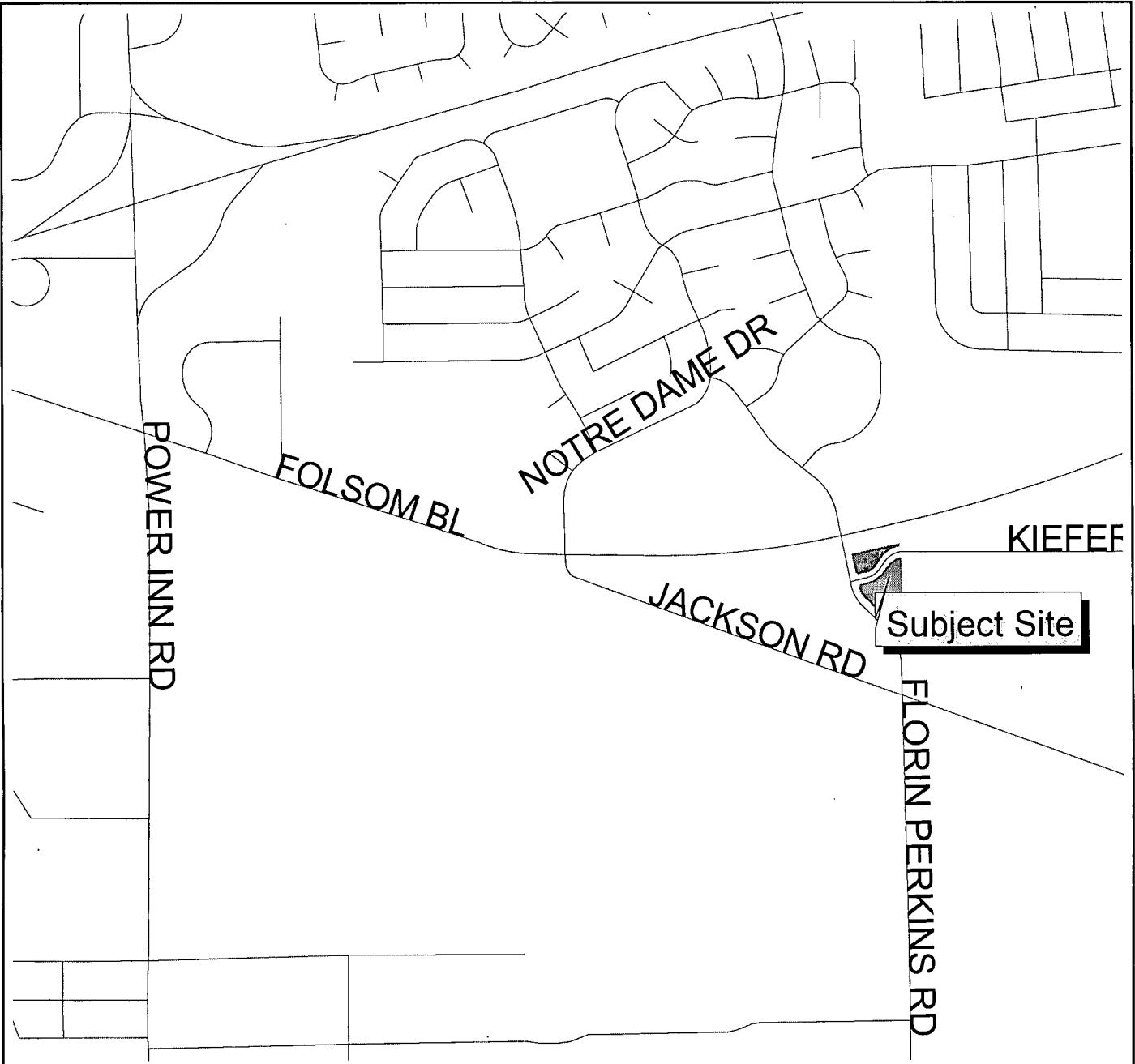

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Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

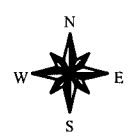
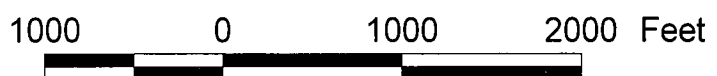
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File                      Applicant              ZA Log Book

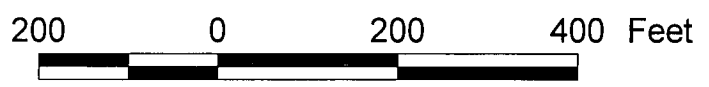
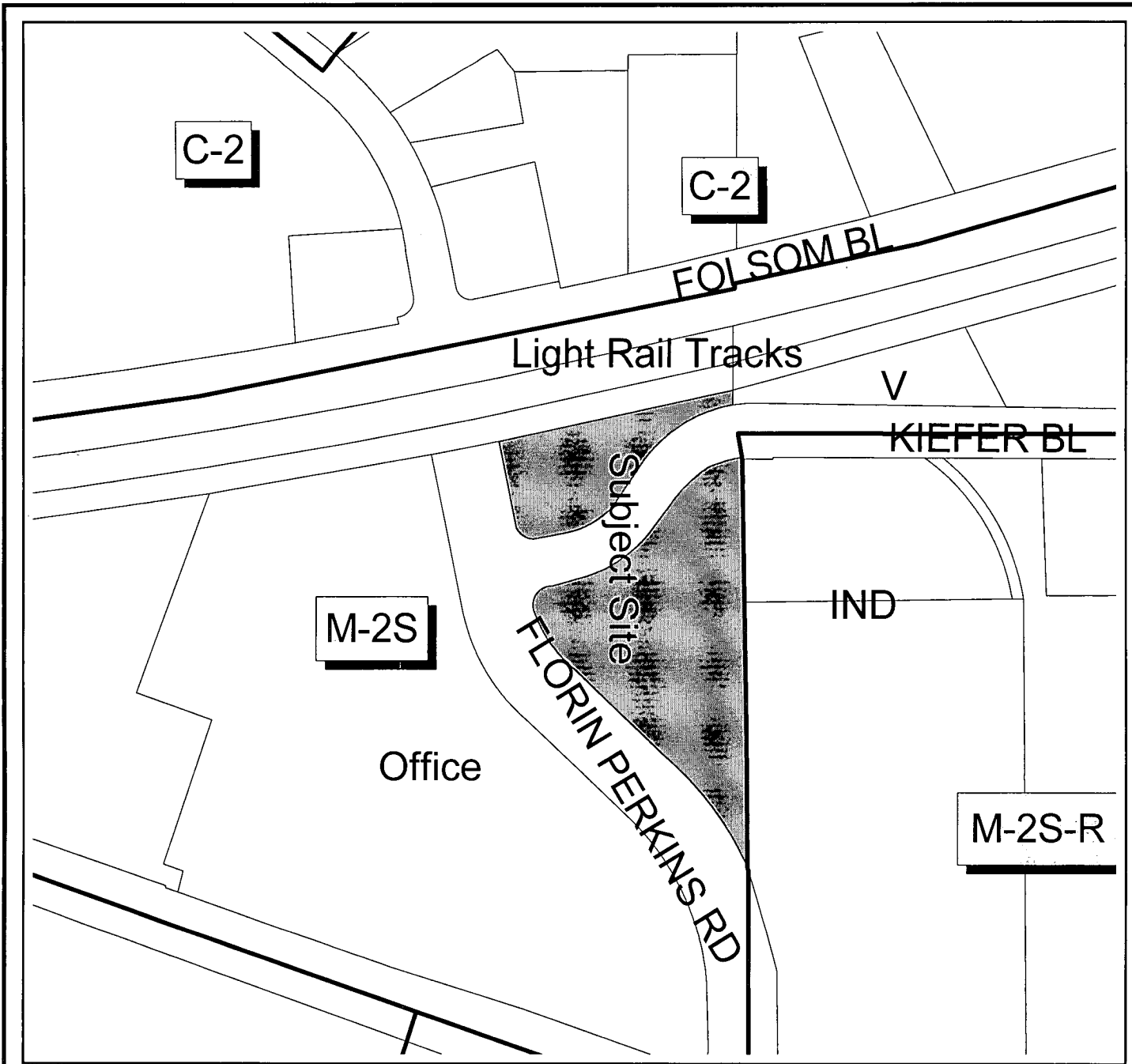




Neighborhoods, Planning  
And Development Services  
Department

Geographic  
Information  
System



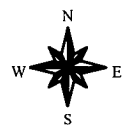
# VICINITY MAP

Neighborhoods, Planning  
And Development Services  
Department

Geographic  
Information  
System

# LAND USE AND ZONING





*Revised Plan*

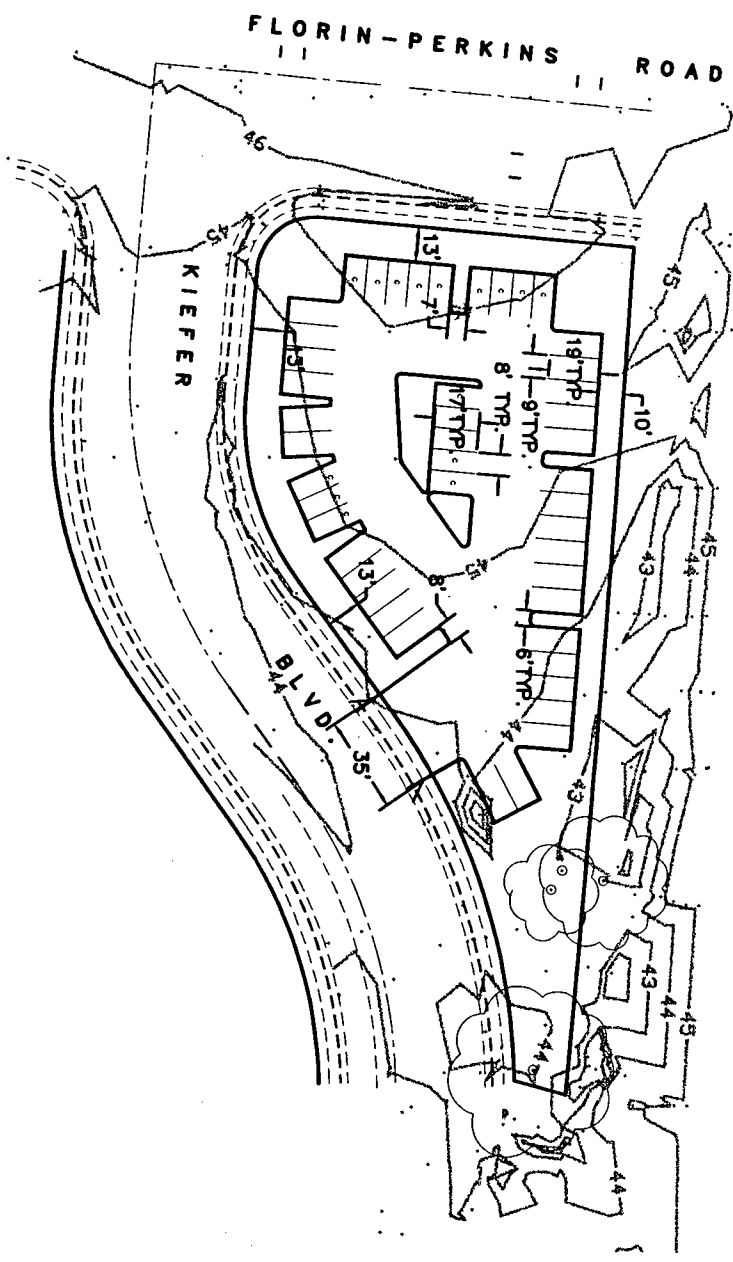
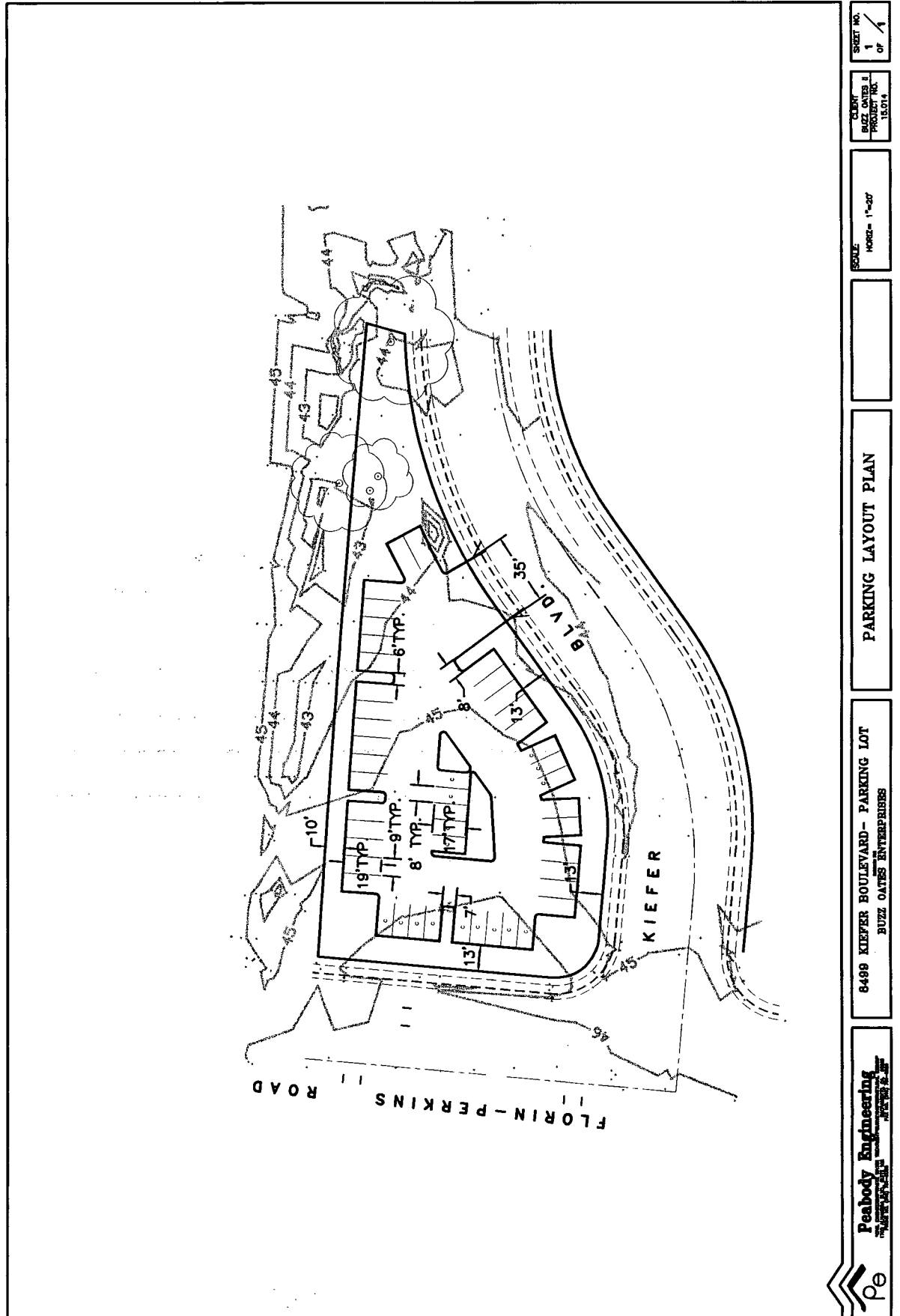


EXHIBIT A

	Peabody Engineering	8409 KIEFER BOULEVARD - PARKING LOT	SCALE: 1" = 20'	SHEET NO. 1 OF 1
	8409 KIEFER BOULEVARD - PARKING LOT BUZZ OLIVE ENTERPRISES	PARKING LAYOUT PLAN		

# EXHIBIT A



SHEET NO.  
1  
OF  
1

CLIENT  
BUZZ OATES II  
PROJECT NO.  
15.014

SCALE  
NONE - 1"=20'

PARKING LAYOUT PLAN

6498 KIEFFER BOULEVARD - PARKING LOT  
BUZZ OATES ENTERPRISES

Peabody Engineering  
INCORPORATED  
1000 W. 10TH ST.  
SACRAMENTO, CA 95811  
TEL: 916.441.1111  
FAX: 916.441.1112



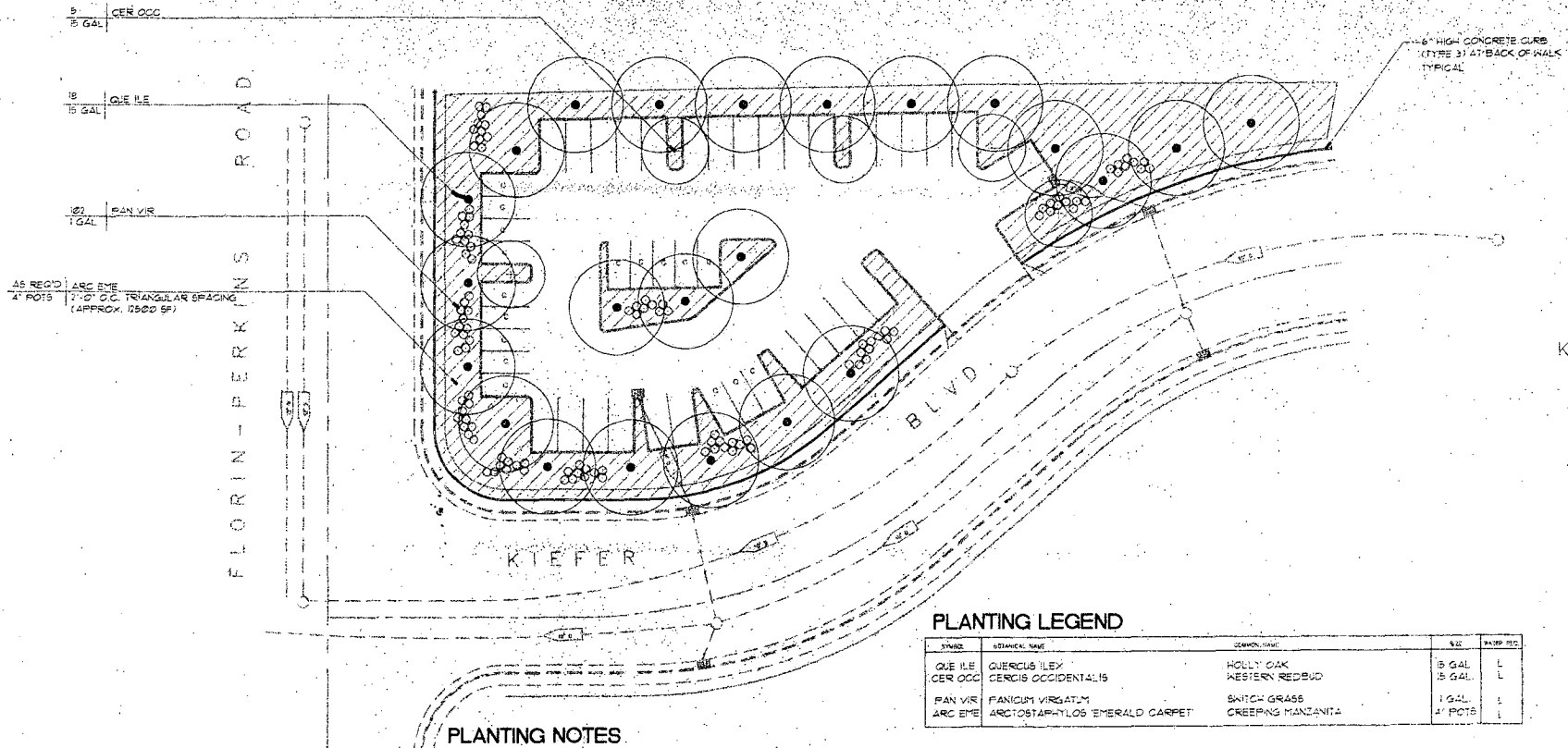
298-143

February 3, 1999

Item 1



# ORIGINAL PLAN



**QUADRIGA**  
Landscape Architecture  
and Planning, Inc.  
1808 G Street, Suite D  
Sacramento, CA  
Tel: (916) 441-2120  
Fax: (916) 441-2874  
RLA CA 2003 rev 257

KIEFER BOULEVARD  
PARKING LOT

### PLANTING LEGEND

SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	PLANT P.C.
QIE ILE	QUERCUS ILEX	HOLLY OAK	15 GAL	L
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	L
PAN VIR	FANCIUM VIRGATUM	SWITCH GRASS	1 GAL	L
ARC EPE	ARCTOSTAPHYLOS EMERALD CARPET	CREEPING MANZANITA	4" POTS	L

### PLANTING NOTES

1. THE PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS, THE PLAN SHALL GOVERN.
2. SUBSTITUTIONS OF SPECIFIED PLANT MATERIAL SHALL NOT BE MADE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. SAME GENUS DIFFERENT SPECIES SUBSTITUTIONS ARE ACCEPTABLE PROVIDED THE VARIETY IS SIMILAR IN GROWTH HABIT TO THE SPECIFIED PLANT AND WATER USE IS THE SAME. EXAMPLE: ESCALLONIA 'TERRY' COULD SUB FOR 'RED EYE'. RAPHALEPSIS CAN NOT SUBSTITUTE FOR ESCALLONIA. THEY HAVE DIFFERENT WATER USE REQUIREMENTS. CERTIFICATES OF COMPLIANCE WILL NOT BE COMPLETED FOR PROJECTS WHICH EXCEED THE WATER USE OF SPECIFIED PLANT MATERIALS UNTIL CONFORMANCE WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS IS ACHIEVED.
3. FINISH GRADE IN PLANTER AREAS SHALL BE 3" BELOW THE TOP OF ADJACENT CURBS, WALKS OR PAVED AREAS. FINISH GRADE SHALL BE SMOOTH AND EVEN PRIOR TO INSTALLATION OF 3" BARK MULCH.
4. PLANTING AREAS SHALL BE KEPT CLEAN AND FREE FROM ALL CONCRETE, ASPHALTIC WASTE, LUMBER OR OTHER IMPURITIES. POLLUTION CAUSED BY GASOLINE, PLASTER OIL OR OTHER SUCH MATERIALS, SHALL BE REMOVED BY EXCAVATION OF THE SOIL AND REPLACED WITH CLEAN NATIVE SOIL.
5. SEE DETAILS AND SPECIFICATIONS FOR PROCEDURES, MATERIAL, AND INSTALLATION REQUIREMENTS.
6. IMPORTED TOP SOIL (IF REQUIRED) SHALL BE FERTILE, FRIABLE SANDY LOAM OF UNIFORM COMPOSITION. CLAY PARTICLES SHALL NOT EXCEED 3% BY VOLUME. THE SOIL SHALL BE FREE FROM SUBSOIL, REFUSE, ROOTS, ROCKS OVER 1" IN DIAMETER OR OTHER DELETERIOUS MATERIAL. THE IMPORTED SOIL SHALL BE CAPABLE OF SUSTAINING HEALTHY PLANT LIFE. NATIVE TOP SOIL SHALL BE USED WHERE AVAILABLE PRIOR TO IMPORTING TOP SOIL. A SOILS REPORT SHALL BE PROVIDED FOR ALL IMPORTED TOP SOIL.
7. ADJACENT STREETS, SIDEWALKS AND OTHER AREAS SHALL BE KEPT FREE OF MUD, DIRT OR SIMILAR NUISANCES RESULTING FROM EARTHWORK OPERATIONS.

### SOILS REPORT

CONTRACTOR SHALL OBTAIN A SOILS TEST, AS PER SACRAMENTO COUNTY'S WATER USE AND CONSERVATION AND WATER CONSERVING LANDSCAPE REQUIREMENTS ORDINANCE, AS PER PAGE 6 OF ORDINANCE. SOIL SAMPLES SHALL BE COLLECTED AFTER GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF LANDSCAPE MATERIALS. CONTRACTOR SHALL SUBMIT A COPY OF SOILS TEST TO COUNTY LANDSCAPE ARCHITECT, MARTIN G. HUGHES, 328 G STREET SW, 510, SACRAMENTO, CA 95814, FOR APPROVAL AND PRIOR TO INSTALLING SOIL AMENDMENTS. CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AS RECOMMENDED OR BETTER, TO CORRECT FOR PROBLEMS NOTED BY THE SOILS REPORT.

CONTRACTOR SHALL OBTAIN ANNUAL IRRIGATION SCHEDULES (IF PLANT ESTABLISHMENT, AND ESTABLISHED LANDSCAPE) AS PER ORDINANCE REQUIREMENTS ON PAGE 1 OF ORDINANCE. IRRIGATION SCHEDULES SHALL USE THE SOILS TEST INFILTRATION RATE IN CALCULATING SCHEDULES. CONTRACTOR SHALL SUBMIT ANNUAL IRRIGATION SCHEDULES FOR APPROVAL AND STAMPING BY THE COUNTY LANDSCAPE ARCHITECT.

SEE SHEET L1.2 FOR DETAILS

### WATER USE CALCULATION

WATER USE	PLANT KEY	SO. FT.	WATER USE FACTOR
LOA	QIE ILE	0.496	0.496 x 2 = 0.992
	CER OCC		
	PAN VIR		
	ARC EPE		

### SHADE CALCULATION

CREDIT	PLANT KEY	SO. FT.	SHADE COEFF.
HALF	QIE ILE	451	18 x 451 = 8658
HALF	CER OCC	191	9 x 191 = 1719
			5243

RECEIVED

DEC 15 1998

CITY OF SACRAMENTO  
CITY PLANNING DIVISION

2 98 143

PLANTING PLAN

DATE: 11/29/98  
PROJECT NO.: 9801  
DRAWN BY:  
CHECKED BY:

L 2.1