

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0000950
Insp Area: 4

Site Address: 2573 CAMPDEN WY SAC
Parcel No: 274-0470-008

Sub-Type: NOTHR
Housing (Y/N): N

CONTRACTOR
PETKUS BROS.
3068 SUNRISE BL
RANCHO CORDOVA CA 95782

OWNER
AUSTIN COOPER
2573 CAMPDEN WY
SAC, CA

ARCHITECT

Nature of Work: PATIO COVER

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 670242 Date 2-1-00 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 2-1-2000 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Exp Date 04/30/2001

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 2-1-00 [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Date of Request: _____

By: _____

**CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST**

Project Address: 2573 CAMDEN

Assessor's Parcel Number: 274-0470-008

Previous Use: SF 1202

Description of Request/Proposed Use: Patio Cover

Is This a Change of Use? NO

Zoning Designation: RI PUD

Prior Applications for Project Site(P#, Z#, DRPB#): _____

Comments: _____

Not visible from street

Are There Any Planning Issues?: (circle one) YES NO

* Staff Site Plan Check Required? (Circle one) YES NO

* Field Inspection Required? (Circle one) YES NO

* Design Review/Preservation Required?: (Circle one) YES NO

Planning Review by/Date: [Signature] 2-1-00

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

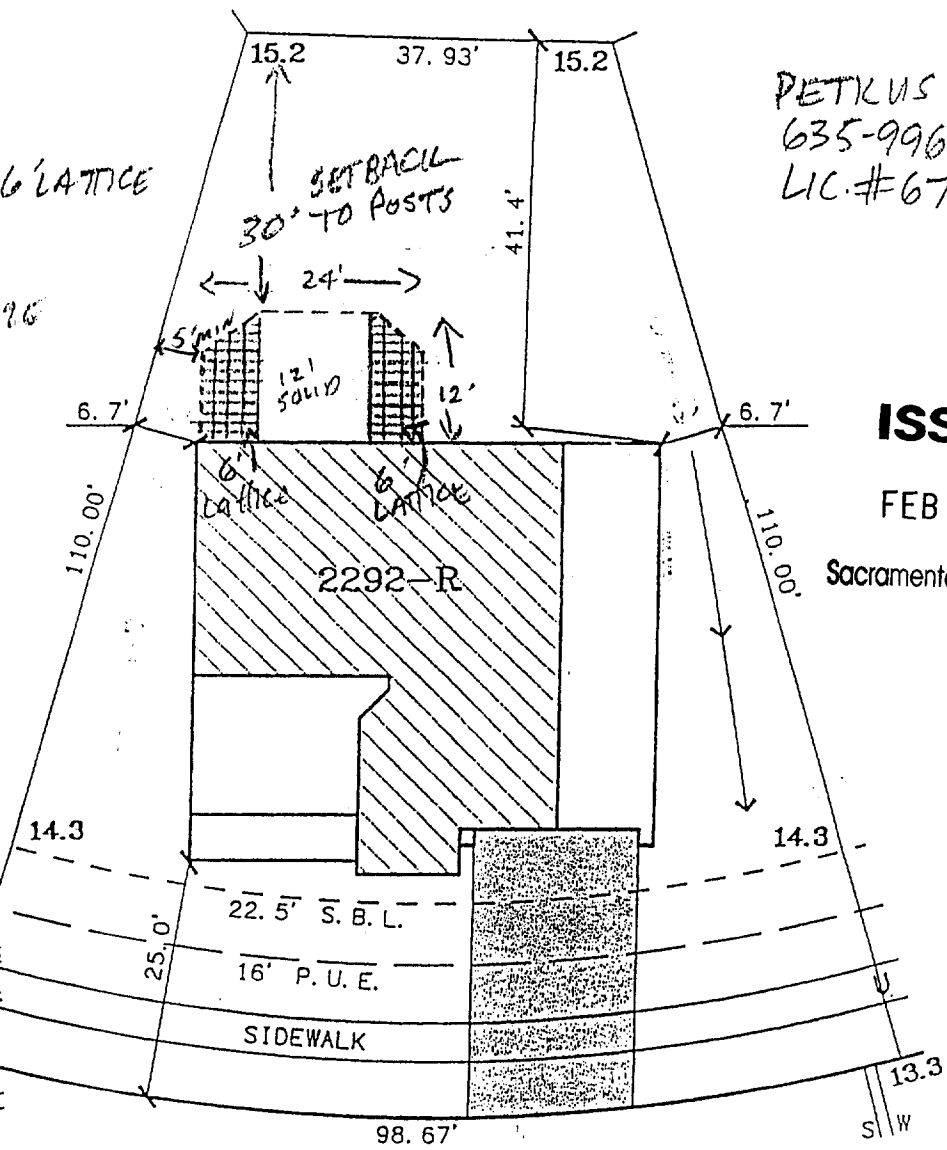
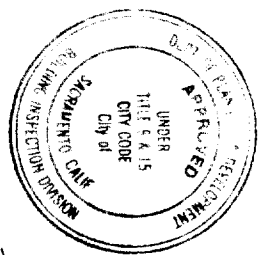
MICROFILM AFTER FINAL

PATIO COVER / PLOT PLAN

12'X24'

COMB UNIT:
 6' LATTICE / 12' SOLID / 6' LATTICE
 12'X24'
 OVERALL SIZE

PETKUS PROS & CO
 635-9966
 LIC.# 670242



ISSUED
 FEB 01 2000
 Sacramento Building Division

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law

CAMPDEN WAY

1997
U.B.C

LOT AREA: 7,655 SQ.FT.

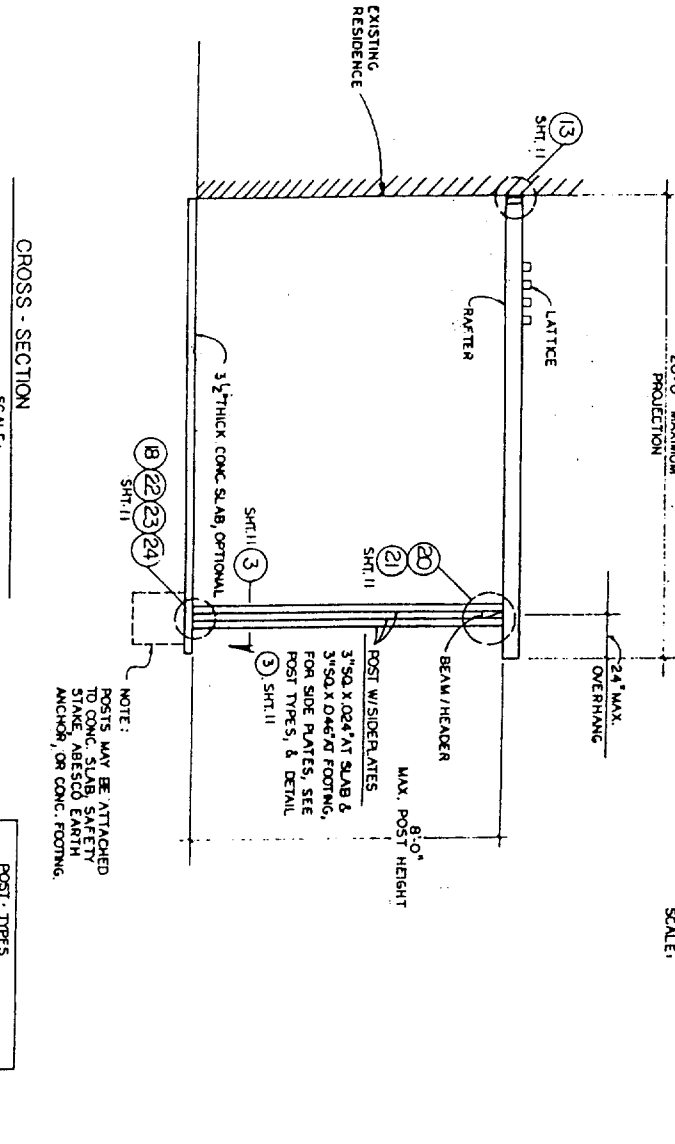
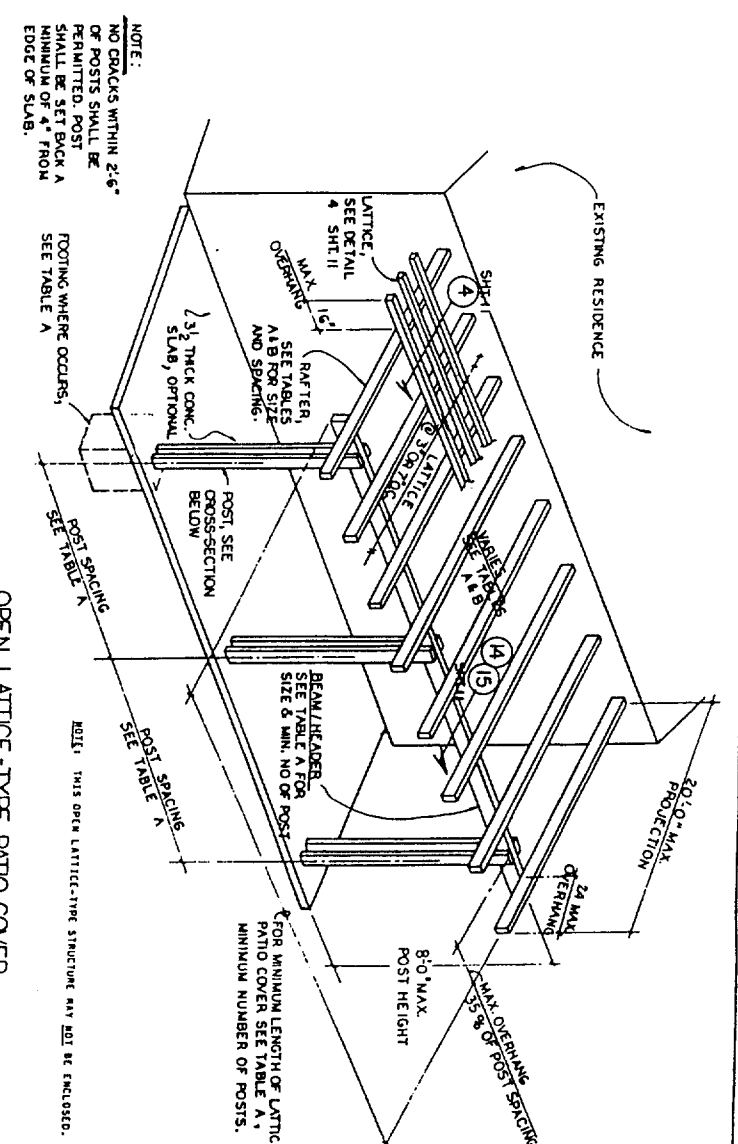
A. P. N. : COOPER / 641-6419
 ADDRESS : 2573 CAMPDEN WAY, SACO, CA 95833

APPROVED BY _____

The Spink Corporation
 2590 VENTURE OAKS WAY
 SACRAMENTO, CA. 95833
 PH: (916) 925-5550 FAX: (916) 921-9274

HERITAGE PLACE
 UNIT NO. 2
 LOT 33
 PLAN 2200

RIVERSGATE
 CITY OF SACRAMENTO, CA.
 CLIENT: EPICK HOMES #1, L.L.C.



POST TYPES

1	3" SQ. POST (12" x 12" x 6' 1/2')
2	3" SQ. POST (12" x 12" x 6' 1/2')
3	3" SQ. POST (12" x 12" x 6' 1/2')
4	3" SQ. POST (12" x 12" x 6' 1/2')

- GENERAL NOTES AND SPECIFICATIONS:**
1. Aluminum design and fabrication shall be in accordance with the Aluminum Association's "Specifications for Aluminum Structures" and the 1982 edition of the Aluminum Construction Manual.
 2. The post shall be fabricated from 6061-T6 aluminum extrusion and shall be protected with a clear anodized finish.
 3. All fasteners shall be stainless steel.
 4. All lath shall be galvanized steel.
 5. All steel members shall be hot-dip galvanized.
 6. All steel members shall be protected with a clear anodized finish.
 7. All steel members shall be protected with a clear anodized finish.
 8. All steel members shall be protected with a clear anodized finish.
 9. All steel members shall be protected with a clear anodized finish.
 10. All steel members shall be protected with a clear anodized finish.
 11. All steel members shall be protected with a clear anodized finish.
 12. All steel members shall be protected with a clear anodized finish.

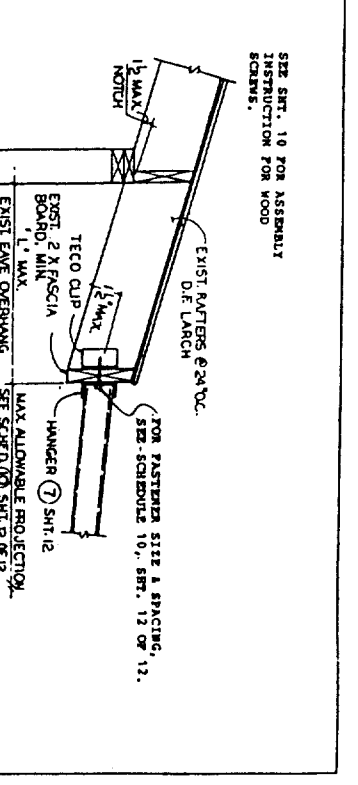
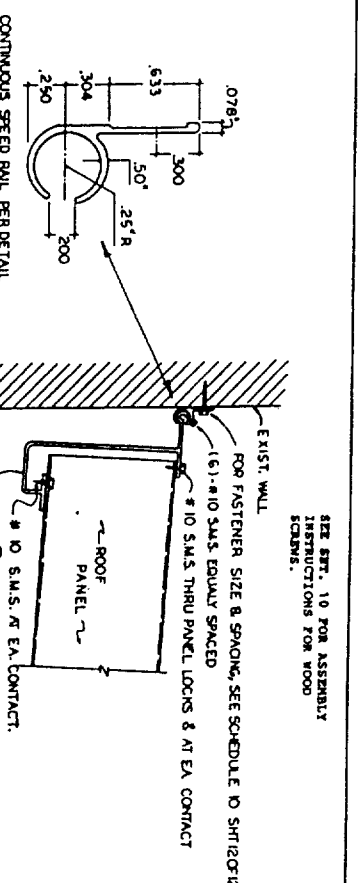
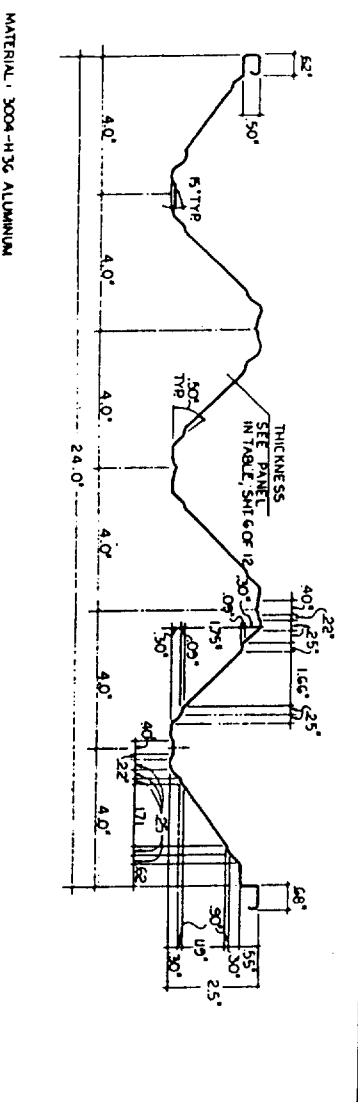
ATTACHED LATTICE PATIO COVERS (WIND SPEED = 70 & 90 MPH)

PROJECTION INCLUDES MAXIMUM OVERHANG	RAFTER SIZE	POST SPACING	FOOTING SIZE	MAXIMUM POST SPACING & FOOTING SIZE		WIND = 70/15 PSF		WIND = 90/15 PSF		BEAM/HEADER POST CONNECTION
				MINIMUM NUMBER OF POSTS	MINIMUM NUMBER OF POSTS	MINIMUM NUMBER OF POSTS	MINIMUM NUMBER OF POSTS			
10'-0"	2x6x10x24	13'-5"	13'-5"	21	21	21	21	21	21	8
11'-0"	2x6x10x24	12'-10"	12'-10"	19	19	19	19	19	19	8
12'-0"	2x6x10x24	12'-6"	12'-6"	19	19	19	19	19	19	8
13'-0"	2x6x10x24	12'-1"	12'-1"	19	19	19	19	19	19	8
14'-0"	2x6x10x24	11'-9"	11'-9"	20	20	20	20	20	20	8
15'-0"	2x6x10x24	11'-4"	11'-4"	20	20	20	20	20	20	8
16'-0"	2x6x10x24	11'-0"	11'-0"	20	20	20	20	20	20	8
17'-0"	2x6x10x24	10'-5"	10'-5"	20	20	20	20	20	20	8
18'-0"	2x6x10x24	9'-10"	9'-10"	20	20	20	20	20	20	8
19'-0"	2x6x10x24	9'-5"	9'-5"	20	20	20	20	20	20	8
20'-0"	2x6x10x24	9'-0"	9'-0"	20	20	20	20	20	20	8

FOX ENGINEERING
 JAMES M. FOX, STRUCTURAL ENGINEER
 8888 TELEGRAPH RD., DOWNEY, CALIFORNIA 90241
 (714) 686-8888

ALUMINUM LATTICE PATIO COVER
 VALLEY ALUMINUM COMPANY
 3602 W. LINCOLN ST., DOWNEY, CALIF. 90220
 (602) 278-6224

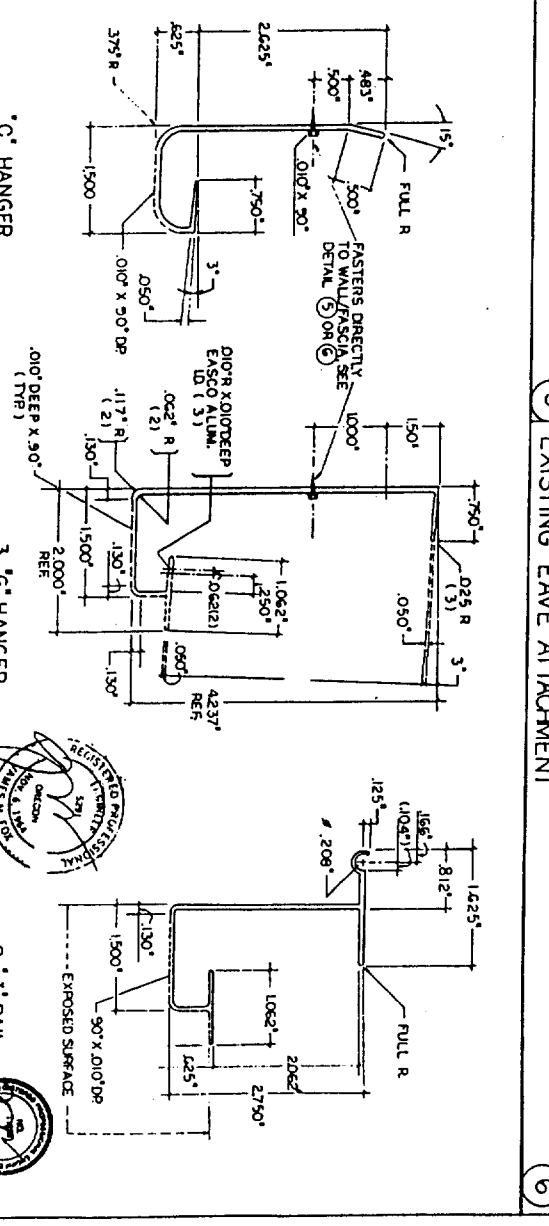
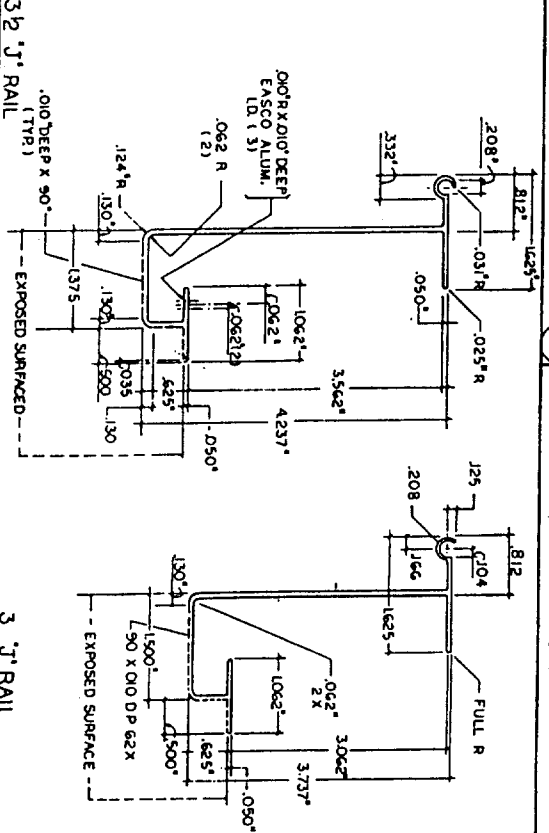
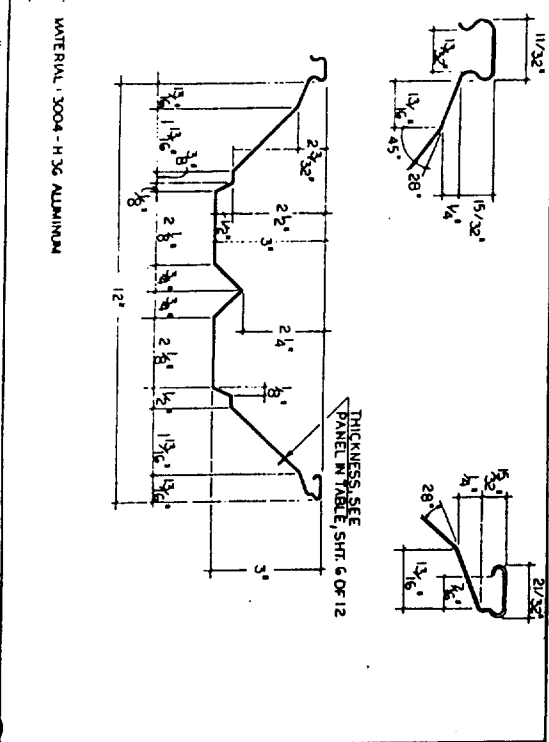
DATE: 5.12.82
 DRAWN: K.K.
 CHECKED: K.K.
 APPROVED: J.M.F.



24" ROOF PANEL

1" J' RAIL ATTACHMENT

5 EXISTING EAVE ATTACHMENT



12" X 3" W PANEL

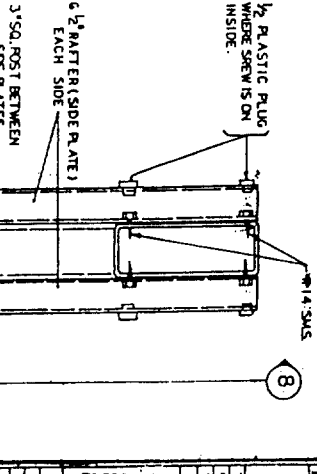
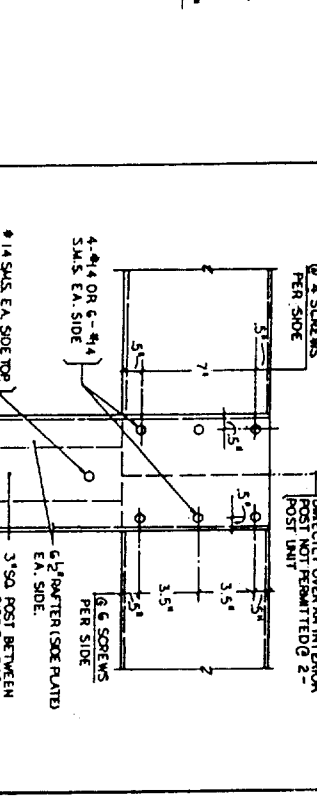
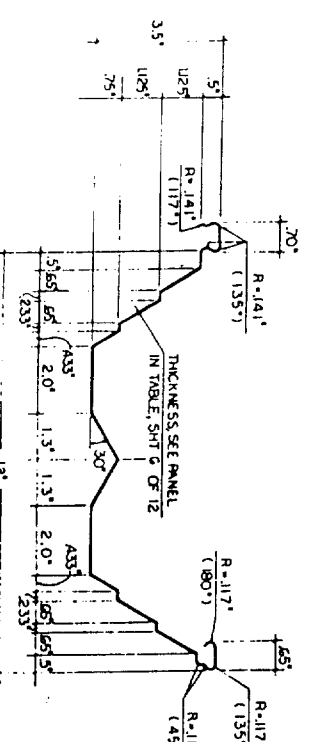
3 1/2" J' RAIL

HANGER & RAIL PROFILES

ALUMINUM ALLOY 6063-T6

3" J' RAIL

2" J' RAIL



HANGER / RAIL FASTENERS TO FACIA, WALL, (STUD) MASONRY OR CONG.)	AT WOOD STUD	AT MASONRY OR CONG.
W/ STIPSON A-5	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
DESIGN	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
A	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
B	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
C	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
D	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
E	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
F	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
G	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
H	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
I	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
J	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
K	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
L	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
M	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
N	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
O	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
P	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
Q	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
R	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
S	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
T	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
U	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
V	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
W	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
X	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
Y	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"
Z	1.0" x 1.0" x 1.0"	1.0" x 1.0" x 1.0"

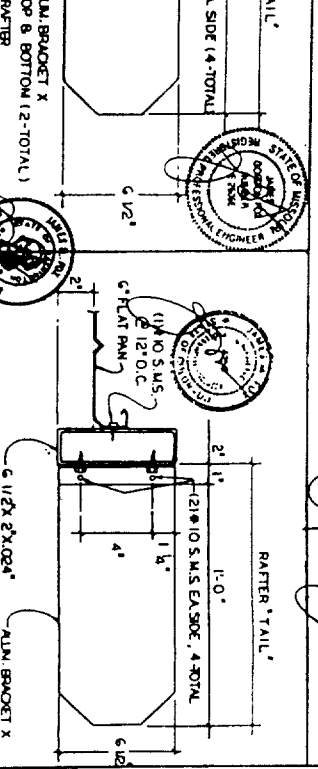
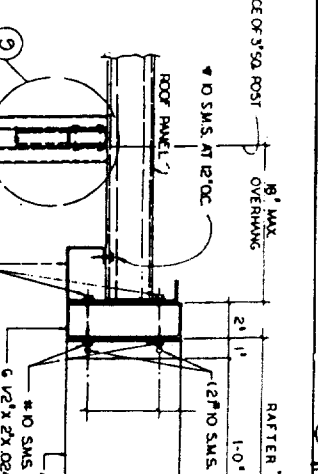
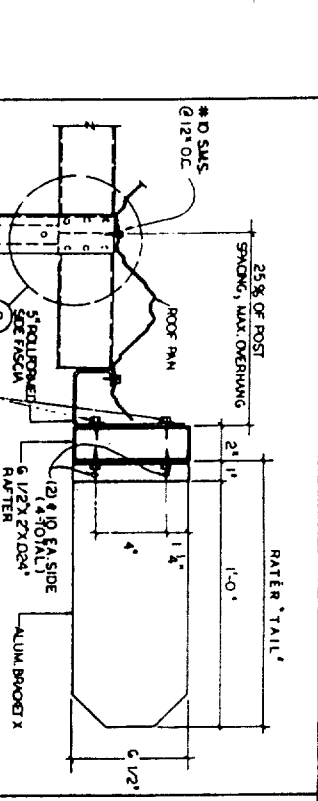
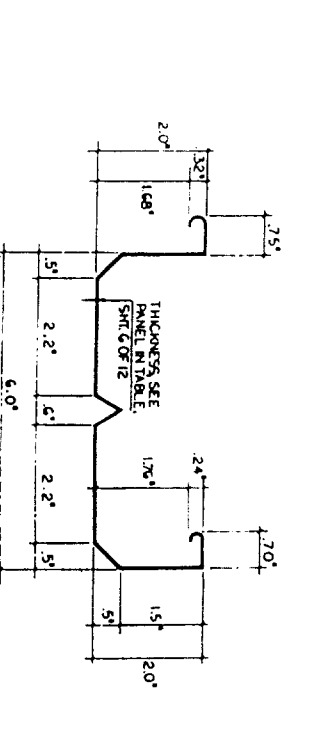
12" X 3 1/2" W PANEL

3 BEAM / HEADER TO POST CONN.

8 BEAM / HEADER TO POST CONN.

9 BEAM / HEADER TO POST CONN.

10 BEAM / HEADER TO POST CONN.



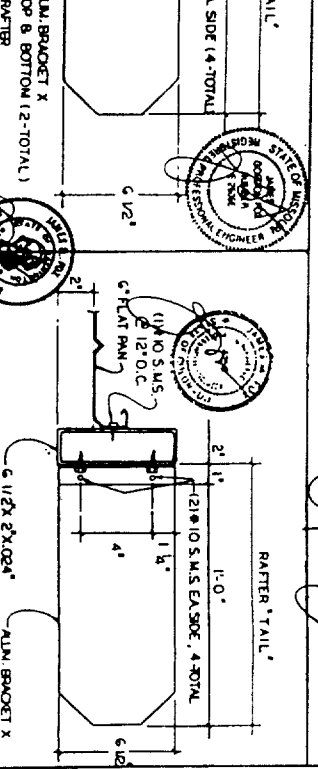
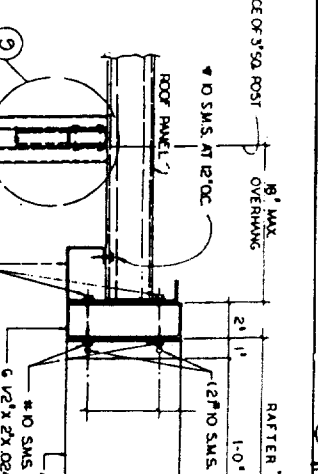
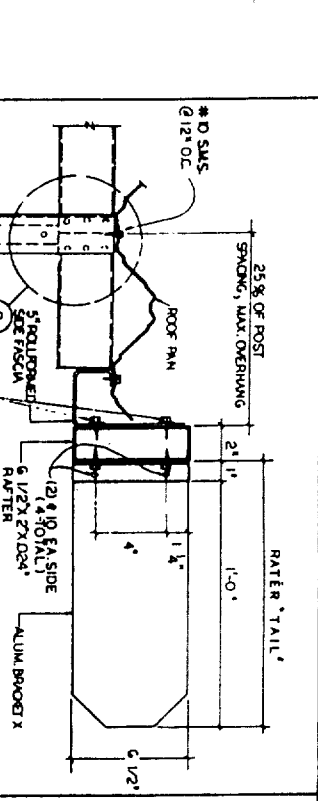
6" X 2" FLAT PANEL

4 RAFTER 'TAIL' AT SIDES

11 RAFTER 'TAIL' AT FRONT

12 RAFTER 'TAIL' W/ 6" X 2" FLAT PANEL

13 RAFTER 'TAIL' AT REAR



ICBO, E.S. EVALUATION REPORT NO 5038

7 & 8 32 NOTED K.K.

FOX ENGINEERING JAMES M. FOX, STRUCTURAL ENGINEER 5440 TELEGRAPH RD., SOBERTY, CALIFORNIA 95918

COMPONENTS & DETAIL CONN FOR: ROOFED-TYPE - PANO COVERS

ALUM-LATICE RATIO COVER VALLEY ALUMINUM COMPANY (802) 278-4224