

CITY OF SACRAMENTO  
1231 I Street, Sacramento, CA 95814

Permit No: 0507403

Insp Area: 1  
Thos Bros: 297J6

Site Address: 5025 DOVER AV SAC  
Parcel No: 008-0162-006

Design Review conditions

Sub-Type: NSFR  
Housing (Y/N): N

CONTRACTOR  
JOE COLANGELO  
8771 DILLARD RD  
WILTON CA 95693

OWNER  
TZIKAS CONSTANTINE  
5025 DOVER AV  
SACRAMENTO, CA 95819

ARCHITECT

Nature of Work: 1484sf SFR W/ att 266sf Garage, 293sf Careport & 216sf balc/porch

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

X License Class B License Number 699228 Date 8/25/05 Contractor Signature Joe Colangelo

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

ISSUED  
CITY OF SACRAMENTO

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_  
Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

AUG 25 2005

DOWNTOWN PERMIT

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

X Date 8-25-05 Applicant/Agent Signature Joe Colangelo

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

X (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

X Date 8-25-05 Applicant Signature Joe Colangelo

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

**City of Sacramento  
Development Services Department  
PLANNING REVIEW FOR BUILDING PERMIT SUBMITTAL**

ADDRESS: 5025 DOVER AVENUE APN: 008-0162-006

DRPB AREA / PUD / SPD: Citywide Design Review ZONING: R-1

EXISTING LAND USE: SFR

PROPOSED USE: New SFR

PLANNING STAFF WILL CHECK ONE OR MORE OF THE ITEMS BELOW:

Planning review is NOT required.

Use is NOT allowed; applicant CANNOT submit for plan check.

Requires APPLICATION(S): PC ZA IR ER DR PB

Required Planning application must be approved before project can be submitted for plan check

Application(S) IN PROGRESS: File Number:

Application must be approved before project can be submitted for plan check.

Application(s) COMPLETED: File Number & approval date: ER05-108 approved 5/24/2005

Building permit must conform to approved plans and comply with all conditions of approval. Do NOT accept applications for a building permit prior to the end of the 10-day appeal period.

Plans may be submitted for plan check. Plan checker(s) shall confirm compliance with Zoning Ordinance requirements and all applicable development standards prior to issuance of building permit.

Meets setback & lot coverage requirements as shown on site plan provided.

Plans to be submitted have been stamped/signed by Planning counter staff.

Route to SITE for plan check and inspection.

Route to SITE for inspection only; plan check not required.

CONDITIONS AND COMMENTS:

Lot 3,360 sq ft. Proposed new SFR w/attached carport, porch, and garage=1,312 sq ft (1<sup>st</sup> floor) & 2,139 sq ft w/2<sup>nd</sup> story (approximately). The proposed structure is within the maximum 35 ft height allowed. The proposed courtyard would only be partially paved with stepping stones/pavers that would not exceed 68 sq ft total, the reason for this is so that the applicant does not exceed the maximum amount of paving within the front setback allowed for walkways and uncovered patios within this area. The applicant stated the area would be landscaped and only partially paved. The proposed project must comply with all standards checked off in the Citywide design review application/checklist, as well as any stamps/notations that are attached to the approved plans. Any changes to the approved plans/application shall result in additional review being required from the Design Review & Planning staff, as well as entitlements/fees possibly being required.

Applicant adds a staircase to the back of the structure per the request from plan checker. New staircase does not encroach to the rear setback area. Existing lot coverage is 1312/3360 = 39%. New staircase does not count in lot coverage because it is uncovered. No cover can be added to the staircase; otherwise, the proposed lot coverage will exceed the maximum 40% lot coverage requirement. No other planning entitlement appear.

DATE: May 24, 2005 / July 28, 2005

BY: Darryl Wheeler / Elise Gumm

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**CITY OF SACRAMENTO  
BUILDING INSPECTION  
DIVISION**

**PERMIT OFFICES**  
Downtown (916) 264-7619  
1231 I St., Rm. 200, Sacramento 95814  
Natomas Center (916) 808-2534  
2101 ARENA BL., Sacramento 95834  
<http://www.sacto.org>

**RESIDENTIAL PLAN REVIEW  
2001 CBC Adopted Codes  
Effective November 1<sup>st</sup>, 2002**

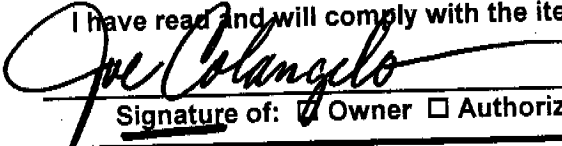
**PROJECT ADDRESS  
& DESCRIPTION**

**5025 DOVER AV. NEW SFR W/ ATT. GARAGE**

**PERMIT**

**NO: 0507403**

These sheets, when attached to a set of plans, become part of those plans and must remain attached thereto. The approval of this plan and the specifications shall not be held to permit or approve the violation of any City ordinance or State or Federal law. (Note: Authorized agent must provide a letter from Owner verifying Authorization.) (The code requirements circled do not limit the code requirements for this project.)

I have read and will comply with the items in this document and as marked on the plans.  
  
Signature of:  Owner  Authorized Agent  Contractor  Architect/Engineer  
Date 7-27-05

**BUILDING CODE REQUIREMENTS**

- B-1 Smoke detector location within dwelling units.** In dwelling units, a detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. When the dwelling unit has more than one story and in dwellings with basements, a detector shall be installed on each story and in the basement. In dwelling units where a story or basement is split into two or more levels, the smoke detector shall be installed on the upper level except that, when the lower level contains a sleeping area, a detector shall be installed on each level. When sleeping rooms are on an upper level, the detector shall be placed at the ceiling of the upper level in close proximity to the stairway. In dwelling units where the ceiling height of a room open to the hallway serving the bedrooms exceeds that of the hallway by 24 inches (610 mm) or more, smoke detectors shall be installed in the hallway and in the adjacent room. Detectors shall sound an alarm audible in all sleeping areas of the dwelling unit in which they are located. In new construction, required smoke detectors shall receive their primary power from a commercial source and have a battery back up. 2001 CBC, Section 310.9.1.
- B-2** When alteration, repairs, or additions having a value in excess of \$1,000 are made, provide an approved smoke detector to protect existing sleeping rooms. The detector may be battery operated as per 2001 CBC, Section 310.9.1.2.  
**Exception:** Repairs to the exterior surfaces of a Group R occupancy are exempt from the requirements of this section.
- B-3 Emergency escape and rescue.** Basements in dwelling units and every sleeping room below the fourth story shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public way, yard, or exit court. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet / 821 SQ. inches. The minimum net clear openable height dimension shall be 24 inches. The minimum net clear openable width dimension shall be 20 inches. Emergency escape or rescue windows shall have a finished sill height not more than 44 inches above the floor. 2001 CBC, Section 310.4.
- B-4 All Group U occupancies attached to Group R, Division 3 occupancies shall be separated by materials approved for one-hour fire-resistive construction.** The separation may be limited to the garage side only and requires a self-closing, tight fitting solid wood door 1 3/8 inches in thickness or a self-closing, tight fitting door having a fire protection rating of not less than 20 minutes. CBC, Section 302.4, Exception 3. **Note:** All members supporting such separation shall be equivalent fire-resistive construction as per 2001 UBC, Section 302. All electrical outlet boxes on opposite sides of the wall shall be separated by a horizontal distance on not less than 24 inches per 2001 CBC 709.7, Exception 1

BID0001 rev. 8/20/04

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PLAN REVIEW CORRECTIONS LETTER

PC# 0507403

Home Owner; Constantine Tzikas

Contractor of Record; Joe Colangelo

July 25, 2005

Comment response

1. Documents enclosed.
2. This document is also attached.
- ③ Documents enclosed
4. Please note the revision 4 plans contain a rear stair from the back yard up to the second floor.
5. Please note that note 16 on sheet A-2 has been corrected.
6. Please note that A-2 and A-3 has been modified to reflect the ceiling heights for each floor.
7. Please note that note 10 on sheet A-2 has been correct to read 4x10.
8. Sheet A-2 has been modified to call out tempered glass required in window next to door.
9. See engineer's comments document regarding this issue.
10. See engineer's comments document regarding this issue.
11. Sheet A-3 has been changed to reflect the size of the skylights.
12. Sheet A-3 contains the tempered glass requirement.

*Robertson Engineering*

9940 Business Park Dr., Suite # 130, Sacramento, CA 95827 Phone: (916) 363-7021 Fax: (916) 363-7027

July 26, 2005

Building Department  
City of Sacramento

Re:  
Cooney/Tzikas Residence  
5025 Dover Ave.  
Sacramento, CA  
Job# 24584

Dear Sir or Madam:

The following is in response to your plan check dated 06/15/05. (PC #: 0507403) (Structural Only):

Item #:

13. The SSTB20 anchor callout at the HPAHD22 Strap has been deleted from Sheet A-4.
14. Footing size has been specified on the foundation plan sheet (Sheet A-4).
15. The type of epoxy used for missing anchor bolts should be SET. This has been added to the



Downtown Permit Center  
1231 I Street, Suite 200  
Sacramento, CA 95814  
Help Line: 1-916-264-5656

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES DEPARTMENT  
BUILDING DIVISION  
[www.cityofsacramento.org](http://www.cityofsacramento.org)

North Permit Center  
2101 Arena Blvd., Suite 200  
Sacramento, CA 95834  
Inspection: 1-916-808-4677

## SITE DRAINAGE AND ENCROACHMENT QUESTIONNAIRE

PARCEL # 008 - 0162 - 006 PERMIT # 0507403  
SITE ADDRESS 5025 DOVER AV. ACREAGE —

The City of Sacramento requires a building site to be graded to drain correctly and site drainage routed to an approved location. To help us understand the site drainage for your project and determine if a driveway permit or an encroachment permit is required please answer the following questions. All questions must be answered.

- |  |              |                   |
|--|--------------|-------------------|
| 1. Are there existing structures on the site?                                      | Y            | N                 |
| 2. Is there an existing concrete or paved driveway to this parcel from the street? | <del>Y</del> | <del>N</del>      |
| 3. Will the existing access to this parcel be changed in any way for this project? | *Y           | N                 |
| 4. Are all portions of the lot higher than the crown of the street?                | Y            | *N                |
| 5. Are all portions of the lot higher than the back of the sidewalk?               | Y            | *N                |
| 6. Is there a curb and gutter at the street level?                                 | *Y           | N                 |
| 7. Is there a sidewalk with a curb and gutter at the street?                       | *Y           | N                 |
| 8. Is the curb at the street square?   | *Y           | N <del>N/A</del>  |
| 9. Is there a rolled curb at the street?   | Y            | N <del>N/A</del>  |
| 10. Is there a drainage ditch or culvert at the street?                            | Y            | *N <del>N/A</del> |
| 11. Does the lot drain from back to front?   | <del>Y</del> | *N                |
| 12. Does the lot drain from front to rear?   | Y            | N                 |
| 13. Does another lot drain across this parcel?                                     | *Y           | N                 |
| 14. Does the lot drain from side to side?  | *Y           | N                 |
| 15. Does the site have an existing low area or drainage swale?                     | *Y           | N                 |
| 16. Does the drainage swale drain to an adjacent parcel?                           | *Y           | N <del>N/A</del>  |
| 17. Does the drainage swale drain to the street?                                   | Y            | *N <del>N/A</del> |
| 18. Will existing drainage be re-routed?   | *Y           | N                 |
| 19. Will drainage ditches or culverts be constructed or modified?                  | *Y           | N                 |
| 20. Did this project require approval from the Zoning Administrator?               | Y            | N                 |
| 21. Did the project require approval from the Planning Administrator?              | Y            | N                 |

OK PER G. Wilson

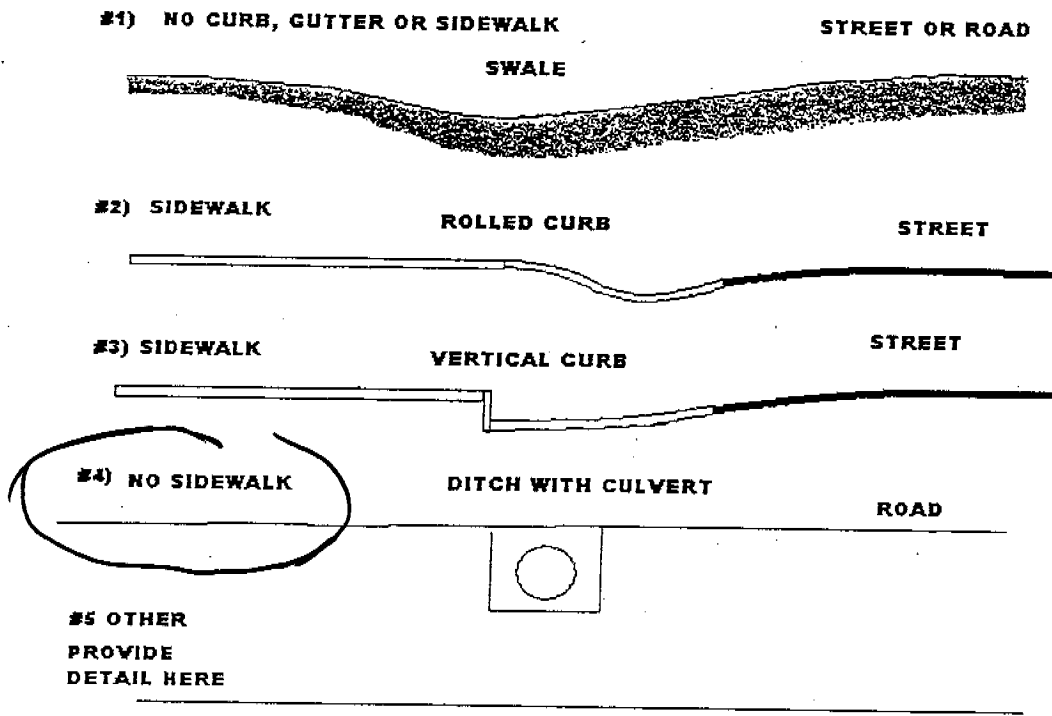
P.W. Approval needed

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# SITE DRAINAGE AND ENCROACHMENT QUESTIONNAIRE

- |   |    |   |
|---|----|---|
| 22. Is there any tree, telephone pole, guy wire or similar obstruction located at the front of the property adjacent to the street or road? | *Y | <input checked="" type="radio"/> N      |
| 23. Is this a corner lot?   | *Y | <input checked="" type="radio"/> N      |
| 24. Is the posted speed limit on this street greater than 25 MPH?   | *Y | <input checked="" type="radio"/> N      |
| 25. Is this parcel located on a four-lane street?   | *Y | <input checked="" type="radio"/> N      |
| 26. If site is greater than 1/2 acre has an erosion and sediment control plan been submitted?   | Y  | *N <input checked="" type="radio"/> N/A |
| 27. If site disturbs 1 acre or more has a copy of the State General Permit NOI and SWPPP been submitted?                                    | Y  | *N <input checked="" type="radio"/> N/A |
| 28. If site is part of a larger subdivision greater than 1 acre has a copy of the State General Permit NOI and SWPPP been submitted?        | Y  | *N <input checked="" type="radio"/> N/A |

**CIRCLE THE DRAWING NUMBER BELOW THAT BEST ILLUSTRATES THE EXISTING CONDITION AT THE LOCATION OF THE PROPOSED DRIVEWAY OR SITE ACCESS.**



The information provided on this document is accurate. I understand that if this form is incomplete, contains inaccurate or misleading information, the project located at this address may be delayed until any drainage or encroachment issues are resolved to the satisfaction of the City of Sacramento.

SIGNED *Joe Colangelo*      DATE 7-27-05  
 TITLE CONTRACTOR  
 PHONE NO (916) 686-2005 = OFFICE      (916) 531-6901 = CELL



PLANNING AND  
BUILDING DEPARTMENT

CITY OF SACRAMENTO  
CALIFORNIA

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

PLANNING  
916-264-5381  
FAX 916-264-5543

City of Sacramento  
Planning Department  
1231 I Street, Suite 200  
Sacramento, CA 95814

5-24, 2005

TO: Applicant

SUBJECT: Application Submittal

REC'D MAY 23 2005

Dear Applicant:

You are submitting your application at a time that it cannot be personally reviewed with you to ensure all submittal requirements are met. You are leaving the application with the understanding that any missing items will need to be personally brought to our office or the entire package picked up in order to complete the submittal requirements. Planning staff will review the application submittal for compliance with submittal requirements and will contact you within three business days regarding the status of the submittal. If any items are missing, you will have one week from notification to complete the application or the entire package will be mailed back to you. The application is not considered accepted by the City until all application submittal requirements are met as determined by Planning staff.

I acknowledge the City of Sacramento's Planning & Building Department's policy regarding the drop off of an application during a period where no Planning staff is able to review it for submittal compliance.

*Joe Colangelo*

Signature

JOE COLANGELO

Printed Name

(916) 531-6901

Phone Number

9442 SAN PAULO Cir. ELK GROVE, CA 95624

Complete Mailing Address

3 December 2002

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**CITY OF SACRAMENTO**  
**PLANNING & BUILDING DEPARTMENT**  
**BUILDING DIVISION**  
[www.cityofsacramento.org](http://www.cityofsacramento.org)

**2 INSPECTION PERMIT**

Approval by the following City Departments **must be obtained prior to the issuance** of wrecking permit by the Building & Planning Department. Design Review approval required on all wrecking permits in Central City or Alhambra Blvd. Corridor prior to sewer disconnect permit being issued.

Address: 5025 DOVER AVE. SACTO 95819

Owner: COSTA TZIKAS

APN 008-0162-006

* Design Review/Planning 1231 I Street, Room 200 (916) 808-5656- Helpline Selection 3 X: <i>Euan Supton</i>	See ROS-183 and EROS-108 Housing & Dangerous Buildings 1231 I Street, Room 200 (916) 808-5404 X:
* Dept of Utilities (All) 1395 35 <sup>th</sup> Ave (916) 808-5371 X:	* Fire Department (All) 5770 Freeport Blvd, Suite 200 433-1692 X: <i>J. Beton</i>
Traffic Engineer (Commercial) 1000 I Street, Suite 170 (916) 808-5307 X:	A borist/Tree Service (Downtown & Commercial Bldgs.) Call for Appointment 5730 24 <sup>th</sup> Street (916) 433 6345 X:

1. Route to Planning and Fire 808-1300
2. Sewer Disconnect after calling 808-5371 Kill Tap Bring Permit (signed off by Plumbing Inspector) back to the Building Dept. to apply for a Wrecking Permit.  
\*Unless City Awarded Contract
3. Commercial buildings are required to have an Asbestos Form and are not to be issued before Air Quality Date is on the Asbestos Form (bottom right corner).





CITY OF SACRAMENTO  
PLANNING & BUILDING DEPARTMENT  
BUILDING DIVISION

DOWNTOWN PERMIT CENTER  
1231 I Street, Suite 200, Sacramento, CA 95814

DEMOLITION PERMIT NOTIFICATION

BUILDING INSPECTOR  
916-264-5716  
PERMIT SERVICES  
916-264-7619  
FAX 916-264-7046

WRECKING PERMIT # 0507399

A Demolition Permit for a 1 story building at:

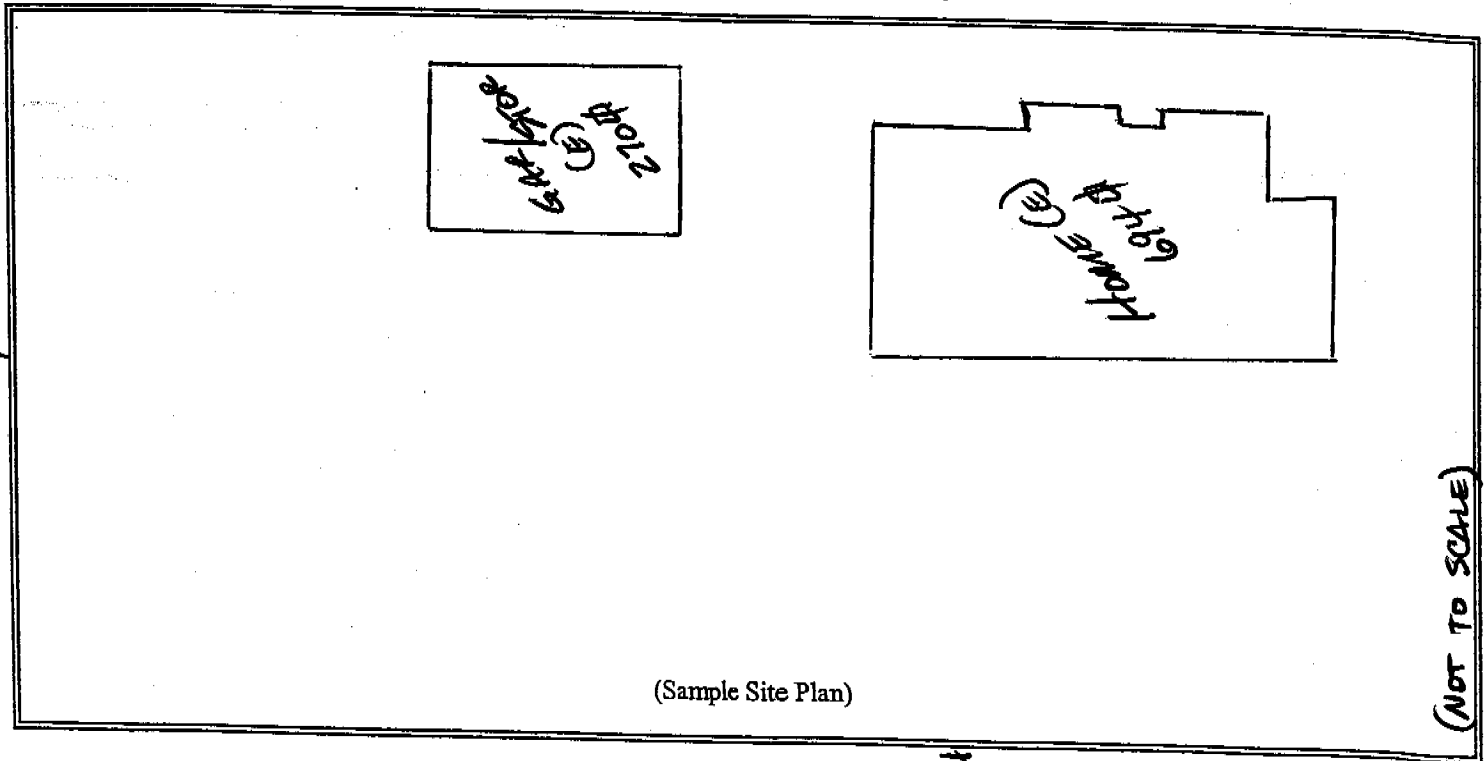
5025 DOVER AVE. SACRAMENTO, CA. 95819  
(Address)

Parcel No. 008-0162-006 has been issued on 5-25-05  
(Date)

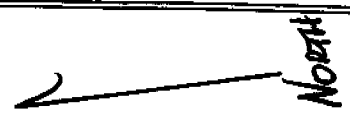
The structure is scheduled for demolition within 30 days.

Please update your service and billing records accordingly.

84



- cc: P.G. & E (Terry Clark)
- SMUD
- SOLID WASTE (3141)
- UTILITIES (3350)
- UTILBILLING (1125)
- FIRE DEPT. (2510)



DEVELOPMENT SERVICES  
DIVISION

916-264-7619  
FAX 916-264-7046

# APPLICATION FOR WRECKING PERMIT

### LOCATION

ADDRESS: 5025 DOVER AVE. SACRAMENTO, CA 95819

LOT: \_\_\_\_\_ TRACT: \_\_\_\_\_

LOT DEPTH: 84' LOT WIDTH: 40' CORNER LOT: No INTERIOR LOT YES

OWNER: COSTA TRIKAS

ADDRESS: 5025 DOVER AVE. SACRAMENTO, CA. 95819

### BUILDING DATA

LENGTH: 37 1/2 WIDTH 18 1/2 FIRST FLOOR AREA 694 sq ft + 270 sq ft GAR/STORAGE SHED (SQ.FT.) NO. STORIES 1

USE OF BUILDING: RESIDENCE/SHED CONSTRUCTION TYPE WOOD FRAME HEIGHT 13'

# OF UNITS 1 REAR YARD 15' SIDE YARD 5' SET BACK 7'

CITY SEWER YES WATER YES SEPTIC -0- WELL -0-

### CONTRACTOR

NAME: P & P WRECKING, INC. STATE LICENSE NO. 271787

ADDRESS: 8589 FLORIN RD. SACRAMENTO, CA. 95828

PHONE: (916) 383-6198 FAX: (916) 383-8206

LIABILITY INSURANCE P.L. \_\_\_\_\_ P.D. \_\_\_\_\_ POLICY ON FILE YES

### CODE REQUIREMENTS

NOTIFICATION OF ADJACENT PROPERTY OWNERS \_\_\_\_\_ DATE: \_\_\_\_\_

COPY OF NOTIFICATION ON FILE: \_\_\_\_\_ USE OF PROPERTY REQUIRED: \_\_\_\_\_

PEDESTRIAN PROTECTION REQUIRED: \_\_\_\_\_ REQUIREMENTS ATTACHED \_\_\_\_\_

BASEMENTS OR OTHER EXCAVATIONS ON LOT: \_\_\_\_\_ TO BE FILLED \_\_\_\_\_ FENCED \_\_\_\_\_

PREPARE PLOT PLAN SHOWING LOCATION OF BUILDING ON LOT AND TYPE AND LOCATION OF BUILDING BARRICADE.

### SPECIAL CONDITIONS:

*I have read the above application and know the contents thereof; the same is true and correct. I further state that I am familiar with the laws governing the demolition of buildings within the City of Sacramento and the State of California and that the above structure will be razed in conformity therewith. I further state that I understand that this permit may be revoked for any violation of the provisions of the Code of the City of Sacramento pertaining to or affected by the demolition procedure to be used on the above building.*

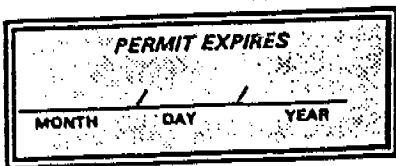
No. W \_\_\_\_\_

DATE: \_\_\_\_\_

FEE: \_\_\_\_\_

APPLICANT: J. Colangelo

TITLE: CONTRACTOR (CONST.)  
(APPLICANT/OWNER)



✓ THIS IS A REVOCABLE PERMIT

DEPARTMENT OF  
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO  
CALIFORNIA

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

BUILDING INSPECTIONS  
916-264-3716  
Permit Services  
916-264-7610  
FAX 916-264-7046

AGREEMENT TO HOLD CITY HARMLESS FROM LIABILITY  
BY REASON OF DEMOLITION OF BUILDING

DATED: 5-24 19 2005

KNOW ALL MEN BY THESE PRESENT:

The undersigned owner of the premises at 5025 DOVERDAVE SACRAMENTO CA 95819  
pursuant to provisions of the City code, hereby agrees as follows:

1. That the building to be demolished consists of a single story building, garage, and other supplemental buildings to be demolished by owner with personnel employed by him.
2. That the structure to be demolished will be so torn down so as to complete all operations within the normal setback area from the property line.
3. That in accordance with provisions of sub-section (3) of Section 913 - 4408 of the City Building Code, the undersigned shall comply with the following:

"The permittees shall take all necessary precautions to adequately protect adjacent property and its occupants. Said permittee shall, at least ten (10) days before said demolition of a building or structure begins, notify, in writing, each property owner, tenant, or occupant on either or both sides of the time when said work will commence."

4. That in consideration of waiver of insurance as allowed in an opinion written by the City Attorney dated March 31, 1964 (City Code Section 913 - 4401) setting forth the conditions under which a waiver could be allowed, the undersigned owner hereby agrees to hold the City of Sacramento, a municipal corporation, its officers and employees, harmless from liability, suits, actions, claims and damages of every kind and description to which the City or its officers or employees may be subjected by reason of negligent

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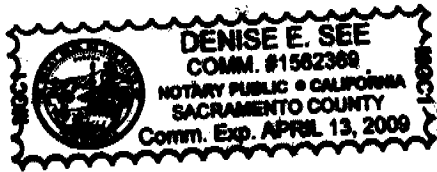
injury to persons or property arising out of the granting of permission by the City to the undersigned to demolish the building and salvage the materials from the premises above named.

IN WITNESS THEREOF, the undersigned has fully read this Agreement and executed this Agreement the day and year first above written.

*[Handwritten Signature]*  
Owner

5015 DOVER AVE  
SACRAMENTO CA 95819 Address

Subscribed and sworn to before me this 24 day of May  
19 2005



*[Handwritten Signature: Denise E. See]*  
Notary Public in and for the County of  
Sacramento, State of California

MINIMUM DESIGN STANDARDS FOR NEW CONSTRUCTION  
OF SINGLE AND TWO FAMILY DWELLINGS  
CITY OF SACRAMENTO  
STAFF REVIEW APPLICATION PACKET  
1 and 2 Family Residential Construction  
FORM A

Please complete the following application for staff level review of 1 and 2 family projects subject to the Citywide Residential Design Standards. The action of staff is ministerial. The application must comply with the Minimum Standards to be approved.

Project Address: 5025 DOVER AVE 95819

Assessor's Parcel Number: 008-0162-006

Applicant Name: COSTA TZIKAS & KIMBER COONEY

Mailing Address: 5025 DOVER AVE 95819

Phone number: 916-524-7161

Owner Name: SAME AS ABOVE.

Mailing Address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Parcel Dimensions: 40' x 80'

Parcel Zoning: R-1 Existing Use: RESIDENCE (SFR)

No. of units: 1 No. of stories: 1 Square footage of unit(s): \_\_\_\_\_

Statement Of Work Proposed: NEW CONSTRUCTION - HOME (SFR)

Design Review Number: EROS-108 Date Received Stamp: 5/24/2005

\* JOE COLANGELO (CELL# 531-6901)

CITY COPY

# NEW CONSTRUCTION

## MINIMUM DESIGN STANDARDS FOR NEW CONSTRUCTION OF SINGLE AND TWO FAMILY DWELLINGS 1 and 2 Family Residential Construction FORM B

### I. Site Design Standards

**A. Front Yard Setbacks:** Proposed buildings shall be placed on the site to generally align with adjacent and surrounding structures. Provide photos and drawings to indicate compliance.

**Check one:**

- 1. Front yard setback is the average of the two adjacent structures.
- 2. Front yard setback does not vary more than 5'-0" from adjacent and surrounding structures. Required setback and allowable lot coverage provided per the Zoning Ordinance.
- 3. No adjacent structures exist, meets Zoning Ordinance requirements for front yard setback.

**B. Landscaping (Required):** Front yard and corner lot street side yard landscaping shall be provided.

- 1. Front and street side yard landscaping provided including: shade tree(s), lawn, and automatic sprinkler system for irrigation.

Note: Drought tolerant and thematic plantings are encouraged

**C. Fencing:** New fencing proposed shall meet the following minimum standards. Existing fencing proposed to remain shall be repaired as needed.

**Interior side yard/rear yard fencing (no setback required)**

**Check one:**

- 1. Wood fencing provided.
- 2. Standard chain link fencing provided (dark green vinyl coating recommended).
- 3. Painted or split face concrete block, brick, or plaster finished wall provided.

**Street side yard fencing on corner lots (minimum 5'-0" setback required; less than 3 ft. height, no setback required.)**

**Check one:**

- N/A  1. Wood fencing provided.
- 2. Chain link with vinyl coating (green color recommended) with vines provided.
- 3. Painted ornamental steel (wrought iron) fence provided.
- 4. Painted or split face concrete block, brick, or plaster finished wall provided (max. 6'-0" high except at front yard setback shall be max. 3'-0' high").

**Front yard fencing (Shall be 3'-0" high or less if within front setback.)**

**Check one:**

- 1. No front yard fencing proposed.
- 2. Painted wood picket or split-rail fence (max. 3'-0" high) provided.
- 3. Chain link with green vinyl coating (max. 3'-0" high) with vines provided.
- 4. Painted ornamental steel (wrought iron) fence (max. 6'-0" high) provided.
- 5. Painted or split face concrete block, brick, or plaster finished wall provided (max. ~~6'-0"~~ high"). **FENCE IN FRONT** under 4'

## II. Building Design Standards

**A. Building Height/Roof Forms and Pitch:** Roof forms such as gabled or hipped roofs, shall be similar to adjacent and surrounding structures. A minimum of 5 in 12 roof pitch is required unless a majority of adjacent and surrounding roof pitches are lower, in which case the predominant roof pitch, or greater, shall be incorporated in the new structure. **Provide photos and drawings to indicate compliance.**

**Check one:**

- 1. Roof forms and pitches are similar to adjacent and surrounding structures.
- 2. 5 in 12 pitch, or greater, provided.

**B. Street Facade:** The "front" of the structure and the entry shall face the street. Windows and a decorative front door shall be provided. The entry area and windows shall be fully visible from street view.

**The following are required and must all be checked for compliance:**

- NOTE!*
- 1. Entry area and "front" of structure shall be fully visible from the street.
  - 2. Windows provided facing the street.
  - 3. Decorative front door provided.

**C. Front Porch/Decorative Entry Element:** A useable front porch (min. 5'-0" square) with decorative posts and railing shall be provided or a decorative entry element consisting of a concrete "stoop" (min. 4'-0" square) with decorative columns and a decorative roof cover.

**Check one:**

- 1. Front porch with decorative posts and railing provided (5'-0" square min. depth).
- 2. Decorative entry element with concrete stoop (min. 4'-0" square), decorative columns and decorative roof cover provided.

**D. Garages:** Garages (where provided) shall be flush or recessed back from the face of the primary structure (excluding porch). Garages shall not exceed 50% of the length of the street facing building facade on lots 52 feet or greater in width. On lots less than 52 feet wide, garages may be up to 60% of the street facing building facade. The garage shall match the design of the primary structure.

**Check one:**

- 1. Attached garage (flush or recessed back from the face of the primary structure) provided.
- 2. Side entry garage with decorative window in side facade provided visible from street view provided.
- 3. Detached garage matching the main structure design provided.
- 4. No garage provided. Parking pad provided behind front setback.
- 5. Garage design is not flush or recessed, but constitutes less than one third of models in a subdivision with three or more models and one of the following design features is provided: courtyard, living area over garage, front porch with an area greater than 36 square feet.
- 6. Garage design is not flush or recessed, but constitutes less than 10% of the total units constructed in a subdivision with six or more models provided.

**Note:** Minimal driveway widths are encouraged.

Flush is defined as garage location within five feet (forward or back) from the face of the primary structure.

**E. Accessory Structures:** All new attached or detached accessory structures such as storage sheds, workshops, etc., as defined by the Zoning Ordinance, shall match materials and design of existing primary structures on the property.

- N/A*
- 1. Attached/detached accessory structure visible from street view matches material and design of existing primary structures on the property.

**F. Exterior Materials:** Exterior materials shall be of highest quality found on adjacent and surrounding structures, be durable and shall compliment and improve the aesthetics of the surrounding area. Materials shall be consistent on all street facades and shall wrap a minimum of 2'-0" around facades not facing the street.

**Siding**

**Check one:**

- 1. Horizontal siding provided (wood, composite, or cementitious).
- 2. Wood shingle or shake siding provided.
- 3. Plaster (stucco) siding and door/window trim provided.
- 4. Brick as main facade material provided.
- 5. Grooved, textured plywood siding (1/2" or thicker) with vertical and horizontal trim (2" X 6" min. around doors and windows) and a brick wainscot provided. If untextured plywood with no grooves is proposed, 1X battens at a min. of 12" on center shall be provided to create a board and batten appearance.
- 6. Vinyl siding with dimensional trim at doors and windows provided.
- 7. Metal siding, simulating materials listed above, with dimensional trim at doors and windows provided.

**Roofing**

**Check one:**

- 1. Laminated dimensional composition shingles (30yr. min.) with heavy ridge caps provided.
- 2. Concrete or tile roofing provided.
- 3. Wood shake or shingle roofing provided.
- 4. Metal dimensional roofing (that simulates above listed materials)

**Gutters/Downspouts (Required if matches existing)**

- 1. Painted or prefinished gutters/downspouts shall be provided.

**G. Doors/Windows:** Decorative door and window types and trim styles shall be provided to compliment the building design. Decorative windows shall be provided at street facing facades. Decorative trim shall be provided on windows on facades facing active use areas such as parks, schools and other active public spaces. Windows not visible from street view may be of simpler design and trim. All windows shall have integral paint color or shall be wood paint grade.

**Entry doors**

- 1. Exterior doors with raised panel or other decorative design and decorative trim are provided.

**Garage doors**

**Check one:**

- 1. Decorative sectional garage door with raised panel or other decorative design and decorative trim provided.
- 2. Alternative garage door that provides raised panel or other decorative design provided.

**Windows**

**Check one:**

- 1. Double or single hung windows with decorative trim/sill provided.
- 2. Horizontal sliding windows with grids and decorative trim/sill provided.
- 3. Horizontal sliding windows with wide frames and decorative trim, no grids, and with decorative shutters and/or decorative plant shelf provided.

**H. Mechanical Equipment:** Mechanical equipment shall not be placed on the roof where it may be visible from any street view.

**Check one:**

- 1. Mechanical equipment shall be attic and/or ground mounted with screening.
- 2. Mechanical equipment shall be roof mounted where not visible from any street views and a diagram indicating compliance provided.

SHOULD  
NOTE  
ON PLAN →



# Robertson Engineering

9940 Business Park Dr., Suite # 130, Sacramento, CA 95827 Phone: (916) 363-7021 Fax: (916) 363-7027

November 14, 2005

City of Sacramento  
Building Department

Re:

Cooner/Tzikas House  
5025 Dover Way  
Sacramento, CA

Dear Sir or Madam:

It has been brought to my attention that the P5 shearwalls were built with 2x4 sill plate instead of 3x4 sill plate. The existing 2x4 sill plate can be built up using 2x4 blocks nailed into the existing 2x4 sill plate with 10d commons at 3" o.c. The plywood (or OSB) should be edge nailed into the blocking using 10d nails at 4" o.c.

Sincerely,



Richard M. Robertson, P.E.



**Certification of Compliance**  
School District Development

**Part I—To be completed by the APPLICANT**

Owner's Name/Address COSTA TZIKAS = 9442 SAN PAUL CIR. ELK GROVE  
CA 95624  
Project Address 5025 DOVER AV.  
Parcel Number 008-0162-006 Lot No.         
Subdivision Name        No. of Units ONE  
Applicant's Signature Joe Colangelo Title CONTRACTOR  
Phone No. (916) 1686-2005 Date 8/22/05

**Notice to Applicant:** Pursuant to Government Code Section 66020(d), this will serve to notify you that the 90-day approval period in which you may protest the fees or other payment identified above will begin to run on the date in which the building or installation permit for this project is issued or on which they are paid to the district(s) or to another public entity authorized to collect them on behalf of the district(s), whichever is earlier.

**Part II—To be completed by the BUILDING DEPARTMENT**

Plan Identification Number 0507403  
Building Type (check one)  Residential  Apartment/Condominium  Commercial/Industrial  
Square Feet of Chargeable Building Area 1477 sq ft 1486  
Signature/Title Cary Boyd, B.I. II Date 6-16-05

**Part III—To be completed by the SCHOOL DISTRICT**

School District SCUSD Certificate No. 10849  
 Exempt Comments demol 883 sq ft  
Residential/Apartment/etc. 5038 Square ft. x \$ 2.24 = \$ 1,305.92  
Commercial/Industrial        Square ft. x \$        = \$         
Total fees collected..... = \$ 1,305.92

This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

Signature Tom E. [Signature] Date 8/22/05

White & Canary—School District • Pink—Building Department • Goldenrod—Applicant

# ENGEL INSULATION, INC.

CALIFORNIA CONTRACTOR'S LICENSE #745646

460 Roseville Road • Roseville, CA 95678

(916) 786-2088 / (916) 786-2064

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

TRACT \_\_\_\_\_ LOT \_\_\_\_\_  
STREET 5025 Dover Ave CITY Sacramento

EXTERIOR WALLS:  
MANUFACTURER CT THICKNESS 6 1/4 R-VALUE 19

CEILING AREA: BATTS  
MANUFACTURER CT THICKNESS 12 R-VALUE 38

CEILINGS: BLOWN IN  
MANUFACTURER ALL BATTS THICKNESS \_\_\_\_\_ R-VALUE \_\_\_\_\_

SQUARE FOOTAGE \_\_\_\_\_ NUMBER OF BAGS USED \_\_\_\_\_  
2nd Floor  
FLOOR AREA \_\_\_\_\_  
MANUFACTURER CT THICKNESS 6 1/4 R-VALUE 19

EXTERIOR KNEEWALL:  
MANUFACTURER n/a THICKNESS \_\_\_\_\_ R-VALUE \_\_\_\_\_

INTERIOR KNEEWALL:  
MANUFACTURER n/a THICKNESS \_\_\_\_\_ R-VALUE \_\_\_\_\_

APPLIED CAULK & SEALANT TO ALL EXTERIOR OPENINGS & PENETRATIONS

YES  NO \_\_\_\_\_

GENERAL CONTRACTOR JOE BLANCO DATE 12/19/05  
CALIFORNIA CONTRACTORS LICENSE # 690718

Joe Blanco SIGNATURE TITLE Contractor

Jennifer Padilla SIGNATURE TITLE Inspector DATE 12/19/05



CITY OF SACRAMENTO  
 PLANNING & BUILDING DEPARTMENT  
 BUILDING DIVISION  
 www.cityofsacramento.org  
 Help Line: 1-916-808-5656 OR 1-866-EZ-PERMIT  
 Inspection: 1-916-808-5191



*(Handwritten signature)*  
 5-25-05

Downtown Permit Center  
 1231 I Street, Suite 200, Sacramento, CA 95814

North Permit Center  
 2101 Arena Blvd., Suite 200, Sacramento, CA 95834

PRELIMINARY RESIDENTIAL APPLICATION

1-916-808-5656 OR 1-866-EZ-PERMIT

5025 DOVER AVENUE SAC TO		IR
BUILDING SITE ADDRESS	SUITE	INSP. AREA
008-0162-006		0507403
ASSESSOR'S PARCEL NO.	COMMUNITY PLAN NO.	PLAN CHECK NO.

NAME OF APPLICANT	ADDRESS	ZIP CODE	PHONE #	FAX #
JOE COLANGELO	9442 SAN PAULO CIR ELK GROVE, CA	95624	(916) 531-6901	(916) 686-2005
PROPERTY OWNER				
COSTA TZIKAS	5025 DOVER AVE SAC	95819	(916) 524-7161	(916) 454-5959
LICENSED CONTRACTOR				
			LICENSE #: 699228	
JOE COLANGELO	9442 SAN PAULO CIR ELK GROVE, CA	95624	(916) 531-6901	(916) 686-2005
ARCHITECT/ENGINEER				

2	6	COMP.	650 sq	1477 sq	266 sq	293 sq
No. of Stories	No. of Rooms	Roof Covering	Area 1 <sup>st</sup> Floor	Total Area	Garage Area	Patio Area

THIS PERMIT IS FOR:

- BUILDING  MECHANICAL  PLUMBING  ELECTRICAL  SITE  FIRE

NATURE OF WORK IN DETAIL

NEW CONSTRUCTION - SFR

EVALUATION

2004