

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0108066**  
**Insp Area: 4**

**Site Address: 39 WHITE LILY CT SAC**  
Parcel No: 274-0570-043

**NATOMAS WEST VIL 2 LOT 63**  
Sub-Type: NSFR  
Housing (Y/N): N

CONTRACTOR  
KAUFMAN AND BROAD  
611 ORANGE DR  
VACAVILLE CA 95687

OWNER

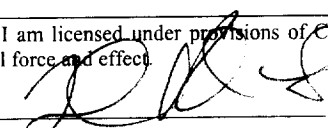
ARCHITECT

**Nature of Work: NSFR MP2106 8 RMS 2 STORY**

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class: B License Number: 761970 Date: 6/29/01 Contractor Signature: 

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

\_\_\_\_\_, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

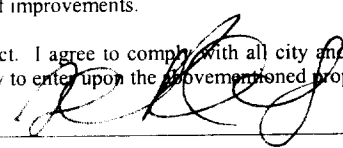
\_\_\_\_\_, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date: 6/29/01 Applicant/Agent Signature: 

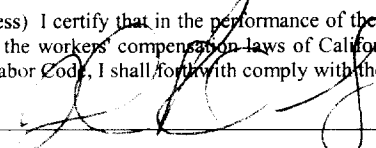
**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_\_, I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: CONTINENTAL CAS. CO. Policy Number: WC188899094 Exp Date: 05/01/2000

\_\_\_\_\_, (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 6/29/01 Applicant Signature: 

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 39 White Lily Ct. Assessor Parcel # 274-0570-043  
Lot Number: 63 Subdivision Natomas West Village

OWNER INFORMATION:

Legal Property Owner: KB Home Phone# 707-469-2464  
Owner Address: 611 Orange dr City Vacaville State CA Zip 95687

CONTRACTOR INFORMATION:

Contractor: KB Home Lic. # 761970 Phone # 707-469-2464 469-2405

PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A

No. of Stories: 2 No. of Rooms: \_\_\_\_\_ Street Width: \_\_\_\_\_

1<sup>st</sup> Floor Area 885 2<sup>nd</sup> Floor Area 1270 Basement \_\_\_\_\_ Roof Material \_\_\_\_\_

AREA IN SQUARE FOOT OF:

Dwelling/Living 2155

Garage/Storage 375

Docks/Balconies 84

Carports \_\_\_\_\_

SCOPE OF WORK: New Single Family Dwelling

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
  - a) Assessor's Parcel Number
  - b) New Floor Area
  - c) Owners Name
  - d) Project Address

# CERTIFICATION OF INSULATION

PART I GENERAL

ADDRESS OR TRACT <i>K &amp; B Homes</i> <i>Calif. Gardens</i> <i>Sacto. CA</i>	SACRAMENTO INSULATION CONTRACTORS <input type="checkbox"/> P.O. BOX 854, WEST SACRAMENTO, CA 95691 LIC. #202026 <input type="checkbox"/> 1309 MELODY ROAD, MARYSVILLE, CA 95901 LIC. #202026 <input type="checkbox"/> P.O. BOX 9651, FRESNO, CA 93793-9651 LIC. #202026 <input type="checkbox"/> P.O. BOX 1631, RENO, NV 89505 LIC. #10675 <input type="checkbox"/> 3326 A PONDEROSA WAY, LAS VEGAS, NV 89118 LIC. #10675
LOT # <i>63</i>	DATE INSULATION COMPLETED

PART II AREAS INSULATED

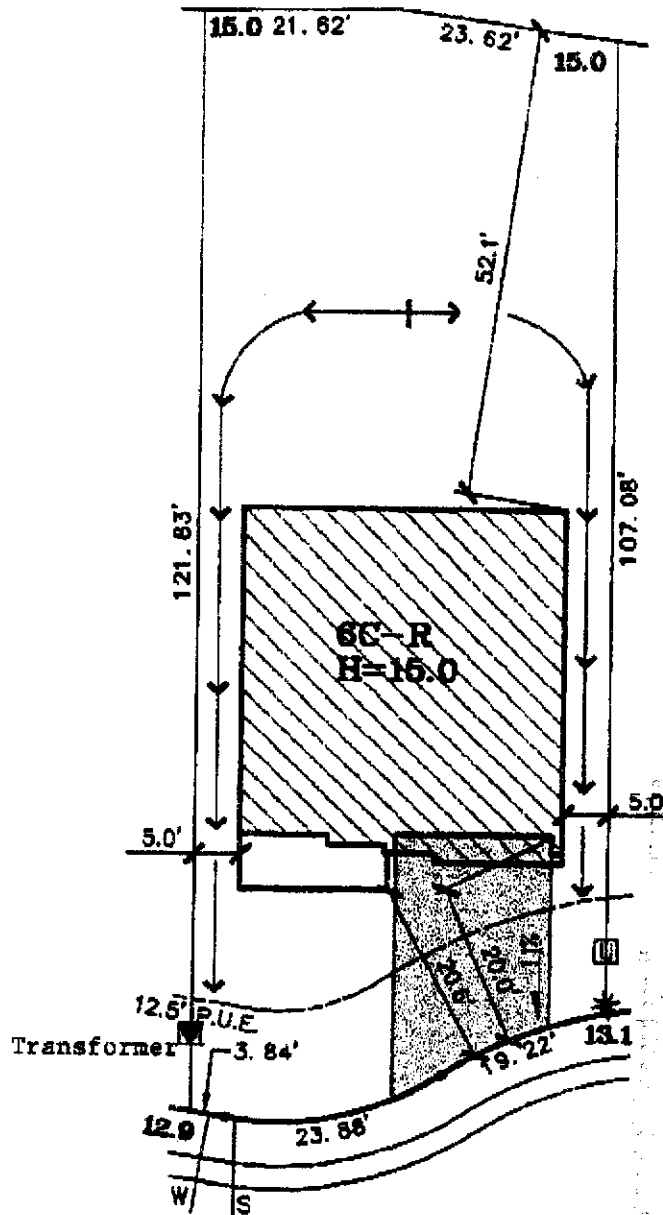
WALLS		CEILING			FLOORS	
SQUARE FEET)		SQUARE FEET)			SQUARE FEET)	
TYPE OF INSULATION		TYPE OF INSULATION			TYPE OF INSULATION	
MATERIAL <b>FIBERGLASS</b>		MATERIAL <b>FIBERGLASS</b>			MATERIAL <b>FIBERGLASS</b>	
FORM <b>BATTS</b>		FORM <b>BATTS &amp; BLOW</b>			FORM <b>BATTS</b>	
MANUFACTURER'S PRODUCT I.D.		MANUFACTURER'S PRODUCT I.D.			MANUFACTURER'S PRODUCT I.D.	
MANUFACTURER		MANUFACTURER			MANUFACTURER	
<b>OCF</b>		<b>OCF</b>			<b>OCF</b>	
BAGS						
R-VALUE INSTALLED	APPLIED THICKNESS	R-VALUE INSTALLED	APPLIED THICKNESS	MIN. INSTALLED WEIGHT PER SQUARE FOOT	R-VALUE INSTALLED	APPLIED THICKNESS
KNEE WALLS IF R-VALUE IS OTHER THAN WALLS ABOVE						
MATERIAL <b>FIBERGLASS</b>		FORM <b>BATTS</b>		R-VALUE		MANUFACTURER <b>OCF</b>
MATERIAL				MANUFACTURER <b>W R GRACE</b>		
AIR INFILTRATION SEALANT				MANUFACTURER		

THIS IS TO CERTIFY THAT INSULATION AND/OR SEALANT HAS BEEN INSTALLED IN CONFORMANCE WITH APPLICABLE CODES, MATERIAL STANDARDS AND REGULATIONS.

SIGNATURE—INSULATION CONTRACTOR	TITLE <b>MANAGER</b>	DATE
SIGNATURE—GENERAL CONTRACTOR	TITLE	DATE

REMARKS

PART III CERTIFICATION



WHITE LILY COURT

DATE: 5-10-01  
 A.P.N.: 274-0570-043  
 ADDRESS: 39 WHITE LILY COURT

LOT AREA: 5,285 SF  
 LOT COVERAGE: 26%

**The Splink Corporation**  
 2590 VENTURE OAKS WAY  
 SACRAMENTO, CA 95833  
 PH (916)925-5550 FAX (916)921-9274

**NATOMAS WEST  
 VILLAGE 2**  
 LOT 63  
 PLAN 6C

**CALIFORNIA GARDENS**  
 CITY OF SACRAMENTO, CA  
 CLIENT: KAUFMAN & BROAD

## RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 45 White Lily Ct. Assessor Parcel # 274-0570-042  
 Lot Number: 62 Subdivision Natomas West Village

**OWNER INFORMATION:**

Legal Property Owner: <u>KB Home</u>	Phone # <u>707-469-2464</u>
Owner Address: <u>611 Orange dr</u>	City <u>Vacaville</u> State <u>CA</u> Zip <u>95687</u>

**CONTRACTOR INFORMATION:**

Contractor: <u>KB Home</u>	Lic. # <u>761970</u>	Phone # <u>707-469-2464</u> , <u>469-2405</u>
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**PROJECT INFORMATION:**

Land Use Zone <u>RIA</u>	Occupancy Group <u>R3</u>	Construction Type <u>VN</u>	Fed Code <u>1A</u>
No. of Stories: <u>2</u>	No. of Rooms: _____	Street Width: _____	
1 <sup>st</sup> Floor Area <u>885</u>	2 <sup>nd</sup> Floor Area <u>1270</u>	Basement _____	Roof Material _____
<b>AREA IN SQUARE FOOT OF:</b>			
	Dwelling/Living	<u>2155</u>	
	Garage/Storage	<u>375</u>	
	Decks/Balconies	<u>92</u>	
	Carports	_____	
<b>SCOPE OF WORK:</b> <u>New Single Family Dwelling</u>			

FOR OFFICE USE ONLY

- |                                                     |                                                               |                                                       |
|-----------------------------------------------------|---------------------------------------------------------------|-------------------------------------------------------|
| <input type="checkbox"/> Information Above Complete | <input type="checkbox"/> AR Flood Waiver Required             | <input type="checkbox"/> Planning Approval            |
| <input type="checkbox"/> Violation Files Checked    | <input type="checkbox"/> Flood Elevation Certificate Required | <input type="checkbox"/> Design Review Approval       |
| <input type="checkbox"/> Standard Setbacks          | <input type="checkbox"/> Water Development Infill Area        | <input type="checkbox"/> Special Fee Districts Apply: |
| <input type="checkbox"/> County Sewer               |                                                               |                                                       |

**—THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT—**

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
 

a) Assessor's Parcel Number	c) Owners Name
b) New Floor Area	d) Project Address

# CERTIFICATION OF INSULATION

PART GENERAL

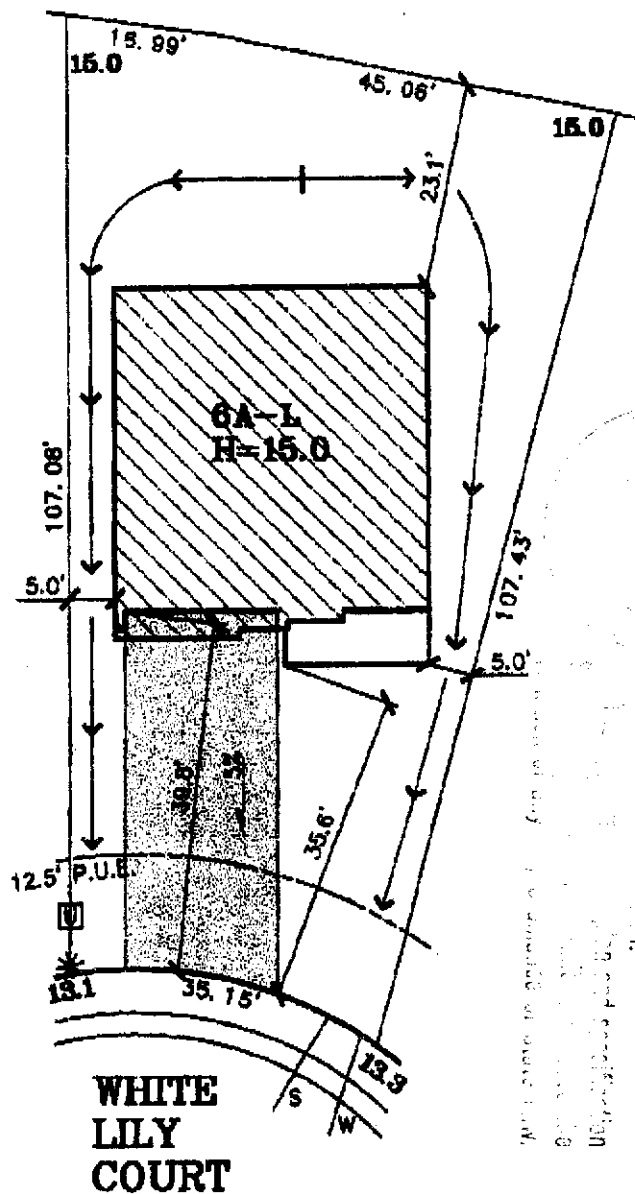
*Kd 12*  
*Call in 6/1/85*  
*45 White Lily*

LOT # **62**

- P.O. BOX 854, WEST SACRAMENTO, CA 95691 LIC. #202026
- 1309 MELODY ROAD, MARYSVILLE, CA 95901 LIC. #202026
- P.O. BOX 9651, FRESNO, CA 93793-9651 LIC. #202026
- P.O. BOX 1631, RENO, NV 89505 LIC. #10675
- 3326 A PONDEROSA WAY, LAS VEGAS, NV 89118 LIC. #10675

DATE INSULATION COMPLETED

WALLS		CEILINGS			FLOORS	
( SQUARE FEET)		( SQUARE FEET)			( SQUARE FEET)	
MATERIAL		MATERIAL			MATERIAL	
<b>FIBERGLASS</b>		<b>FIBERGLASS</b>			<b>FIBERGLASS</b>	
FORM		FORM			FORM	
<b>BATTS</b>		<b>BATTS &amp; BLOW</b>			<b>BATTS</b>	
MANUFACTURER'S PRODUCT I.D.		MANUFACTURER'S PRODUCT I.D.			MANUFACTURER'S PRODUCT I.D.	
<b>OCF</b>		<b>OCF</b>			<b>OCF</b>	
		BAGS				
R VALUE	THICKNESS	R VALUE	THICKNESS	R VALUE	THICKNESS	
INSTALLED	INSTALLED	INSTALLED	INSTALLED	INSTALLED	INSTALLED	
MATERIAL		FORM		R VALUE		
<b>FIBERGLASS</b>		<b>BATTS</b>		<b>OCF</b>		
MATERIAL		MANUFACTURER				
		<b>W R GRACE</b>				
SIGNATURE—INSULATION CONTRACTOR		TITLE		DATE		
		<b>MANAGER</b>				
SIGNATURE—GENERAL CONTRACTOR		TITLE		DATE		
REMARKS						



Printed on plot and specifications must be  
 read in conjunction with the  
 plan and specifications  
 of the project and all other  
 documents and drawings  
 and is subject to the  
 provisions of the  
 contract documents  
 and the applicable  
 laws and regulations  
 of the City of Sacramento  
 and the State of California.

DATE: 5-10-01  
 A.P.N.: 274-0570-042  
 ADDRESS: 45 WHITE LILY COURT

LOT AREA: 5,091 SF  
 LOT COVERAGE: 27%

<p><b>The Splink Corporation</b>          2590 VENTURE OAKS WAY          SACRAMENTO, CA 95833          PH (916)925-5550 FAX (916)921-9274</p>	<p><b>NATOMAS WEST          VILLAGE 2</b>          LOT 62          PLAN 6A</p>	<p><b>CALIFORNIA GARDENS</b>          CITY OF SACRAMENTO, CA          CLIENT: KAUFMAN &amp; BROAD</p>
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**RESIDENTIAL BUILDING PERMIT APPLICATION**

- New Construction    
  Addition    
  Remodels    
  Other

Project Address: 16 Asterism Court Assessor Parcel # 225-1270-21

OWNER INFORMATION: Lot 3 3493-A

Legal Property Owner: Beck Properties Phone # 209-957-0331  
 Owner Address: 3114 W. Hammer Ln. City Stockton State CA. Zip 95209

**CONTRACTOR INFORMATION:**

Contractor: Beck Properties Lic. # 478421 Phone # 209-957-0331 Fax # 209-957-0363

**PROJECT INFORMATION:**

Land Use Zone \_\_\_\_\_ Occupancy Group \_\_\_\_\_ Construction Type \_\_\_\_\_ Fed Code \_\_\_\_\_  
 No. of stories: \_\_\_\_\_ No. of rooms: \_\_\_\_\_ Street width: \_\_\_\_\_  
 1<sup>st</sup> Floor Area \_\_\_\_\_ 2<sup>nd</sup> Floor Area \_\_\_\_\_ Basement \_\_\_\_\_ Roof Material \_\_\_\_\_

AREA IN SQUARE FOOT OF:	EXISTING	NEW
Dwelling/Living	_____	<u>3493</u>
Garage/Storage	_____	<u>637</u>
Decks/Balconies	_____	<u>212</u>
Carports	_____	_____

SCOPE OF WORK: \_\_\_\_\_

**FOR OFFICE USE ONLY**

- |                                                     |                                                               |                                                              |
|-----------------------------------------------------|---------------------------------------------------------------|--------------------------------------------------------------|
| <input type="checkbox"/> Information above complete | <input type="checkbox"/> AR Flood Waiver required             | <input type="checkbox"/> Planning Approval                   |
| <input type="checkbox"/> Violation files checked    | <input type="checkbox"/> Flood Elevation Certificate Required | <input type="checkbox"/> Design Review Approval              |
| <input type="checkbox"/> Standard setbacks          | <input type="checkbox"/> Water Development Infill Area        | <input type="checkbox"/> Special Fee Districts Apply : _____ |
| <input type="checkbox"/> County Sewer               |                                                               |                                                              |

**NEW STRUCTURES & ADDITIONS**

❖ THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PLAN REVIEW

- |                                                                       |                                                                                                                                                                                 |
|-----------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> 2 COMPLETE PLANS, LEGIBLE & DRAWN TO SCALE   | ❖ Plans to include: site plan, floor plan, elevations, roof/ceiling plan, foundation and structural framing details, and structural calculations for non-conforming structures. |
| <input type="checkbox"/> 3 SETS IF PROJECT IS IN A DESIGN REVIEW AREA |                                                                                                                                                                                 |
| <input type="checkbox"/> Title 24 Energy Compliance documentation     | <input type="checkbox"/> 11" x 17" copy of floor plan for County Assessor                                                                                                       |
| <input type="checkbox"/> Grading and Erosion Control Questionnaire    | <input type="checkbox"/> Plan Review Fees                                                                                                                                       |

Date: \_\_\_\_\_ Received by: (staff) \_\_\_\_\_

ACTIVITY/PERMIT # \_\_\_\_\_

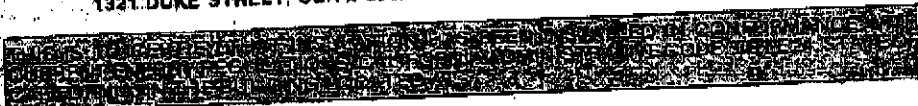




# INSULATION CONTRACTORS ASSOCIATION OF AMERICA

INSULATION CONTRACTORS  
75100

1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356



Beck Development LOT # 3 TRACT # \_\_\_\_\_  
STREET Castle Collection CITY Sacramento

**EXTERIOR WALLS:**  
MANUFACTURER CT THICKNESS/TYPE 3 1/2 R-VALUE 13

**CEILINGS:**  
**BATTS:**  
MANUFACTURER CT THICKNESS/TYPE 12 R-VALUE 33

**BLOWN IN:**  
MANUFACTURER Insulate THICKNESS 14 3/4 R-VALUE 38

SQUARE FOOTAGE COVERED 1730 NUMBER OF BAGS USED 45

**FLOORS:**  
MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R-VALUE \_\_\_\_\_

**SLAB ON GRADE:**  
MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R-VALUE \_\_\_\_\_

WIDTH OF INSULATION \_\_\_\_\_ INCHES

**FOUNDATION WALLS:**  
MANUFACTURER \_\_\_\_\_ THICKNESS/TYPE \_\_\_\_\_ R-VALUE \_\_\_\_\_

GENERAL CONTRACTOR \_\_\_\_\_  
CALIFORNIA CONTRACTORS LICENSE # \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ TITLE L1916

INSULATION CONTRACTOR **ARCADE INSULATION**  
CALIFORNIA CONTRACTORS LICENSE # 263784

SIGNATURE [Signature] TITLE Installer  
DATE 2/10/02

**@lpha Inspections  
& Material Testing**

70 Rancho Del Sol • Camino, CA 95709  
(530) 644-6726 • (916) 825-7733

DATE: 11-16-01  
PROJECT NO. 2001  
PROJECT: D B / BECK HOUSES LOT # 2  
LOCATION: 16 WISPERSON CT

DSA FILE/APPL. NO. \_\_\_\_\_  
OSHPD NO. \_\_\_\_\_  
PERMIT NO. \_\_\_\_\_  
WEATHER: \_\_\_\_\_ TEMP: \_\_\_\_\_

**PROOF LOAD**     **TORQUE**     **WITNESSING**

Testing was performed on the following items. All tests were performed with the following calibrated equipment:

RAM: 117-255    GAGE: 115-1004    TORQUE WRENCH: \_\_\_\_\_  
RAM: \_\_\_\_\_    GAGE: \_\_\_\_\_    TORQUE WRENCH: \_\_\_\_\_

LOCATION OF TEST	TYPE / SIZE	# TESTED	% of TOTAL	LOAD lb or Ft Lbs	GAGE (PSI)	# ACC.	# REJ.	# RETEST
<u>PHD2 EPOXY ANCHOR BOLTS</u>	<u>3/8"</u>	<u>2</u>		<u>6555</u>	<u>7670</u>	<u>2</u>	<u>0</u>	<u>0</u>

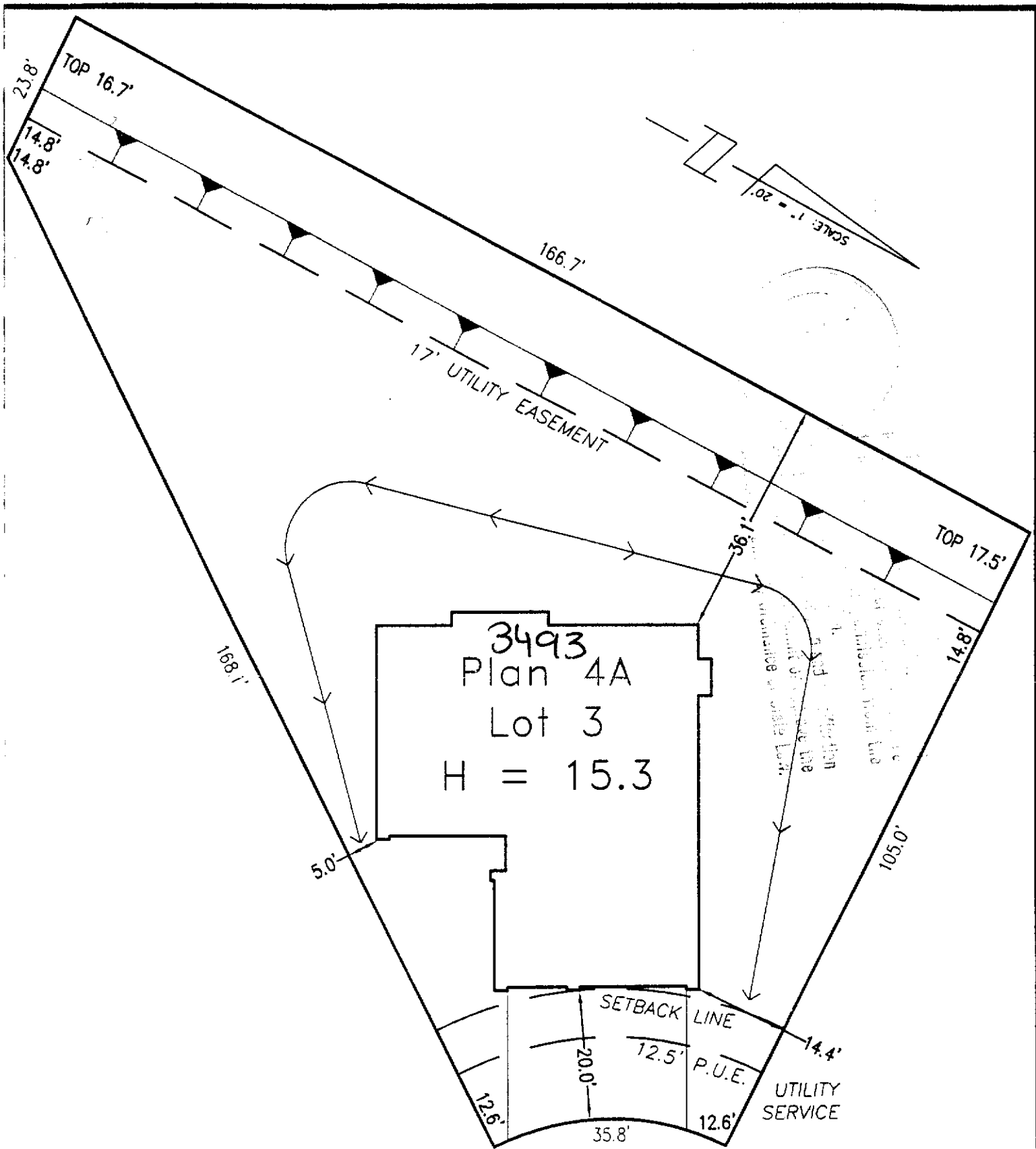
- Type of epoxy / grout used: \_\_\_\_\_ Method of application / cleaning: \_\_\_\_\_
- Visual inspection was performed on \_\_\_\_\_
- Show up / Stand by time. Job Canceled / Delayed due to: \_\_\_\_\_
- All non-compliance items were brought to the attention of: \_\_\_\_\_ at the job site.

NON-COMPLIANCE REPORT ATTACHED     ADDITIONAL TESTS ATTACHED

NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

To the best of my knowledge, the above WAS / WAS NOT performed in accordance with the approved plans, specifications, and regulatory requirements.

Superintendent/Representative: \_\_\_\_\_ Inspector: [Signature]



# 16 Asterism Court

SCALE: 1" = 20'

Natomas Crossing  
 Village 17 *CF*  
 City of Sacramento, CA  
 Beck Properties

Natomas Crossing  
 APN# 225-1270-21  
 16 Asterism Court

**WECKER**  
**SURVEYS**

3740 MODOC PLACE  
 DAVIS, CA 95616  
 530-792-7252