

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT RICK SCRIBNER, 2041 Hallmark Drive, Sacramento, CA 95856
OWNER Rivergate Equity Partners, 2041 Hallmark Drive, Sacramento, CA 95825
PLANS BY Archonics, 1387 Garden Highway, Sacramento, CA 95833
FILING DATE 7/10/87 ENVIR. DET. EX 15061b3 REPORT BY CS/vf
ASSESSOR'S-PCL. NO. 031-400-05

APPLICATION: Plan Review of a 20 unit apartment complex in the Multiple Family Review (R-2B-R zone).

LOCATION: Southwest corner of Gloria Drive and Rivergate Way

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 20 unit apartment complex with 32 parking spaces.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low Density Multiple Family
Existing Zoning of Site:	R-2 B-R
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks: Required	Provided
North: Multiple family residential; R-2-B-R	Front: 25'	25'
South: Multiple family; R-2-B-R	Side(Int): 5'	7'
East : Halfplexes and multiple family; R-1A and R-2B-R	Side(St): 25'	25'
West : Halfplexes; R-1A	Rear: 15'	15'

Parking Required:	32 spaces
Parking Provided:	32 spaces, (24 covered)
Property Dimensions:	Irregular
Property Area:	.93+ acre
Density of Development:	21.29 d. u. per acre
Square Footage of Building:	18-2 bedrooms, 965 sq. ft. each 2-1 bedroom, 482 sq. ft. each
Height of Building:	28 ft.
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Stucco, pipe railings, misc. metals
Roof Material:	Composition shingle
Exterior Building Colors:	Light grey, dark grey, blue grey, blue

PROJECT BACKGROUND: On December 19, 1985, the Planning Commission approved a plan review for 16 apartment units on the subject site (P85-464). The elevation plans were the same design as the Riverwind Apartments north of the subject site. Evergreen trees and shrubs were proposed along bermed street frontages. The project never materialized.

The current proposal is considered Phase II of a 30 unit apartment development (P87-047) approved by the Planning Commission on February 12, 1987. Phase I is adjacent to and south of the subject site (see Exhibit D). Although the two developments are under separate ownership, and on separate parcels, they will operate together as one apartment complex. Therefore, tenants in Phase II, will use facilities in Phase I such as the pool and rental storage lockers.

PROJECT EVALUATION; Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of a vacant lot totaling .93+ acre in the Multiple Family Review (R-2B-R) zone. Surrounding land uses include multiple family to the north and south, halfplexes and multiple family to the east, and halfplexes to the west. The site is designated for low density multiple family in the 1976 South Pocket Community Plan. The applicant proposes to construct a 20 unit apartment complex on the site. The proposed project is compatible with existing densities in the area and the community plan land use designation for the site. The project is also consistent with the density permitted by the R-2B-R zoning.

B. Site Plan

The project is designed with three separate two-story structures. One building fronts along the 25 ft. setback of Gloria Drive, another fronts along the 25 ft. setback of Rivergate Way and the third along the 15 ft. rear yard setback of Rivergate Way. Parking is mainly along the interior side setback away from street view. Twenty-four of the 32 parking stalls are covered, and all stalls will utilize a two foot parking overhang into landscaped planters. Carport elevations should be submitted for staff review and approval. Staff recommends the 25 foot setbacks along Gloria Drive and Rivergate Way be landscaped with four feet high undulating berms with grass and trees. The majority of trees should be 15 gallon evergreens, to compatible with the well designed street side landscaping of the Rivergate Apartment located on the northeast corner of Gloria Drive and Rivergate Way. The applicant has indicated they will use a minimum of 75 percent evergreen trees and shrubs along street setbacks and will likely consist of redwoods and sequoias.

Liquid amber trees will be used adjacent to the driveway to allow visual access to motorists. In order to buffer adjacent halfplex units, evergreen trees should also be planted in the rear yard setback. The trash enclosure has been designed to provide landscape planters around the periphery of the enclosure.

C. Building Design

Each of the three two-story buildings will have a different number of units. The building along Gloria Drive will have eight two-bedroom units, the building facing Rivergate Drive and have six two bedroom units and the building nearest the rear property line will have four two bedroom units and two one bedroom units. All units will have a fireplace, private patio, and each bedroom has a bath off of it. Laundry facilities are provided within each unit, excluding the two one bedroom units. Proposed materials are the same as Phase I and include stucco painted light grey, blue grey wood trim, blue steel pipe railings and a charcoal grey composition shingle roof.

Overall, staff finds the proposed units attractively designed and compatible with the surrounding neighborhood. A condition of approval for Phase I indicated that the first and second floor patios be screened for security and aesthetic purposes. The applicant has submitted a detailed drawing of the porch enclosure (see Exhibit C). Solid walls with stucco siding are only provided for upper level porches. The applicant has indicated that grape stake fencing (six foot high) would be used on ground floor porch areas to allow for light and air circulation.

Elevations for the proposed identification sign at the entrance and any other signage, must be submitted to staff for review and approval prior to the issuance of building permits.

ENVIRONMENTAL DETERMINATION: The project is exempt from environmental review pursuant to State EIR Guidelines, (CEQA 15061b3).

RECOMMENDATION: Staff recommends the following actions:

- A. Approve the Plan Review for a 20 unit apartment complex subject to conditions and based upon Findings of Fact which follow:

Conditions

1. A minimum of 20 parking stalls shall be covered. Carport elevations must be submitted for Planning Staff review and approval prior to issuance of building permits.

2. Revised elevations indicating screened patio areas shall be submitted for Planning Staff review and approval prior to issuance of building permits.
3. Bike storage proposed on rear patios must be provided for each unit. The type of facility must meet City requirements.
4. The trash enclosure must be designed per the latest trash enclosure Ordinance No. 87-086, adopted on June 9, 1987. The Ordinance requires a decorative solid heavy gauge metal gate which was not a requirement when the Phase I project was approved.
5. A revised landscape shading and irrigation plan shall be submitted for staff review and approval prior to issuance of building permits. The landscape plan shall include the following:
 - a. Evergreen trees shall be placed in the rear yard setback to buffer the second level balconies from adjacent halfplexes.
 - b. A minimum of 75 percent of all landscaping in the 25 foot front and street side setbacks shall consist of evergreen trees and shrubs planted on a minimum of four foot high undulating grass berms. ~~At least half of the trees in the 25 foot front and street side setback shall be 15 gallon pines to blend in well with street side landscaping of other apartments in the surrounding area.~~ The remaining landscaping shall be compatible with the Phase I development to the south.
6. The roofing material shall be a heavy butt composition shingle (with a life rating of 25 years or more) or equivalent material and subject to Planning Staff review and approval prior to issuance of building permits.
7. The sign package must be submitted for Staff review and approval prior to issuance of building permits.
8. The project shall follow the attached multiple family residential design criteria.
9. The plans for the lower porch fencing must be submitted to staff for review and approval prior to issuance of building permit. The fence must be painted with a weather proofing sealer.
10. A reciprocal access agreement between both property owners allowing use of pool and storage facilities to Phase I and II tenants shall be submitted prior to issuance of building permits.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. Adequate setbacks are provided, and a landscape buffer along the rear setback is provided; and
 - b. Adequate landscaping is provided.
2. The project will not be injurious to the public health, safety or welfare, or result in the creation of a nuisance in that:
 - a. The project is compatible with the residential character of the neighborhood;
 - b. The project is compatible with existing and approved densities in the area; and
 - c. Adequate on site parking is provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for low density multiple family uses by the 1976 South Pocket Community Plan and the proposed apartment use conforms with the plan designation.

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see amended plan

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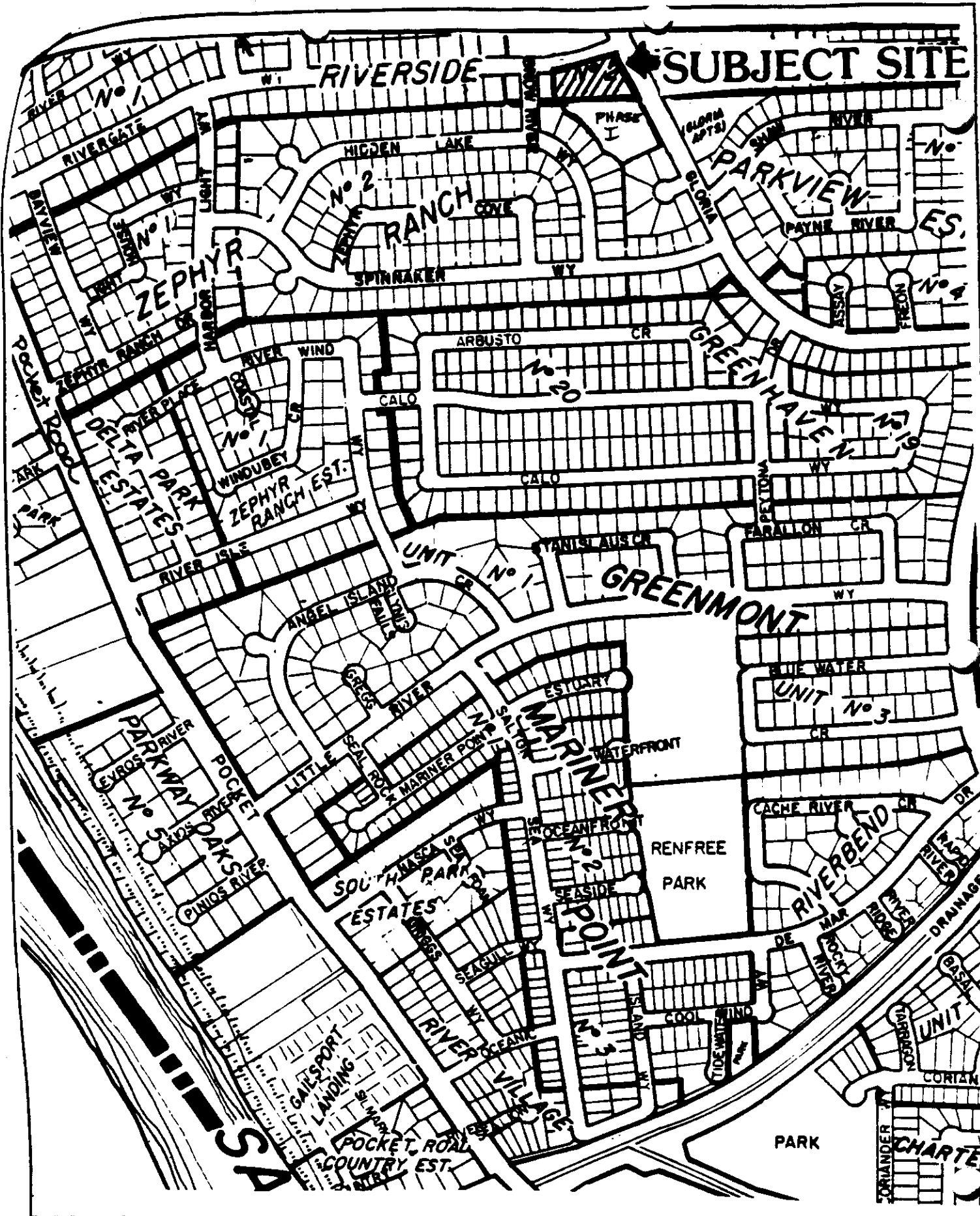
Conditions

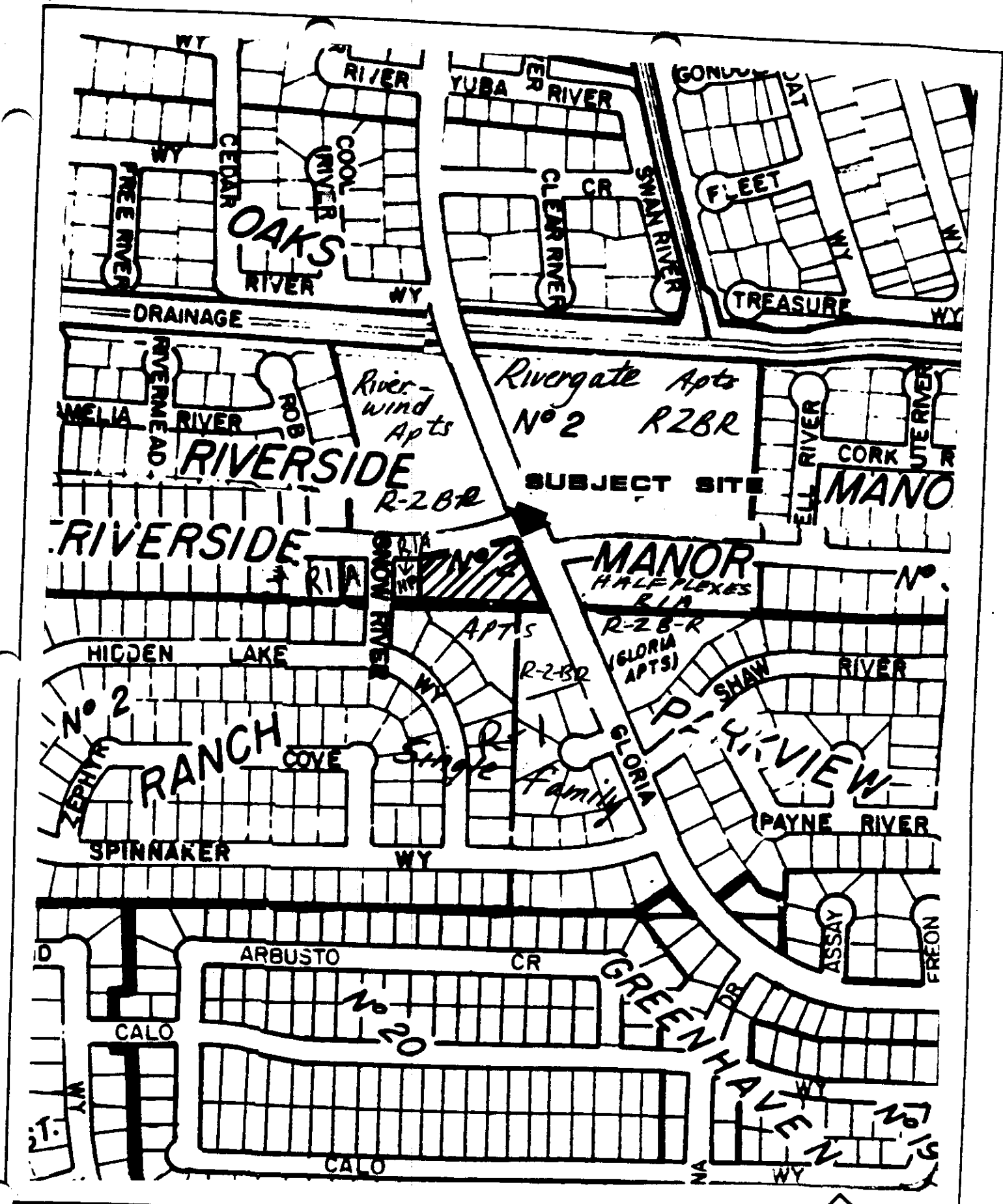
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LAND USE & ZONING MAP



P87-319

Aug. 13, 1987

Item

ARCHONICS
ARCHITECTURAL FIRM

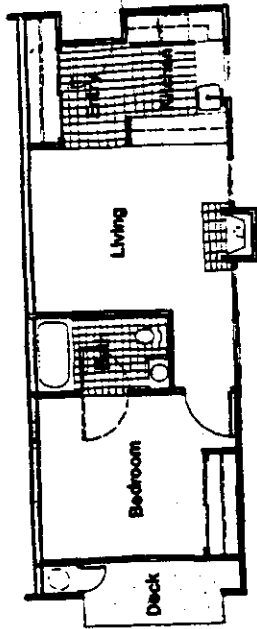
FOXEN PLACE
SACRAMENTO CALIFORNIA



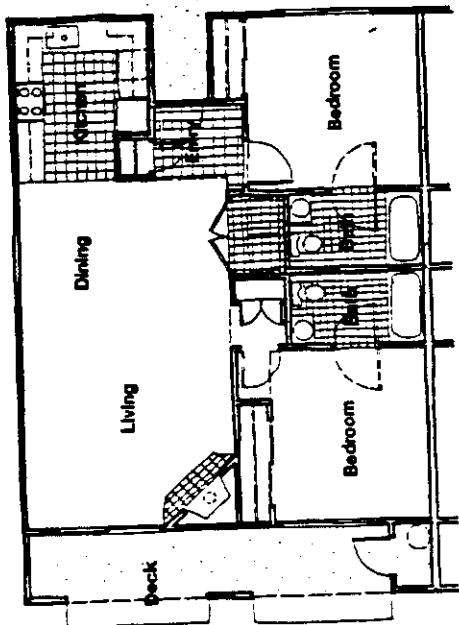
NO. OF SHEETS	1
SHEET NO.	1
DATE	7/10/67

EXHIBIT A

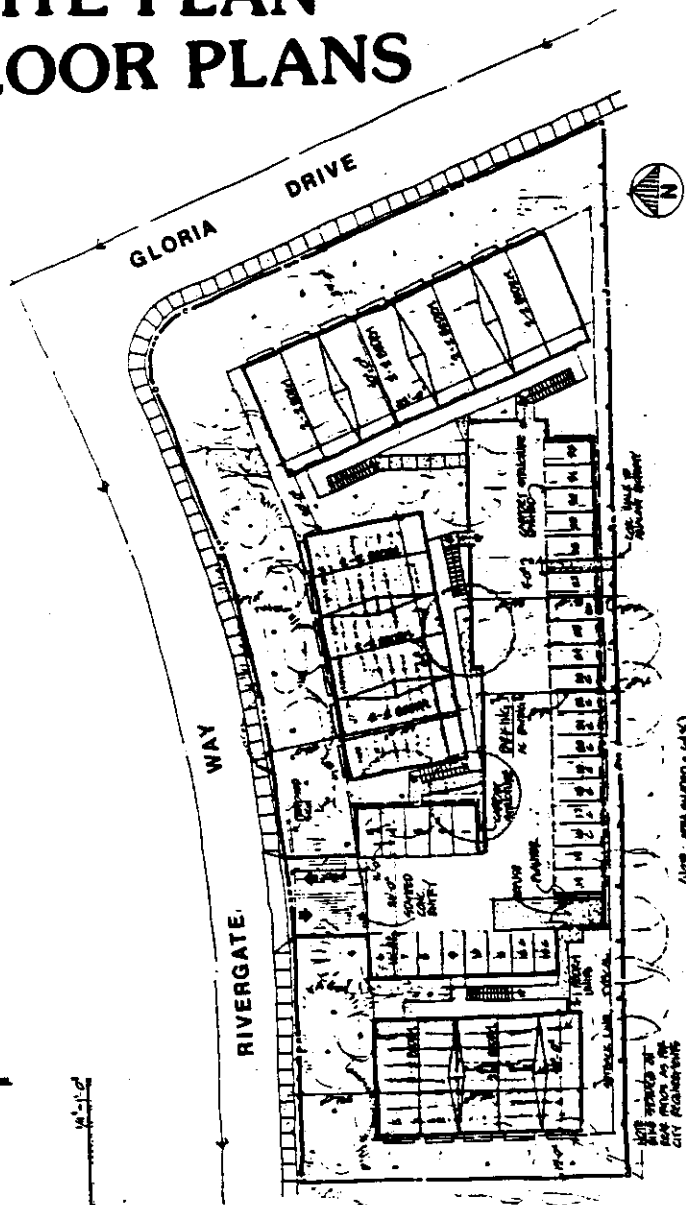
SITE PLAN FLOOR PLANS



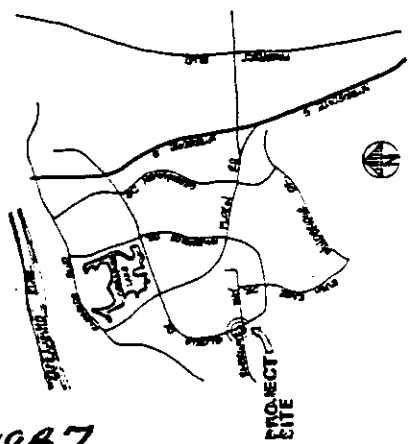
FLOOR PLAN - 1 090241



FLOOR PLAN - 2 090241



SITE PLAN



VICINITY MAP

P87-319

Aug. 13, 1967

Item 12

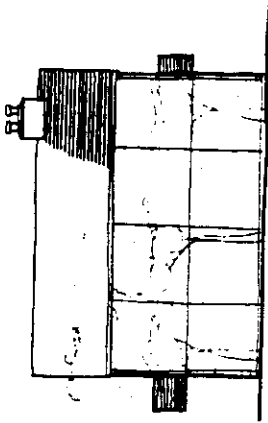


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7/10/87

SHEET

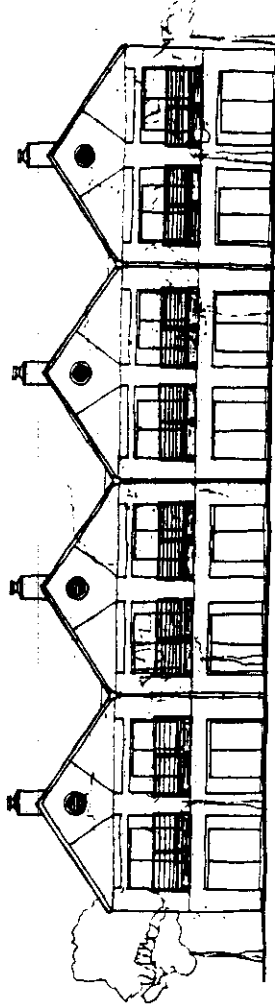
EXHIBIT B

ELEVATIONS

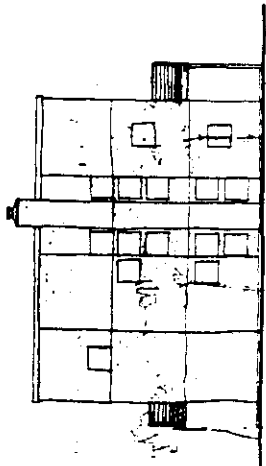
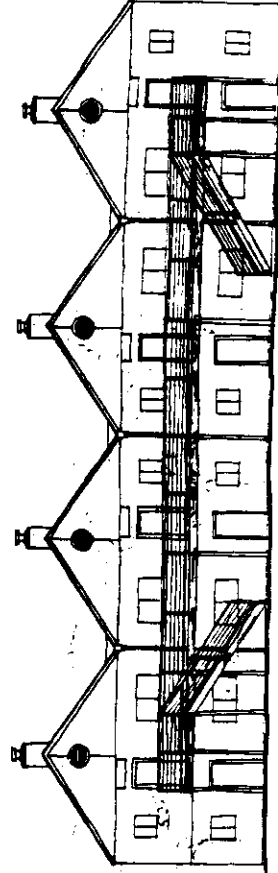


ELEVATION 2 SOUTH SIDE
1/8" = 1'-0"

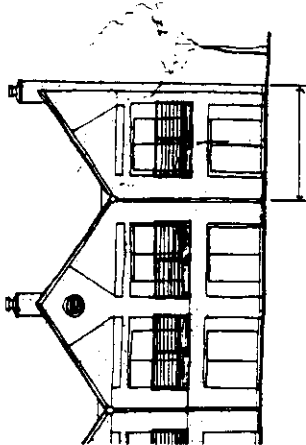
MATERIALS
CONCRETE - LIGHT GREY
2. BRICK - RED
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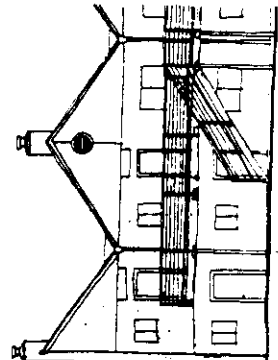
ELEVATION 1 NORTH SIDE
1/8" = 1'-0"



ELEVATION 3 SOUTH SIDE
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ELEVATION 4 NORTH SIDE
1/8" = 1'-0"



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EXHIBIT C



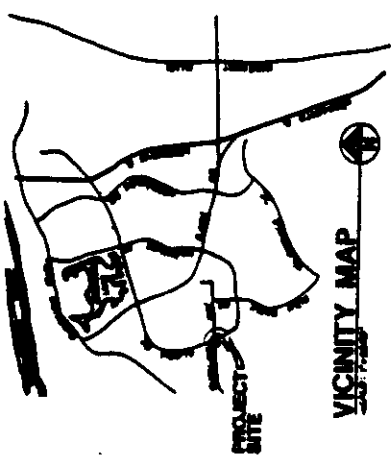
Detail of enclosed porches



EXHIBIT D

PHASE I SOUTH OF SITE

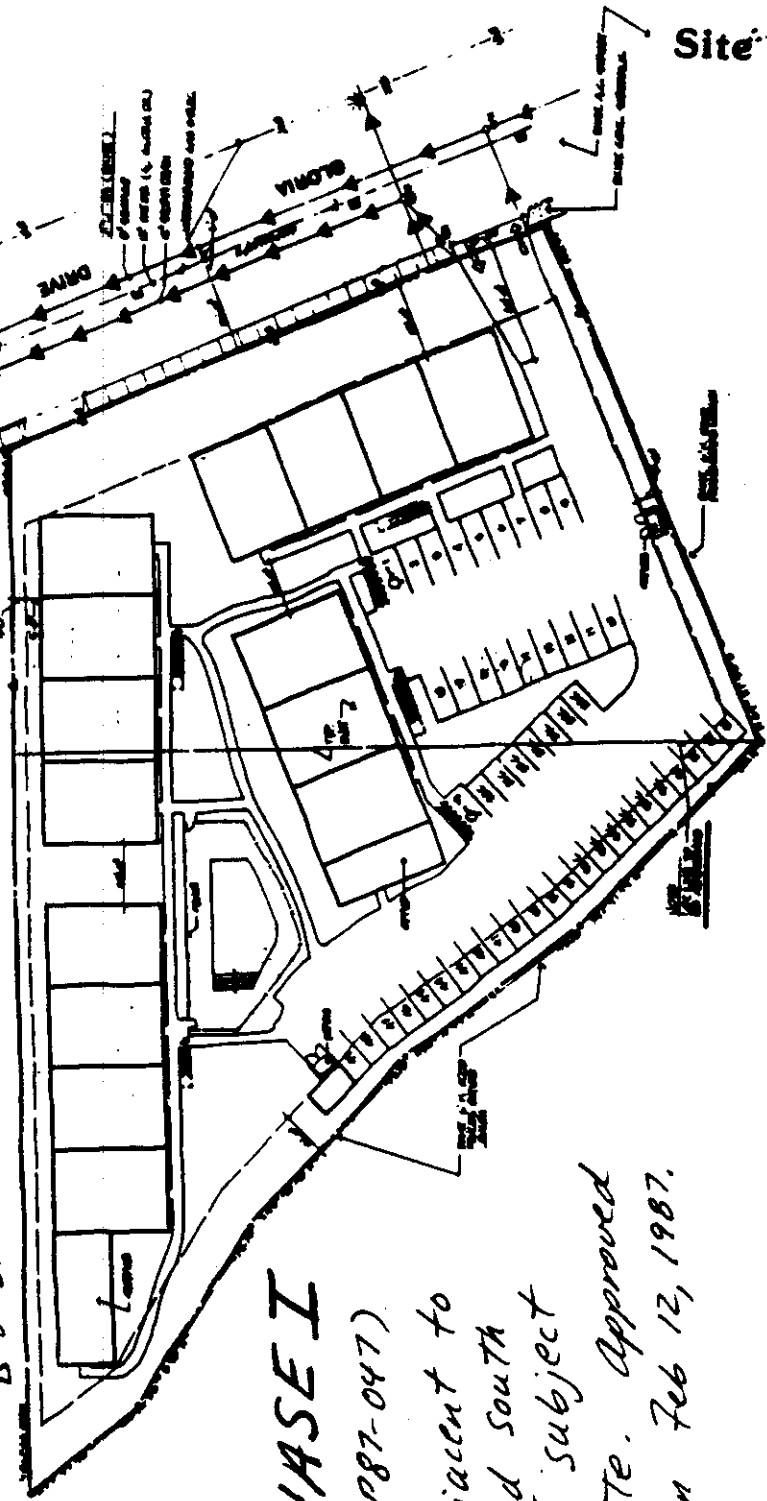
Site Plan



VICINITY MAP

PROJECT SITE

PHASE II SUBJECT SITE



PHASE I

(P87-047)

Adjacent to and south of subject

Site. Approved on Feb 12, 1987.

SITE PLAN

A. GENERAL BUILDING DESIGN AND ORIENTATION

1. Multi-family buildings adjacent to public streets shall be designed and oriented to minimize the likelihood of on-street parking by project residents. Examples of acceptable design and building orientation are:
 - minimize location of main entry doors of units facing the public street
 - orient ends of building toward public street
 - break up long buildings containing many units into smaller building clusters or incorporate a breezeway through midsection of a long building which provides closer access to off-street parking area for residents
 - locate off-street parking areas between the public street and building (off-street parking area to be located and screened behind bermed landscape setback area - Section B-4).
2. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
3. Buildings shall be designed and oriented to reduce overview of private backyards and patio areas of on-site and adjacent developments and windows from second story units.
4. Accessory structures shall be compatible in design and materials with main building.
5. Communal facilities shall be centrally located.
6. Recreational facilities shall be located and/or designed so as not to create a nuisance to surrounding units or to impact adjacent properties. Sufficient setbacks, landscaping and berming between recreation facilities and surrounding units shall be provided to minimize noise and visual conflicts.
7. Solar heating and cooling of units shall be achieved to the maximum extent possible.
8. Site planning shall take into account optimum solar orientation of structures.
9. Site planning shall minimize the incidences of one building shading another.
10. Private outdoor or garden areas shall be oriented to the south as much as possible.
11. Roofing materials shall be medium wood shake or shingle, or equivalent aluminum, concrete, tile, or other imitation shakes, subject to Planning Director approval.
12. The location of second story end unit windows shall be varied to provide variety in exterior unit detailing and designed in such a way as to reduce the incidence of overview into private first floor open space areas.

B. OFF STREET PARKING DESIGN CRITERIA

1. Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly) of which a minimum 1:1 shall be covered parking. Six foot decorative masonry walls are required on interior property lines between parking lot areas and existing or proposed residential development. The design and materials used for covered parking structures shall be compatible to the main building structures.
2. For the convenience of tenants and guests, and to encourage the use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.
3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Surface parking areas and carport roofing shall be screened from second story units by trees or lattice and trellis work.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
8. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
9. There shall be a ratio of at least one tree for every five parking spaces planted throughout or adjacent to open and covered parking areas. Rows of parking stalls, either open or covered, shall be broken up by a tree planting approximately every 10 spaces.
10. The parking stall depth shall be reduced by two feet.
 - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
 - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
11. The more efficient 90 degree parking arrangement shall be utilized when possible, so as to minimize parking lot size.
12. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

C. ON-SITE CIRCULATION

1. Minimum pedestrian/vehicle conflict should be sought in driveway/ walkway system design.

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2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors. An auto turnout lane shall be provided adjacent to directory map to eliminate blocking of driveway entrance.
3. Walkway location shall assure convenient access between parking and dwelling units.
4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface textures.
6. Walkway connections between buildings and street sidewalks are discouraged if they encourage on-street parking by residents.

D. BICYCLE STORAGE

1. One bicycle parking facility is required for every ten (10) off-street parking spaces required, excluding developments which provide individual enclosed garages.
2. Fifty percent (50%) of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.
3. Bicycle racks and lockers shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
 - a. Compatible with one another and with existing material on the adjacent site.
 - b. Complimentary to building design and architectural theme.
 - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
2. Landscape treatment shall include:
 - a. The major treatment for all setback areas shall be lawn and trees. At least 75% of the ground cover treatment within landscaped areas within the entire project shall be lawn. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
 - b. Larger specimens of shrubs and trees along the site periphery, particularly along setback areas adjacent to public streets.
 - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide

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adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.

- d. Consistency with energy conservation efforts.
 - e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
 - f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
 - g. Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.
 - h. For crime deterrent reasons, shrubs planted below first floor windows should be of a variety which has thorns and/or prickly leaves.
 - i. Large growing street trees (preferably deciduous) shall be planted within the landscape setback areas adjacent to all public streets as a means of reducing outdoor surface temperatures during summer months and to provide a visual buffer between the units and public street.
3. Landscaping of parking areas is discussed in Section B.

F. TRASH ENCLOSURES

1. The walls of the trash enclosure structure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main residential structures. Split face concrete block finish is recommended. Brick or tile veneer exterior finish should be avoided.
2. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
3. The trash enclosure facility shall be designed to allow walk-in access by tenants without having to open the main enclosure gates.
4. The walls shall be a minimum six feet in height, more if necessary for adequate screening.
5. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
6. A concrete apron shall be constructed either in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The

location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at point of dumpster pickup.

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10' or width of enclosure facility; length 20'. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technicians (Plan Checker).

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

7. The enclosures shall be adequate in capacity, number, and distribution.

G. SIGNAGE

All signage shall comply with the City Sign Ordinance, Section 3.61.

H. PERSONAL SAFETY DESIGN CRITERIA

Ordinance No. 84-056 relating to personal safety building code requirements has been adopted by the City Council on June 19, 1984. This ordinance applies to all residential building project including apartments and condominiums.

The building code requirements relate to: minimum outdoor lighting standards, addressing and project identification, door locking standards, etc.

A copy of this ordinance may be obtained from the City Building Inspections Division.