

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Marr-Shaffer & Associates, 2160 Royale Rd., Suite 30, Sacramento, CA		
OWNER	Ned B. Walker, 7413 Tierra Way, Fair Oaks, CA 95628		
PLANS BY			
FILING DATE	10/8/82	50 DAY CPC ACTION DATE	REPORT BY: TM:bw
NEGATIVE DEC.	10/29/82	EIR	ASSESSOR'S PCL. NO. 266-382-01

- APPLICATION:
1. Negative Declaration
 2. Amendment of General Plan from Residential to Industrial
 3. Amendment of Arden/Arcade Community Plan from Multiple Family Residential to Heavy Commercial & Industrial
 4. Rezone 0.5± acres from Light Density Residential, R-3-R, to Light Density Industrial (M-1)

LOCATION: 2540 Connie Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 4,000± square foot office building.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 Arden/Arcade Community Plan Designation: Multiple Family Residential
Existing Zoning of Site: R-3-R
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single Family Residential; R-2A
South: Two Family Residential; R-2-A
East: Single Family Residential; RD-5 (County)
West: Warehousing and shops; M-1

Parking Required: 10 spaces
Parking Provided: 18 spaces
Parking Ratio: 1 space per 400 sq. ft. of gross floor area
Property Dimensions: 100' x 205'
Property Area: 20,500± square feet
Square Footage of Building: 4,000
Topography: Flat
Street Improvements: Existing
Utilities: Available to site
Exterior Building Colors: Earth tones
Exterior Building Materials: Wood and glass

BACKGROUND INFORMATION: On May 11, 1971 the City Council rezoned the subject site from Garden Apartment (R-2A) to Light Density Multiple Family-Review (R-3-R) zone. The approved plans indicated an apartment complex of 14 units was to be developed on the subject site.

001848

APPLC. NO. P82-236

MEETING DATE November 10, 1982

CPC ITEM NO. 7

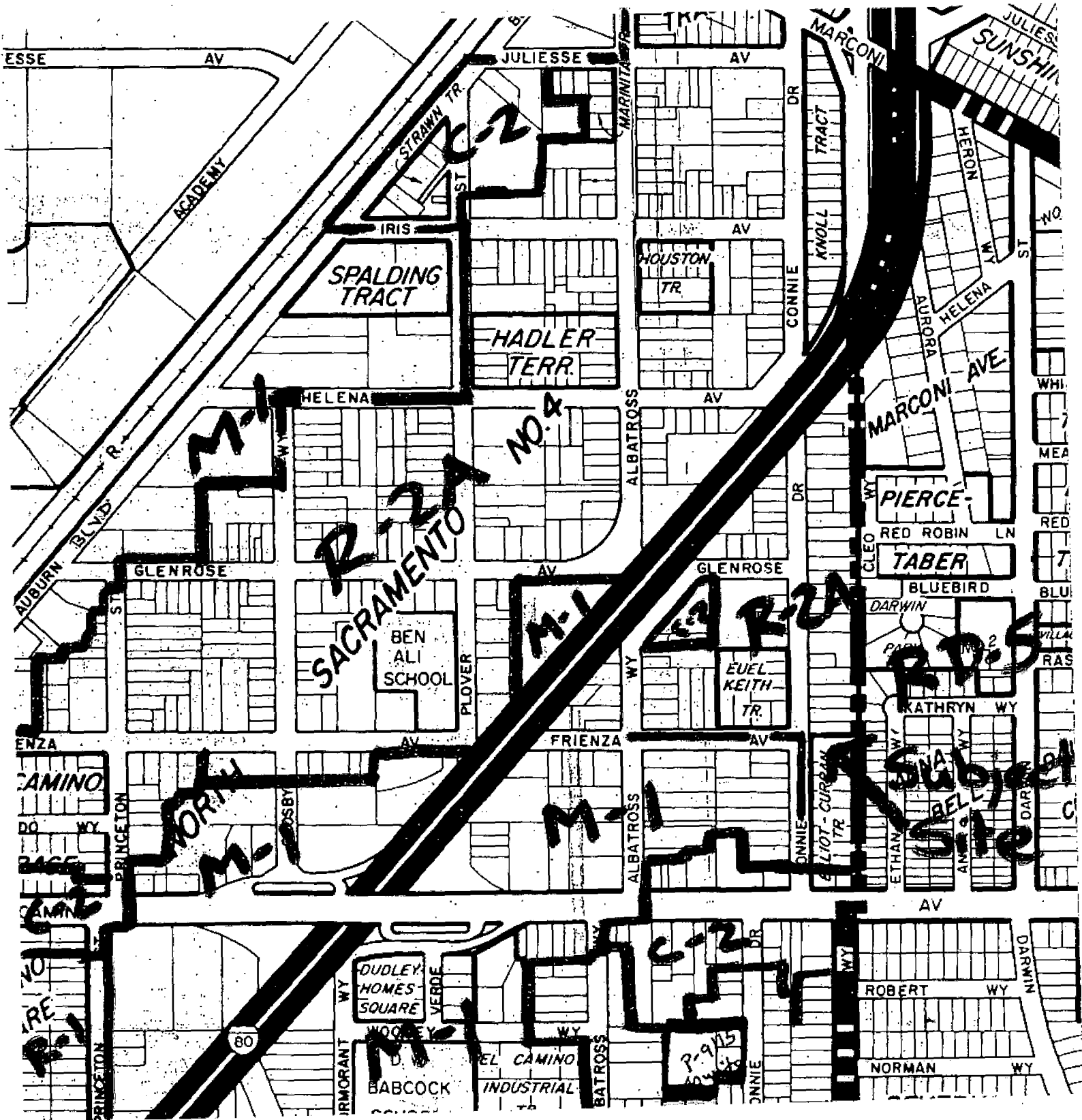
STAFF EVALUATION: The subject site is bordered by residentially zoned and utilized properties to the north, south, and east. These properties are zoned Garden Apartment (R-2A) and RD-5 (County single family zoning). The predominate land use in this general vicinity is single family residential (see attached land use map, Exhibit A). To the west of the site on the south side of Frienza are industrial zoned properties (M-1). These properties are developed with warehouses and other related uses.

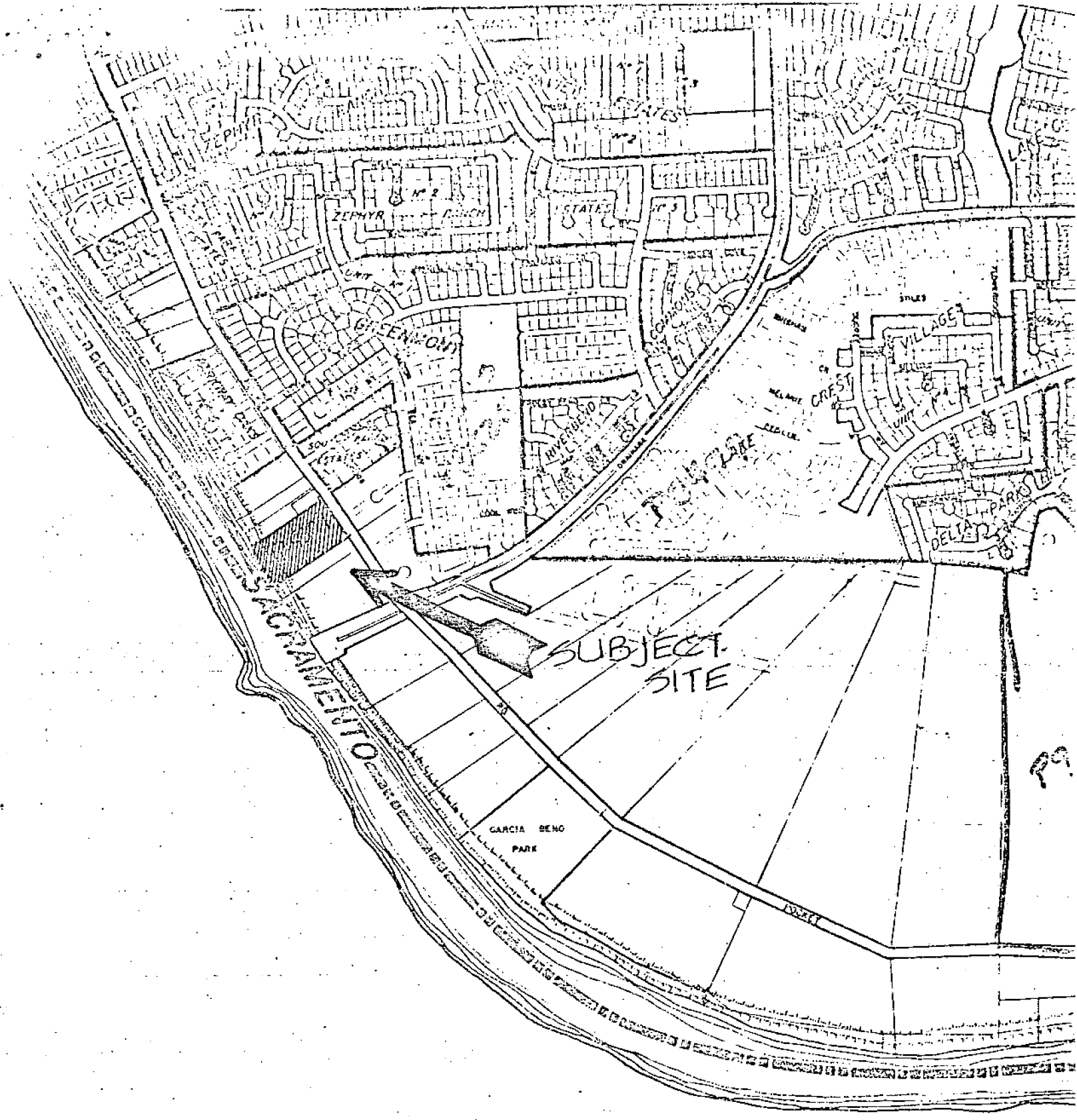
The applicant's stated intent is to develop the subject site with 4,000 square feet of office space for an engineering consultant firm. The applicant has indicated that he would accept an OB Office Building zone which would be consistent with the intended use. Staff finds that the rezoning request, if approved, would allow the intrusion of a non-residential use within an area designated, zoned and developed with residential land uses. Also, the expansion of the M-1 zoning is not warranted, based upon the availability of vacant land which can accommodate the proposed office use. The general area from Auburn Boulevard to Albatross Way (see location map) has a significant amount of under utilized or vacant M-1 zoned properties.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Denial of the General Plan Amendment;
3. Denial of the Community Plan Amendment;
4. Denial of the Rezoning request.

Location & Zoning MAP





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P. 9304

FEBRUARY 26, 80

~~March 12, 1981~~

~~March 26, 1981~~

~~April 9, 1981~~



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Item #

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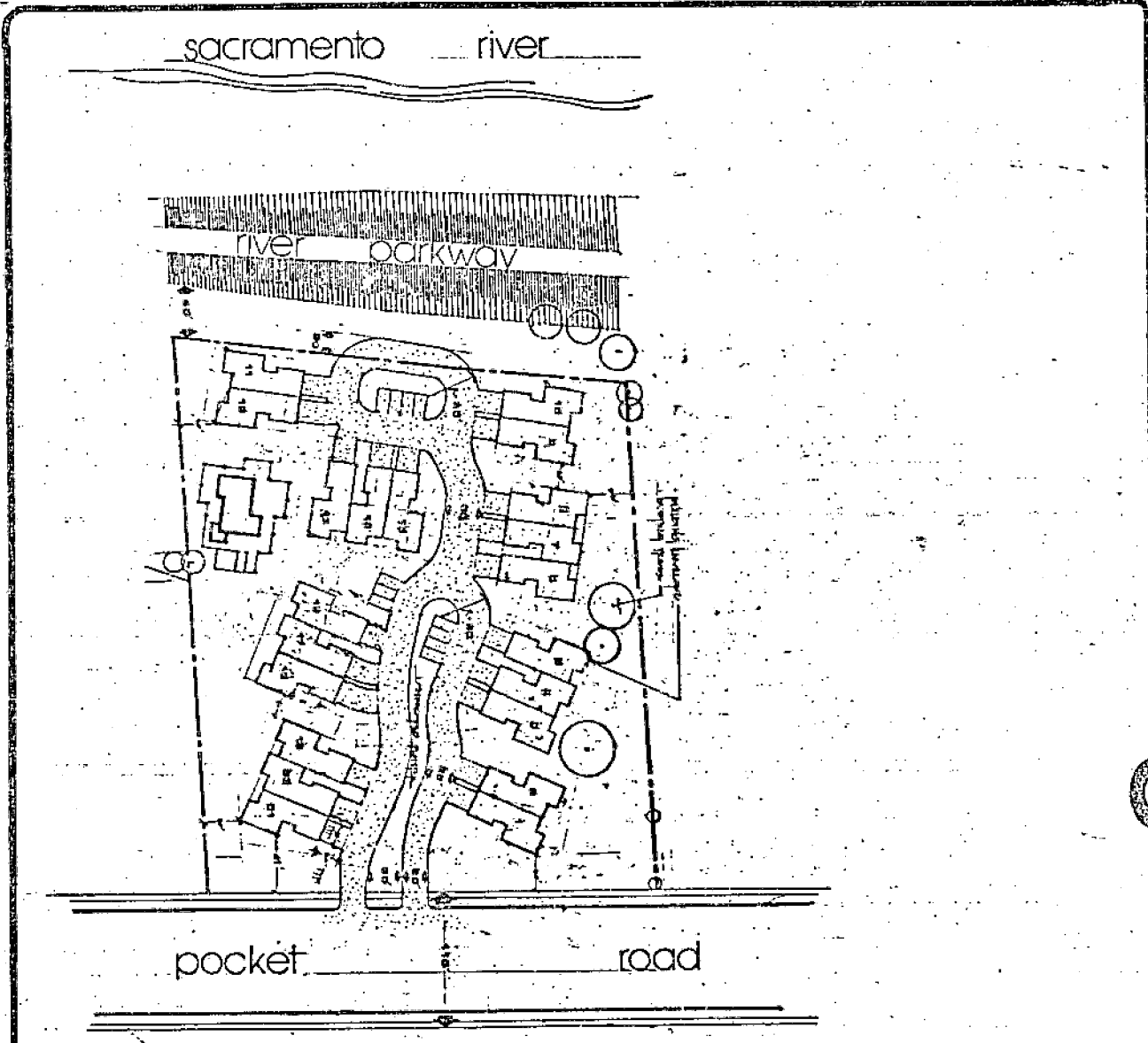
February 26, 1982
March 12, 1981
March 26, 1981
April 9, 1981
6-11-81

Item No. 13
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001853

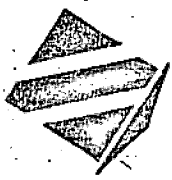
southbridge

planned
unit
development



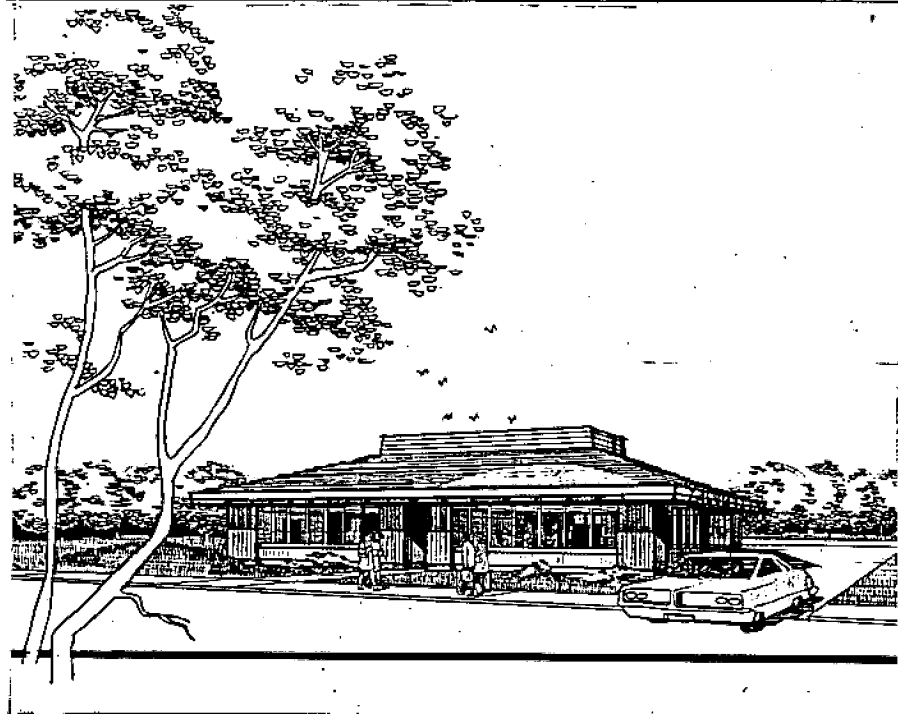
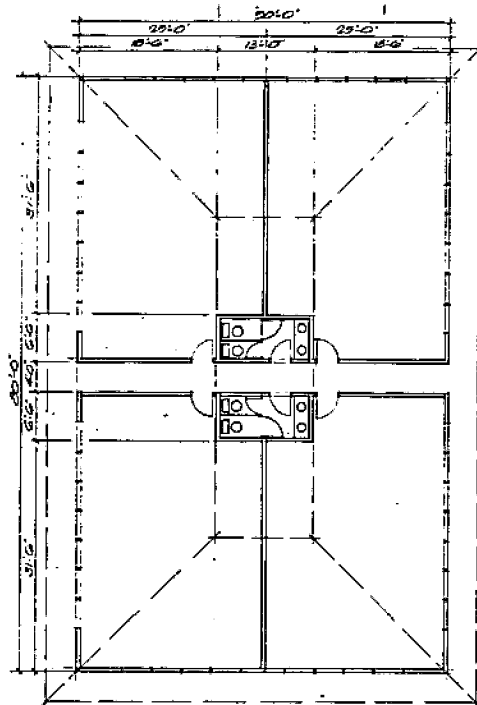
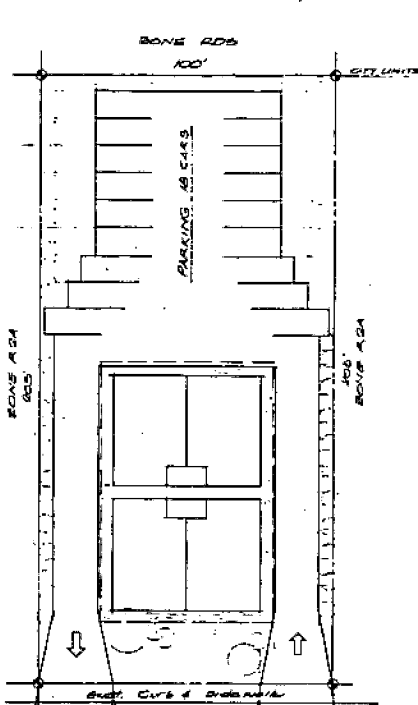
site data

- gross area 1.607
- NET develop area 0.5
- total building units 21
- building units per acre 11.5
- gross parking per unit 1.8
- depth south orientation 200'



as indicated on plan

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CONNIE DR.

SITE PLAN 1"=20'



FLOOR PLAN 1/8"=1'-0"



OWNER: HED D. WALKER
 7433 TIBBANA WAY
 FAIR OAKS, CA. 94608

SITE: 1840 CONNIE DR.

APN: 050-188-01

ZONE: A 2A

TOTAL AREA: 8050 SQ FT

TOTAL BLDG. AREA: 4000 SQ FT

BOUNDING CODES

X - County ROS

Y - City A2A

E - City M1

USE CODES

A - Single Family Res.

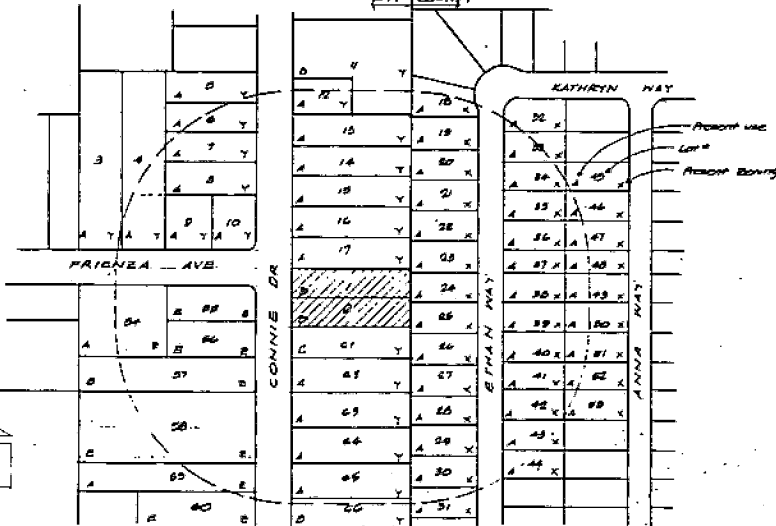
D - Duplex

C - Duplex

D - Apartments

B - Single

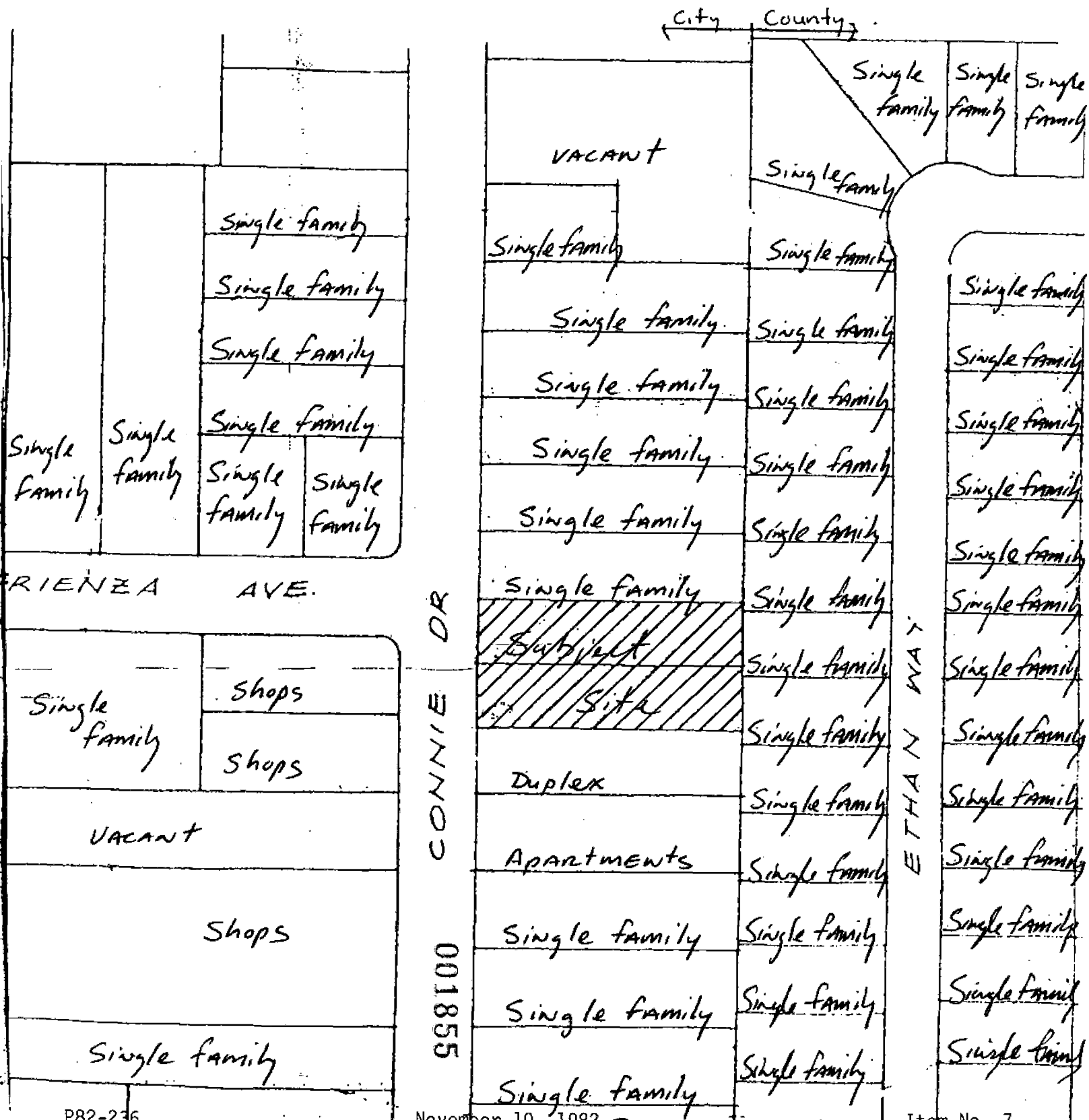
LOCATION PLAN 1"=100'



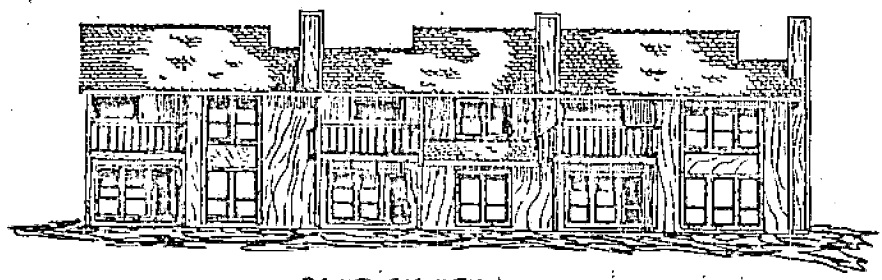
001854

Exhibit "A"

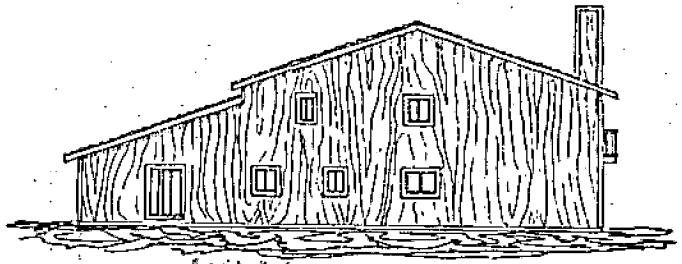
LAND USE MAP



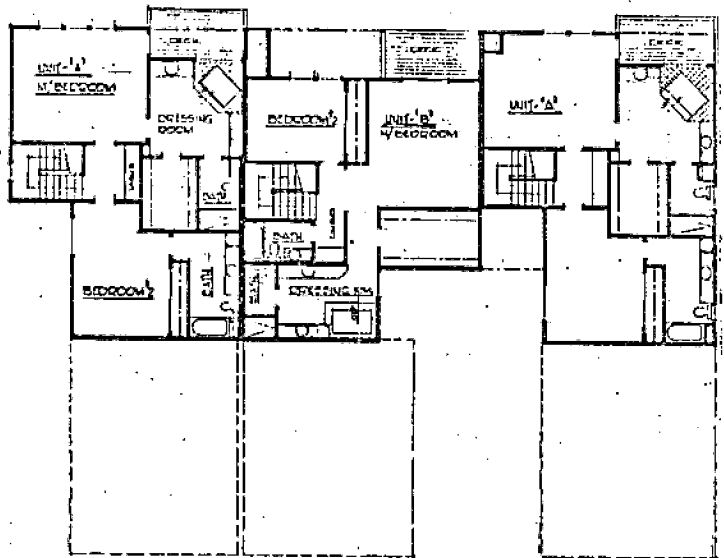
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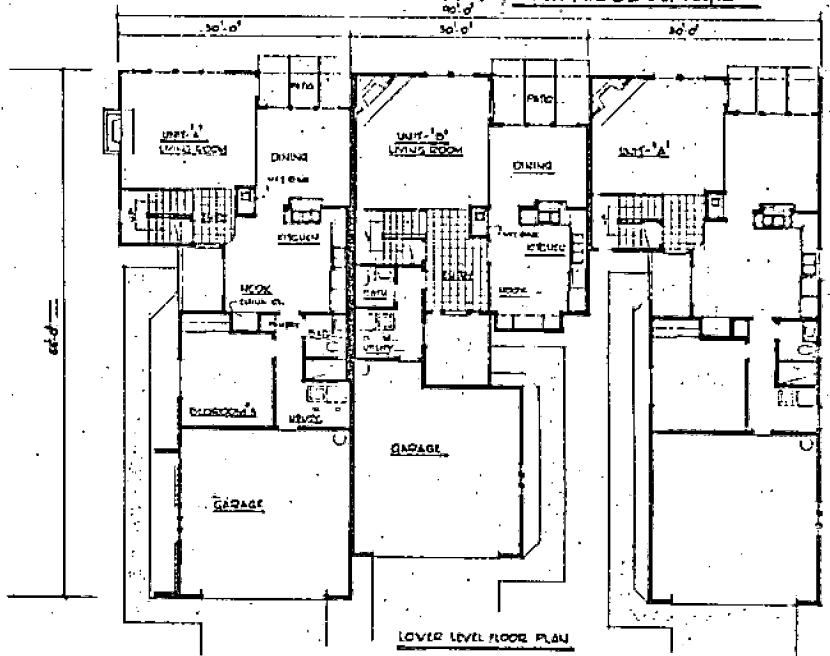
REAR ELEVATION



RIGHT SIDE ELEVATION

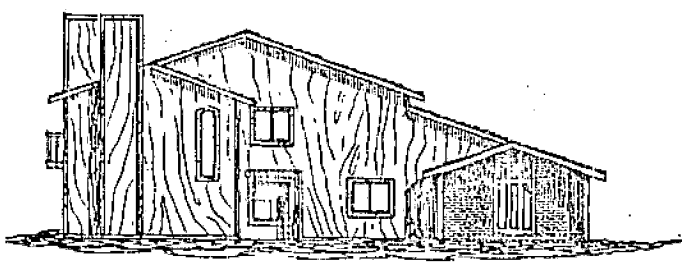


2ND FLOOR PLAN

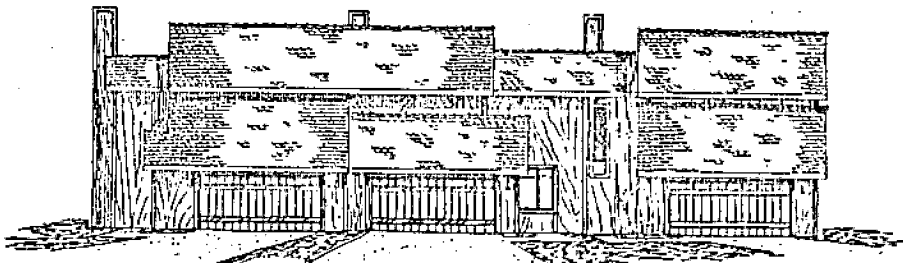


LOWER LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION



FRONT ELEVATION

001856

6-11-81
April 9, 1981
February 26, 1981
March 13, 1981

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K/S
K/S
Designer

G. W. Haggell
&
Associates

7148 fair oaks boulevard suite no. 1
serranada, california 93608
telephone (916) 489-3554

- PROPOSED UNITS FOR
'SOUTH BRIDGE'
CONDOMINIUMS

'A' UNITS HAVING 3 BEDROOMS ARE 2036 SQ. FT.
'B' UNITS HAVING 2 BEDROOMS ARE 1761 SQ. FT.

DESIGNED FOR:
THE KIRK CORP
117-1055

job no.
drawn by:
file no.
sheet
of