

(Amended By Staff 5-8-91)
CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Roland Corrales, 2821 21st Avenue, Sacramento, CA 95820
OWNER Alegria Gacilian, 2821 21st Avenue, Sacramento, CA 95820
PLANS BY Carlos Lachungan
FILING DATE December 18, 1990 ENVIR. DET. Neg. Dec. REPORT BY DCS
ASSESSOR'S PCL. NO. 019-0101-024-0000

- APPLICATION:** A. Negative Declaration;
- B. Special Permit to expand an existing six bedroom residential care facility to fourteen bedrooms plus one caretaker's quarters in the Standard Single Family (R-1) zone.

LOCATION: 2821 21st Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to expand an existing six bedroom elderly residential care facility to fourteen bedrooms plus one caretaker's quarters in the Standard Single Family (R-1) zone.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Six bedroom Residential Care Facility

Surrounding Land Use and Zoning:

North: Single Family Residential; R-1
South: Ethel Phillips Elementary School
East: Single Family Residential; R-1
West: Single Family Residential, R-1

Property Dimensions:	50' X 250'
Property Area:	.286± gross acres; .28± net acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Parking Required: To be determined by the Planning Commission
Parking Provided: 5 spaces

PROJECT EVALUATION: Staff has the following comments regarding this proposal.

A. Land use and zoning

A six bedroom residential care facility is currently located on the property. The subject site is zoned Standard Single Family (R-1) and is designated Residential in the General Plan. The property is a .286± acre parcel located at 2821 21st Avenue. Surrounding properties are single family residences except to the south where the Ethel Phillips Elementary School is located. Surrounding properties are zoned Single Family Residential (R-1). The R-1 zone allows residential care facilities with six and fewer bedrooms. An approved Special Permit is required for residential care facilities with more than six bedrooms. The existing facility is licensed by the State of California.

B. Applicant's Proposal

The applicant is proposing to expand an existing six bedroom elderly residential care facility to a fourteen bedroom residential care facility with a caretaker's quarters on .286± acres in the R-1 zone. The property is currently designated by the General Plan as Residential. Development of the facility within the Standard Single (R-1) zone requires a Special Permit which provides the opportunity for the City and neighbors to review and comment on the project. The applicant has worked with Planning staff in revising the plans to make the project more compatible with the existing zoning and neighborhood. Site plans reveal that the required setbacks and project design are in keeping with City regulations. Site plans are provided in Exhibits C, D and E.

C. Staff Analysis

Building Design and Materials- There are two existing structures on the property. One is the care facility, the other is a 660 square foot detached garage. The existing residential care facility consists of a six bedroom single story facility with a kitchen, living room, and dining room. A detached garage provides two parking spaces. The existing building is constructed with stucco siding and composition shingle roofing. The proposed structure will be constructed with stucco and wood siding and composition shingle roofing. A two story element is proposed with the new construction which will be used for the caretaker's quarters. Staff has worked with the applicant to make the facility resemble a single family residence on its south elevation as it is viewed from 21st Avenue in conjunction with the surrounding neighbors.

Residential Care Facility Criteria- The City has adopted residential care facility criteria to help in the evaluation of the merits of an operator's application for a Special Permit. The criteria and staff's response are as follows:

Criteria

Response

- o Meeting with neighbors;
 - o Having a location which is reasonably close to shopping, medical and other facilities;
 - o Having a location where the same type of service is not already offered;
 - o Being in an location that is accessible if it provides a unique type of service for the region;
 - o Not being located in an area which already contains a number of residential care facilities;
 - o Providing adequate parking; and,
 - o Providing access to the handicapped.
- o Applicant has met with neighbors who are reported to be in support of the proposal.
 - o The site is fairly close to commercial facilities located off Franklin Blvd. However, the residents are elderly and would find it difficult to walk or drive to shopping. A van is available to transport residents to shopping and medical facilities.
 - o Exhibit D illustrates the location of other similar facilities in the area of the project. This type of use is offered approximately 2-3 blocks away. The distance between the two uses is considered adequate.
 - o Although this is not considered a unique use, it is accessible to those who need the service.
 - o Exhibit D illustrates that there are other facilities in the general area. Another residential care facility is approximately two blocks away. Staff feels that the proximity is far enough away as to not be problematic in this case.
 - o The applicant proposes five parking spaces which would accommodate the staff, the facility van and a visitor.
 - o Handicapped facilities are

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MEETING DATE May 23, 1991

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provided in conjunction with the Uniform Building Code and State regulations for the project. The facility has an extensive ramping system for its residents.

The facility is licensed by the State of California as a Residential Care Facility for the Elderly pursuant to the Health and Safety Code 1569 et. sec. As such, the facility is limited to elderly over the age of 60 years (Staff added 5-8-91). Staff considers the proposal to be in conformance with the locational criteria listed above.

Parking- The required parking for care facilities is determined by the Planning Commission. The residents are primarily elderly and do not drive. There are three staff members and one staff vehicle which create a need for four spaces. Five on-site spaces are proposed, leaving at least one space open for visitors. Staff, therefore, believes that five spaces are adequate for the expanded facility.

Landscaping and Wall- The applicant is proposing landscaping in the front 25 foot front yard setback area. The front yard will have lawn or ground cover with trees and shrubs. The shrubs will be placed upon a berm in front of the parking area. A three foot high masonry wall will be located on the south side of the parking area which will screen the cars from street views. Another six foot high masonry wall will be placed along the rear and side property lines. Staff approves of the conceptual plans and recommends that the detailed landscape, irrigation and wall plans be submitted for staff approval prior to the issuance of the building permits.

Staff finds the proposed design and materials of the site plan and buildings to be desirable and recommends approval of the project.

E. Agency Comments

The proposed project was reviewed by City Engineering, Traffic Engineering, State Community Services and Building Divisions who have found the proposal to be in compliance with established regulations.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact

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to the environment; therefore, a Negative Declaration has been prepared. There are no specific mitigation measures identified for this project.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Special Permit to expand an existing six bedroom residential care facility to fourteen bedrooms plus one caretaker's quarters in the Standard Single Family (R-1) zone.

Conditions:

1. Building elevations shall be reviewed and approved by Planning staff prior to the issuance of any building permits. Building elevations shall include:
 - a. decorative window treatment such as grids, window boxes, etc. on the south elevation;
 - b. roof shall be covered with a minimum 25 year dimensional laminated composition shingle material;
 - c. horizontal lap siding shall be used on the second story elevations;
 - d. stucco finish, or similar quality material, shall be provided on ground floor elevations;
 - e. exterior colors shall compliment roof selection (earth tones are recommended); and,
 - f. roof mounted mechanical equipment should be avoided. If mechanical equipment is placed on the roof and visible from the street, an approved screen is required.
2. Landscape, irrigation and wall plans shall be reviewed and approved by Planning staff prior to the issuance of any building permits. Landscaping shall include:
 - a. lawn or ground cover and a minimum of two trees (minimum of 15 gallons in size) are required in the front yard setback area;

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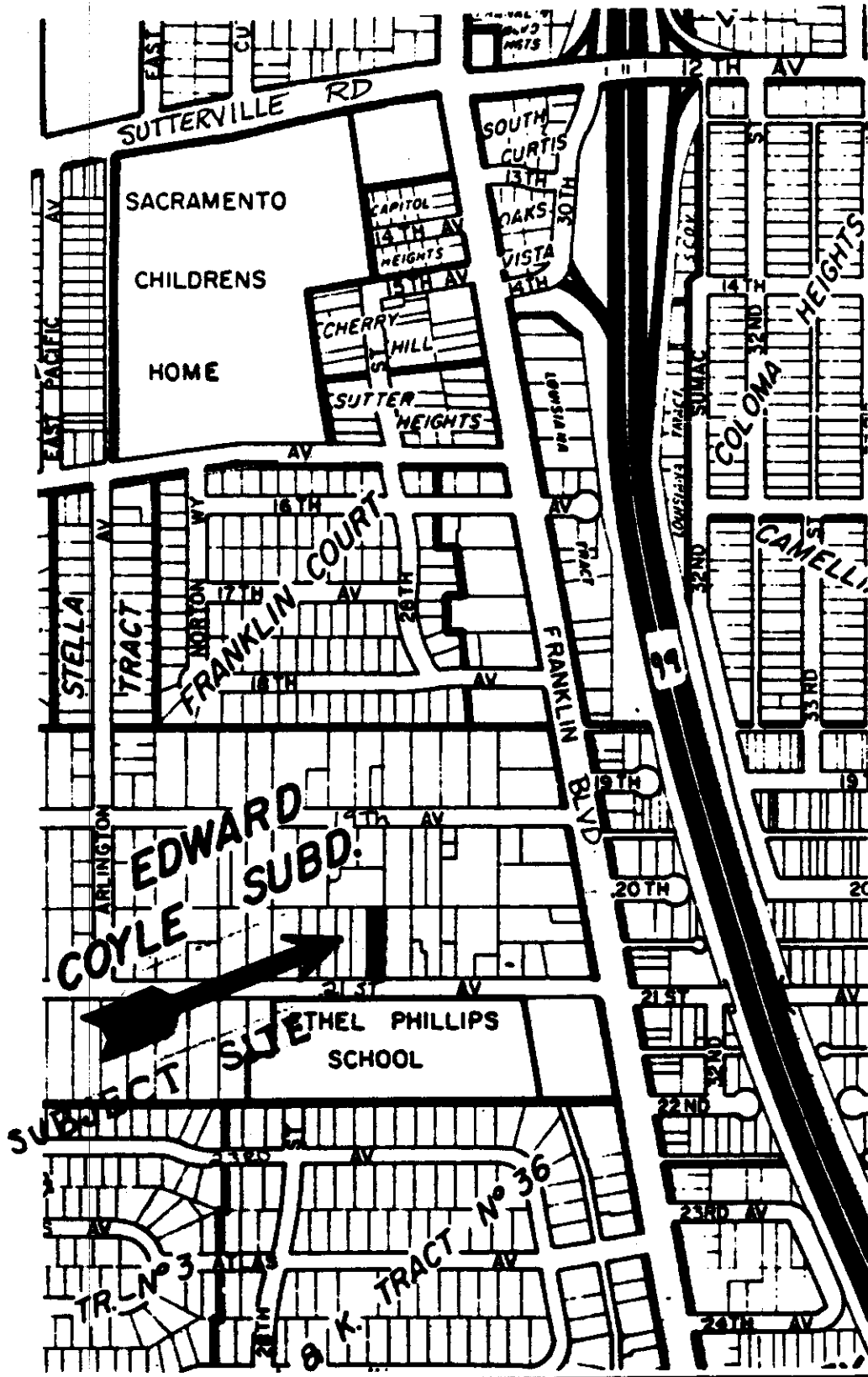
MEETING DATE May 23, 1991

ITEM NO. 19

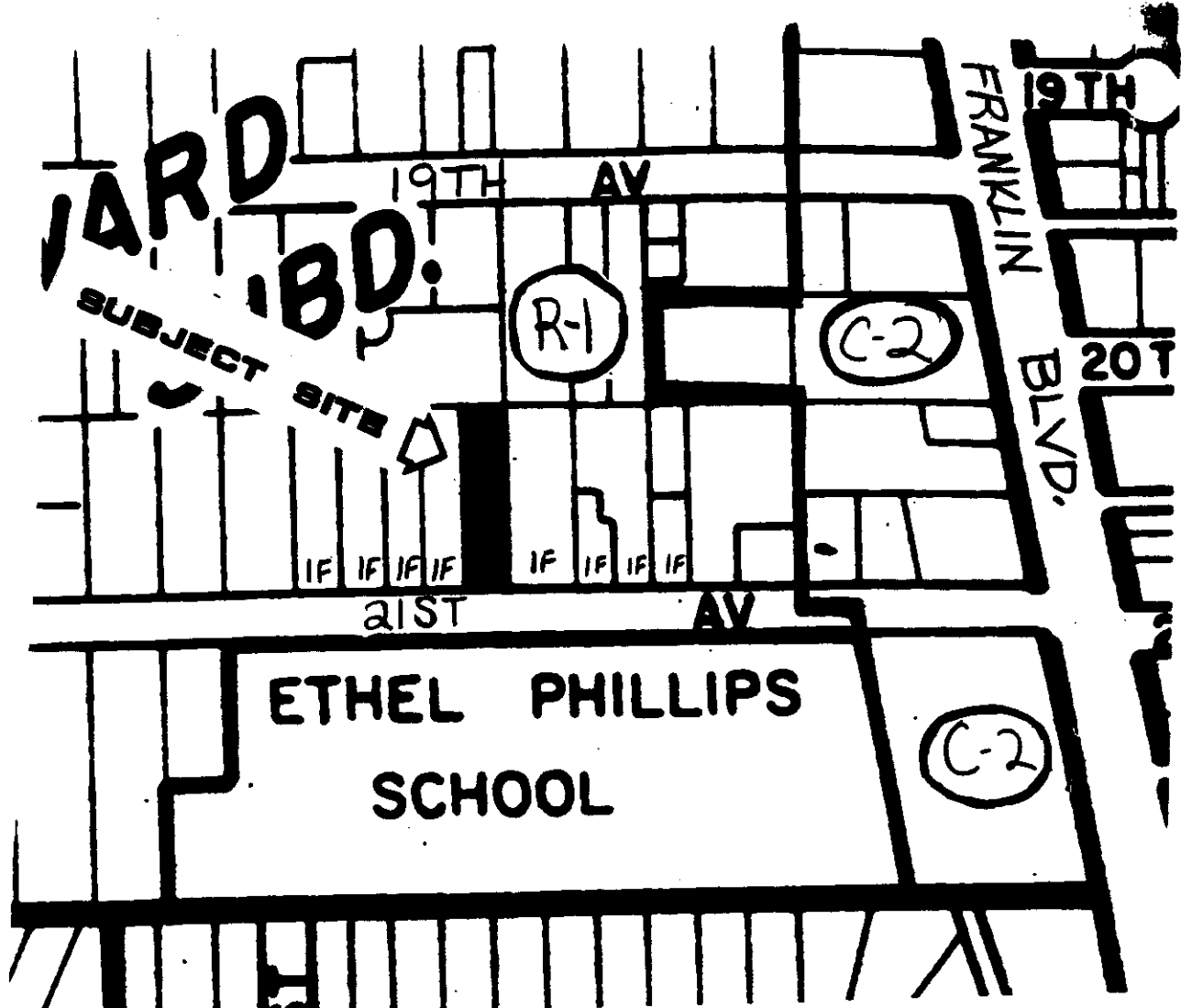
- b. shrubs along the three foot high fence that borders the parking area; and,
 - d. appropriate irrigation to maintain vegetation in a healthy condition.
3. A decorative six foot high masonry wall shall be provided along the north, east and west property lines and a three foot high masonry wall shall be provided along the south side of the parking lot. Design and materials of the walls shall be subject to Planning Director approval prior to issuance of building permits.
4. *The facility is licensed by the State of California as a Residential Care Facility for the Elderly pursuant to the Health and Safety Code 1569 et. sec. As such, the facility is limited to elderly over the age of 60 years (Staff added 5-8-91).*

Findings of Fact-Special Permit

1. The proposed project, as conditioned, is based on sound principles of land uses in that the:
- a. the residential care facility expansion is consistent with the surrounding residential neighborhoods; and,
 - b. the project is consistent with the residential care facility locational criteria.
2. The proposed project, as conditioned, will not be detrimental to the public health, safety or welfare to the neighboring properties in that the:
- a. required on-site parking will be provided;
 - b. required setbacks and lot coverage will be provided;
 - c. Sound walls and landscaping will be provided.
3. The proposed project is consistent with the General Plan which designates the site for residential uses.



VICINITY MAP



LAND USE & ZONING MAP

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MEETING DATE May 9, 1991

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ITEM NO. 12

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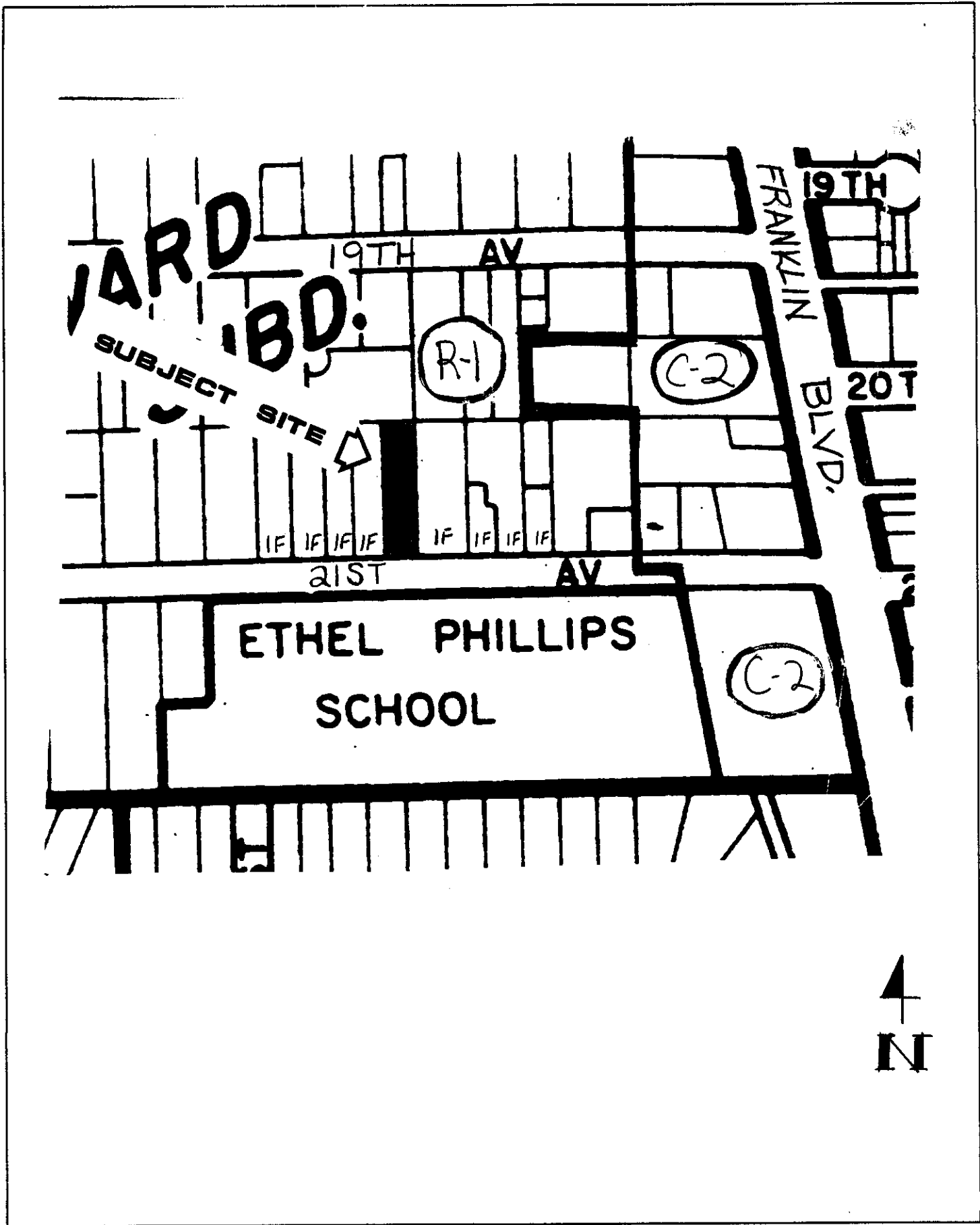
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Findings of Fact-Special Permit

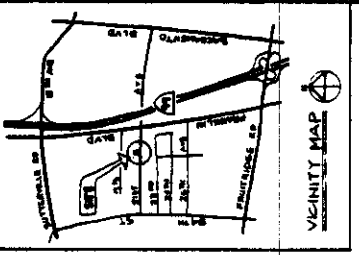
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3. The proposed project is consistent with the General Plan which designates the site for residential uses.



LAND USE & ZONING MAP

EXHIBIT A SITE PLAN / FLOOR PLAN ACTION TO EXISTING RESIDENTIAL CARE FACILITY

OWNER: ALBERTA OIL & GAS
DATE: 3-5-91
SCALE: AS SHOWN
DRAWN: CSL
JOB: A1
SHEET: 01 OF 02

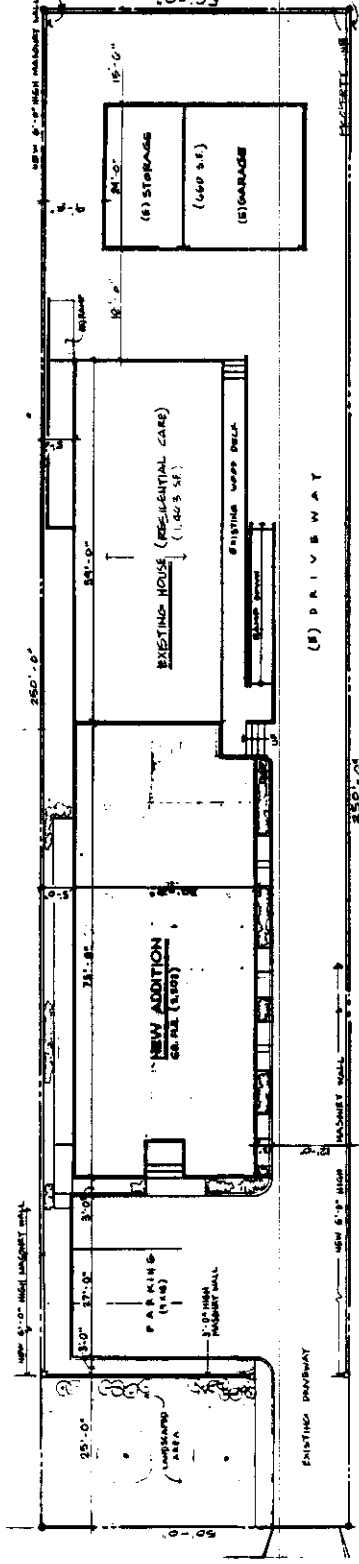


PROJECT: ADDITION TO EXISTING
RESIDENTIAL CARE FACILITY

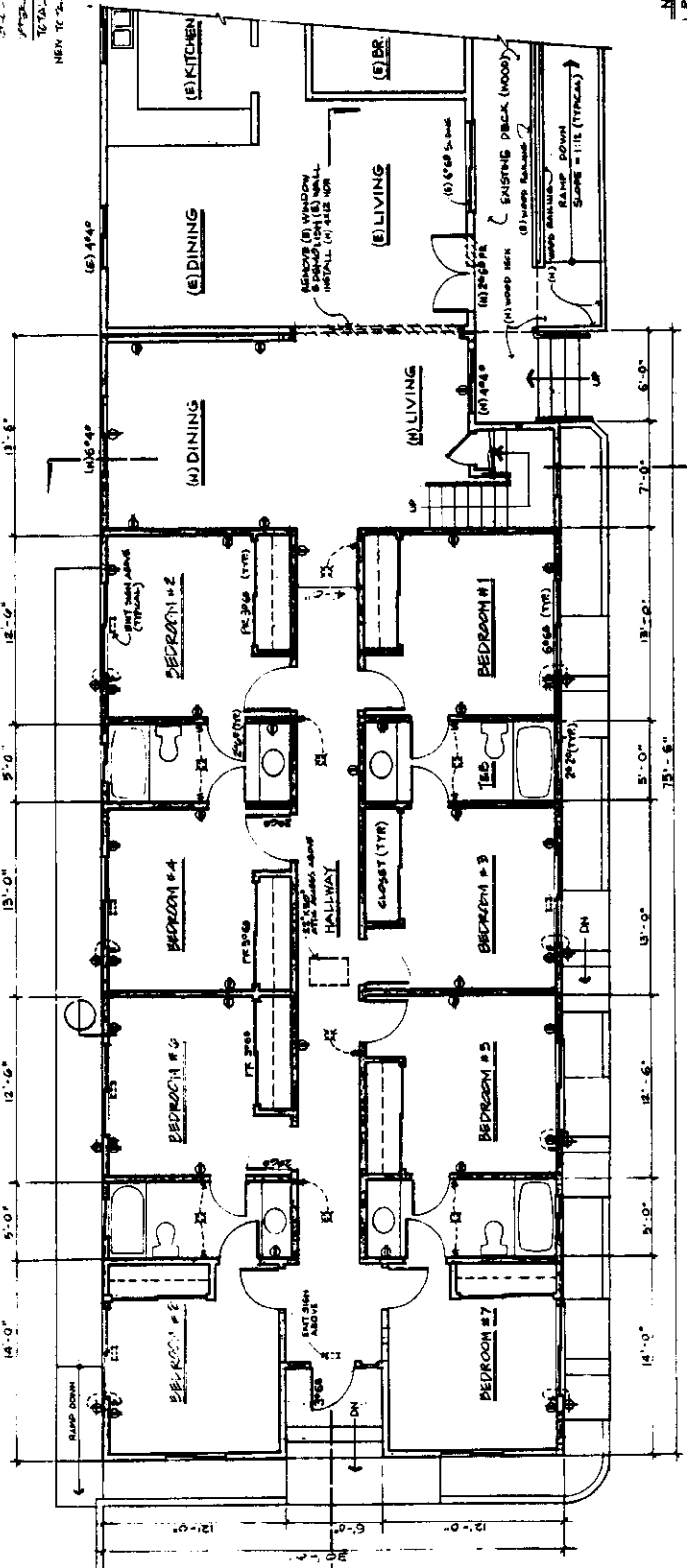
LOT AREA 2,500 SF
EXISTING HOUSE (1,600 SF)
NEW ADDITION 4,323 SF = 35% LOT COVERAGE
TOTAL NEW AREA 5,923 SF
NEW TOTAL AREA 5,054 SF

- LEGEND:
- (E) EXISTING
 - (N) NEW
 - EXISTING WALL
 - NEW WALL
 - (S) WALL TO BE DEMOLISHED

NOTES:
1. PROVIDE FIRE SPRINKLER SYSTEM TO NEW BUILDING FACILITY.
2. ALL EXISTING WALLS TO REMAIN UNLESS SHOWN OTHERWISE.
3. ALL NEW WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD FINISH.
4. ALL NEW WALLS TO BE APPROVED BY CITY/STATE FIRE MARSHAL FOR APPROVAL.



SCALE 1" = 10'-0"
NORTH



SCALE 1/4" = 1'-0"
NORTH

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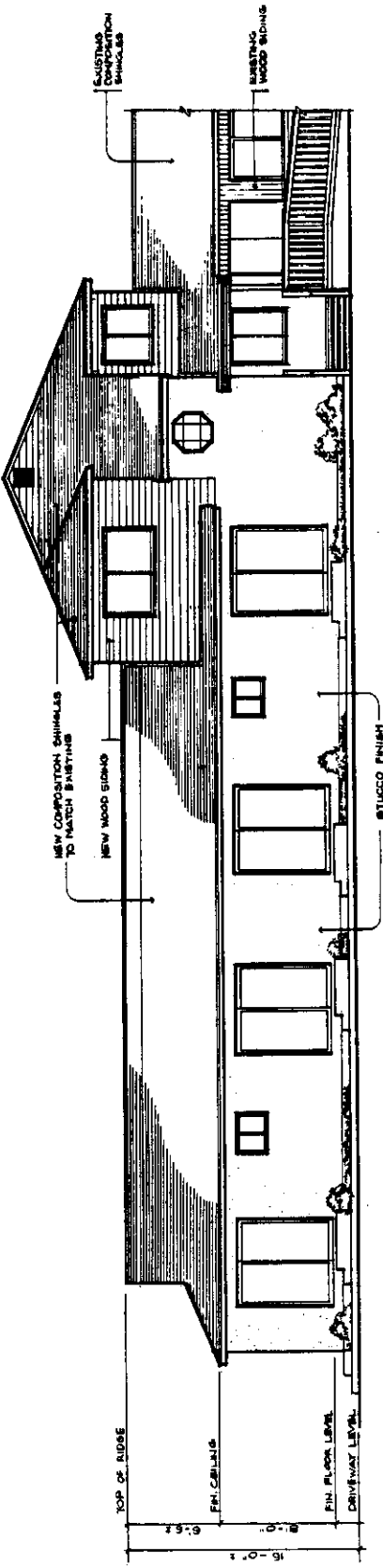
MAY 9, 1991

14

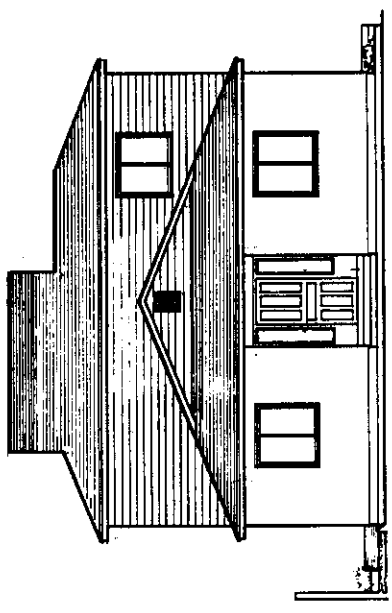
NO.	
DATE	
BY	
CHECKED	
APPROVED	

EXHIBIT B
FLOOR PLAN
ELEVATION

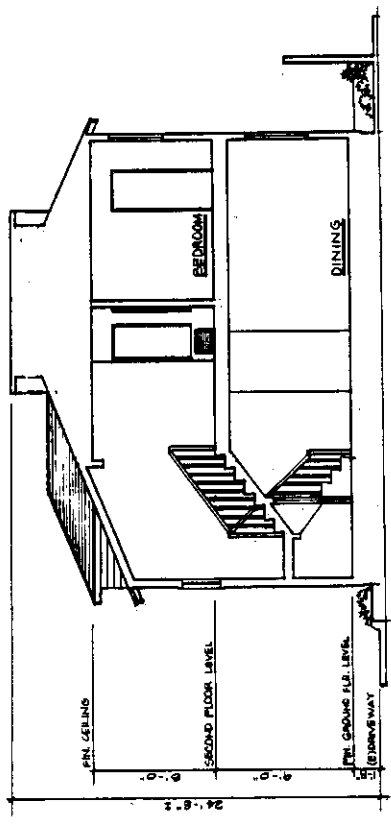
PROJECT: ADDITION TO EXISTING RESIDENTIAL CARE FACILITY
 1821 21ST AVE., SACRAMENTO, CA
 OWNER: ALGERIA GACILAN
 DATE: 3-5-91
 DRAWN: AD/STW
 CHECKED: CSK
 SHEET: A2



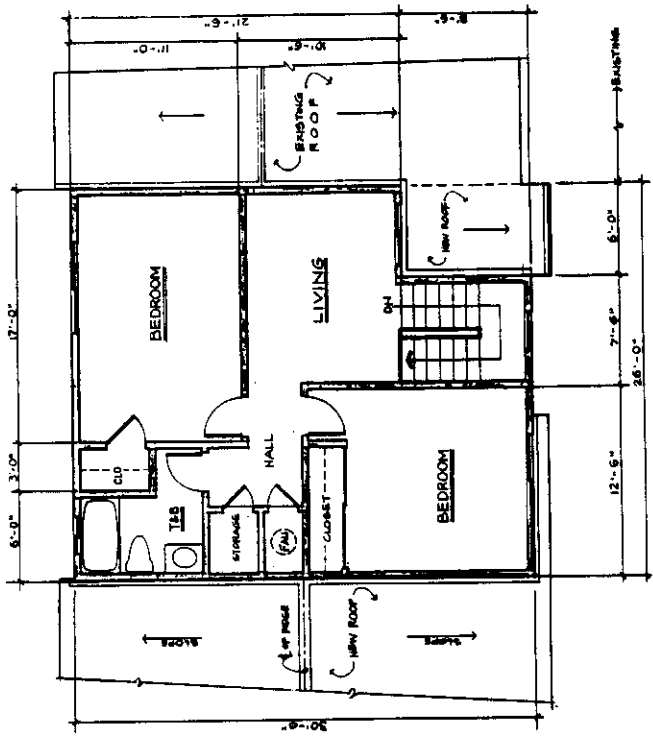
SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



WEST ELEVATION
 SCALE 1/4" = 1'-0"



SECTION thru "A"
 SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"
 PROJ. NORTH

P90-481

MAY 9, 1991

#19

EXHIBIT C ELEVATION

ADDITION TO EXISTING RESIDENTIAL
CAPE FACILITY

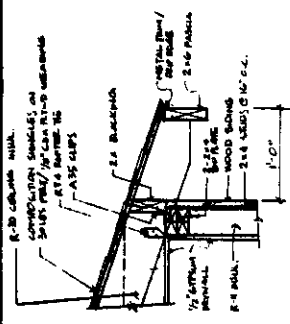
ALBERTA GARCIA
2021 21ST AVE. SACRAMENTO, CA

OWNER:
DATE: 3-15-19
SCALE: AS SHOWN
DRAWING: CSA

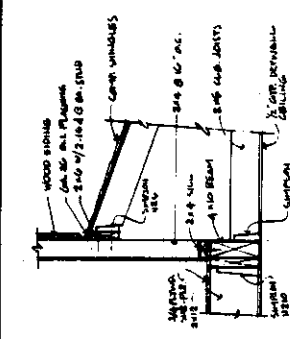
PROJECT:
DATE: 3-15-19
SCALE: AS SHOWN
DRAWING: CSA

SHEET
A 3
OF 5

REVISIONS	BY



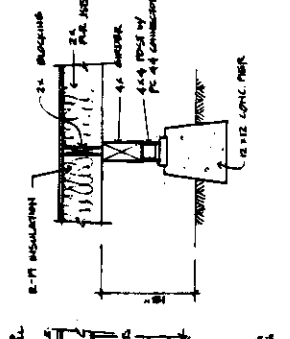
6 DETAIL
SCALE 1/2" = 1'-0"



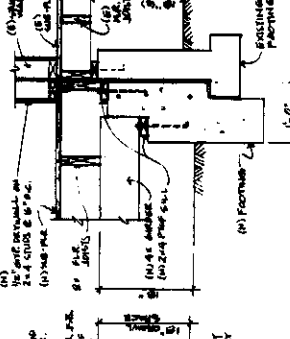
5 DETAIL
SCALE 1" = 1'-0"



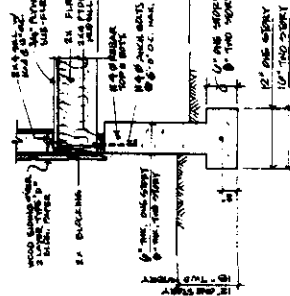
4 DETAIL
SCALE 1" = 1'-0"



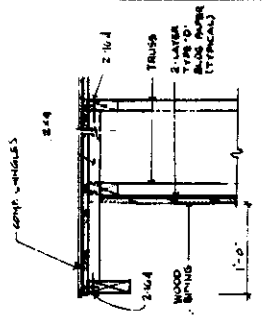
3 DETAIL
SCALE 1" = 1'-0"



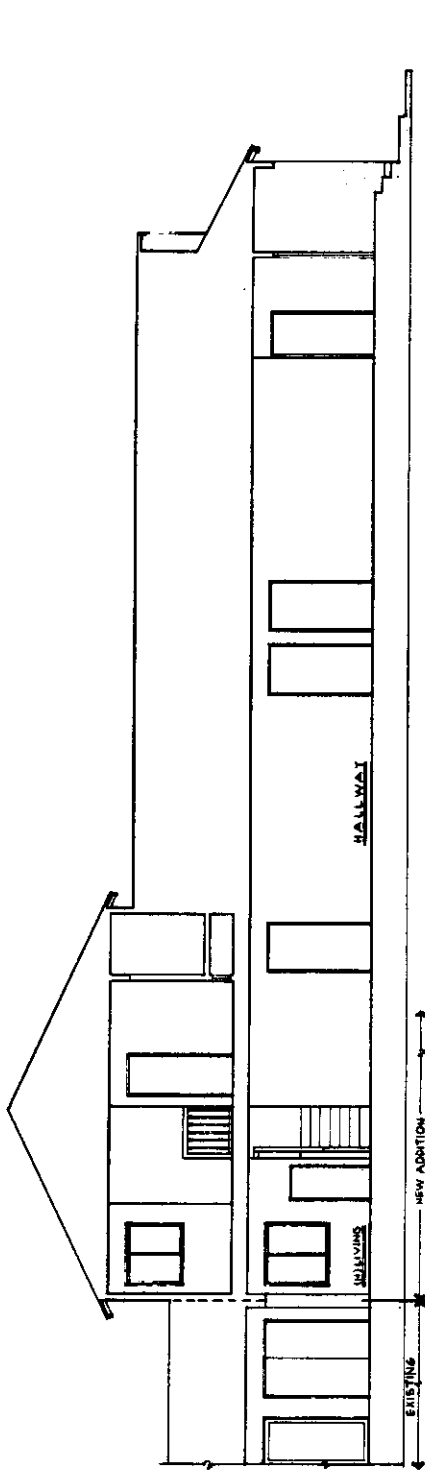
2 DETAIL
SCALE 1" = 1'-0"



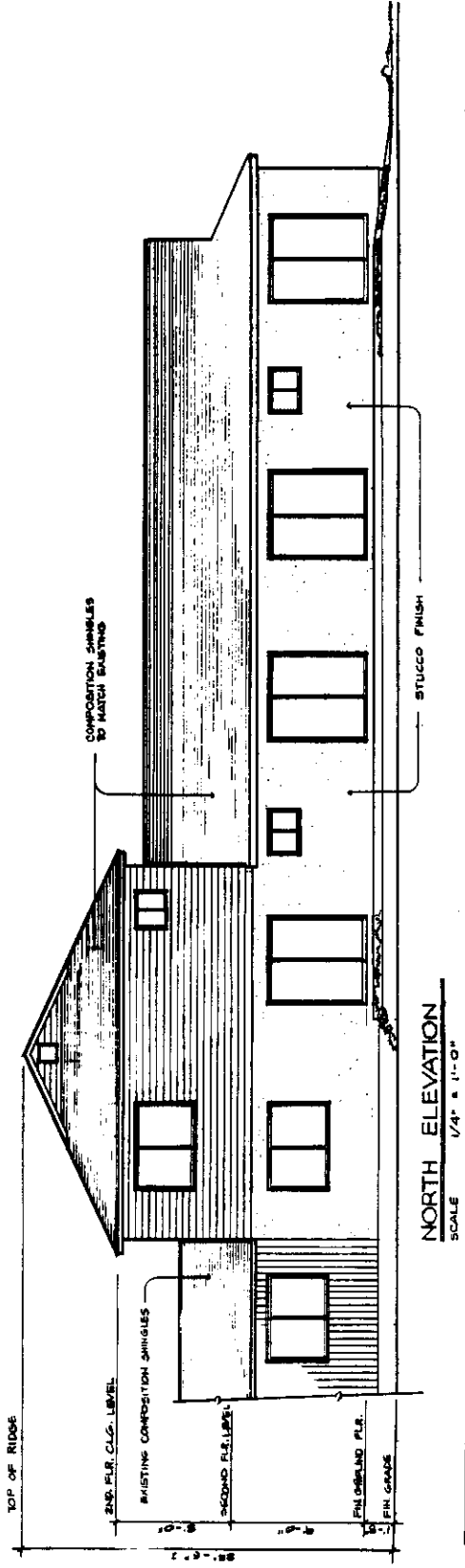
1 TYP. FOOTING DETAIL
SCALE 1" = 1'-0"



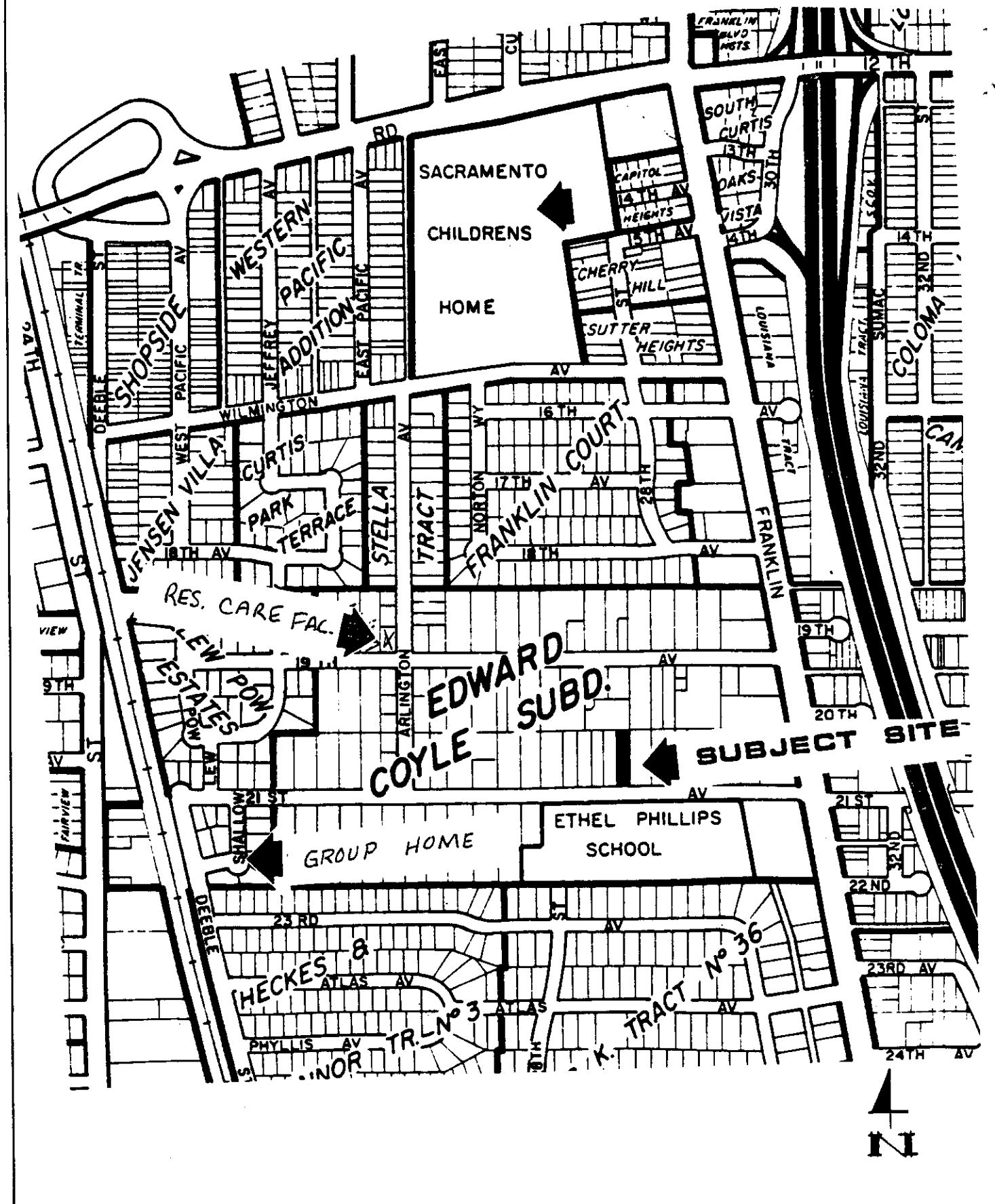
7 DETAIL
SCALE 1/2" = 1'-0"



SECTION THRU B
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



RESIDENTIAL CARE FACILITIES IN PROJECT LOCATION