

CITY PLANNING COMMISSION

915 "I" STREET - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Spink Corporation - P.O. Box 2511, Sacramento, CA 95811		
OWNER	Rolla Powell - 2336 Green Street, Sacramento, CA 95815		
PLANS BY	Spink Corporation - P.O. Box 2511, Sacramento, CA 95811		
FILING DATE	2/11/83	50 DAY CPC ACTION DATE	3/24/83
		REPORT BY:	SC:sg
NEGATIVE DEC.	Ex.15105a	EIR	ASSESSOR'S PCL. NO. 277-082-01,06

APPLICATION: Lot line adjustment to relocate lot line 50 feet to the north between two parcels developed with single family structures on 0.6 acres in the (M-1) Light Industrial zone.

LOCATION: 2336 Green Street

PROPOSAL: The applicant is requesting a lot line adjustment to relocate a property line between two parcels to increase the size of one lot and reduce that of the other parcel.

PROJECT INFORMATION:

1974 General Plan Designation:	Industrial
1965 Woodlake/Norauto Community Plan Designation:	Heavy Commercial/Industrial
Existing Zoning of Site:	M-1
Existing Land Use of Site:	Residential structures
Surrounding Land Use and Zoning:	
North:	Apartments; M-1
South:	Single Family; M-1
East:	Commercial; M-1
West:	Apartments; R-4

Property Dimensions:	200 x 137.5
Property Area:	27,500 sq. ft.
Square Footage of Lot(s):	50 x 137.5 and 150 x 137.5; to be 100 x 137.5 each
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

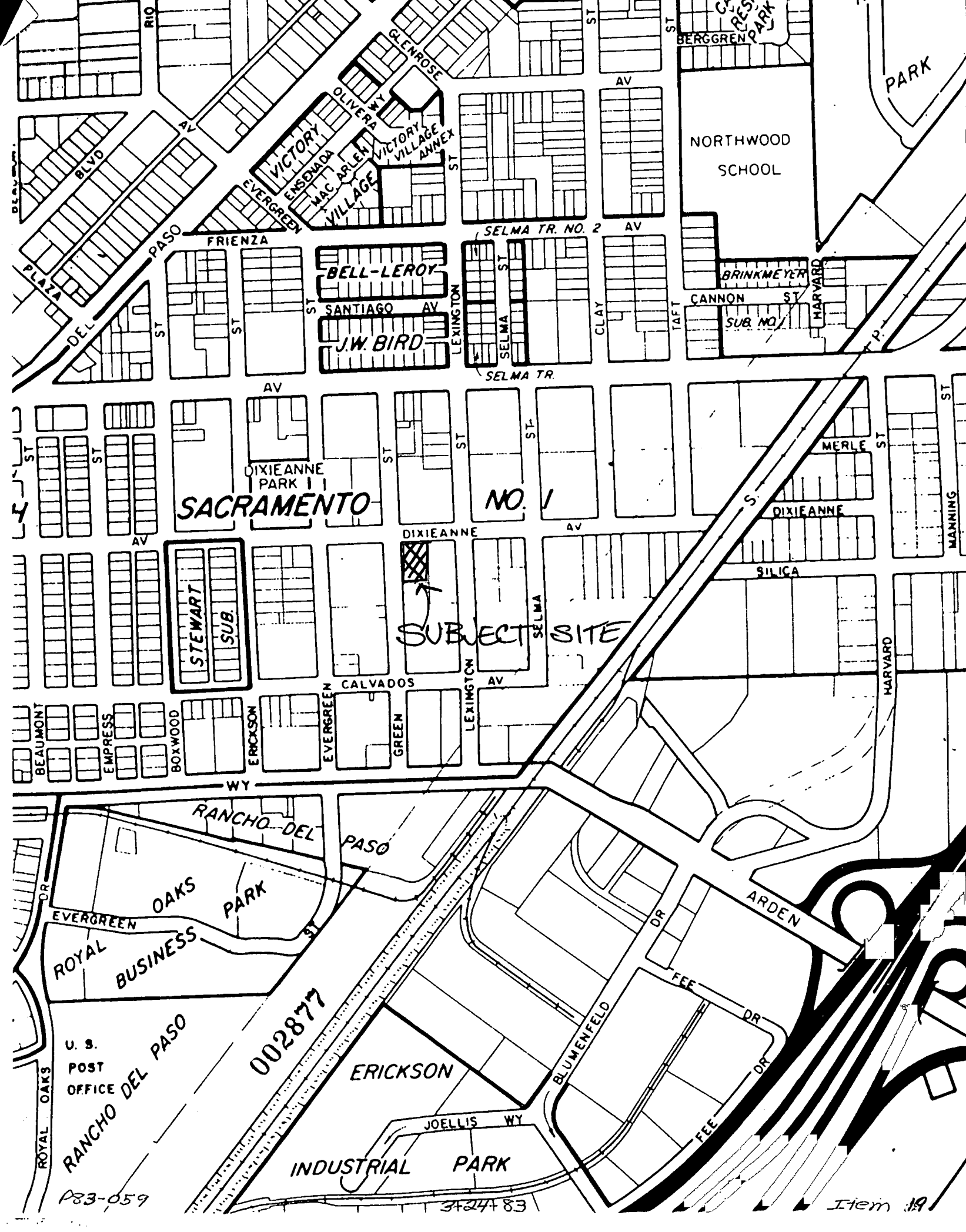
STAFF EVALUATION: Staff has the following comments regarding this request:

1. The subject site contains two existing single family dwelling units, an accessory structure and several mature fruit and nut trees. The site consists of two parcels. One parcel is 6,875 square feet while the other contains 20,625 square feet. The lot line adjustment will provide each parcel with 13,750 square feet of lot area. Staff has no objections to the request since the proposed lot line is not intersected by any structures or existing trees.
2. The project was reviewed by the City Engineer and Real Estate Division and they indicated no objections to the request provided the new lots are monumented and closure calculations be provided for each parcel.

ENVIRONMENTAL DETERMINATION: The project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15105(a)).

RECOMMENDATION: Staff recommends that the Commission approve the lot line adjustment by adopting the attached resolution.

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SACRAMENTO

NO. 1

SUBJECT SITE

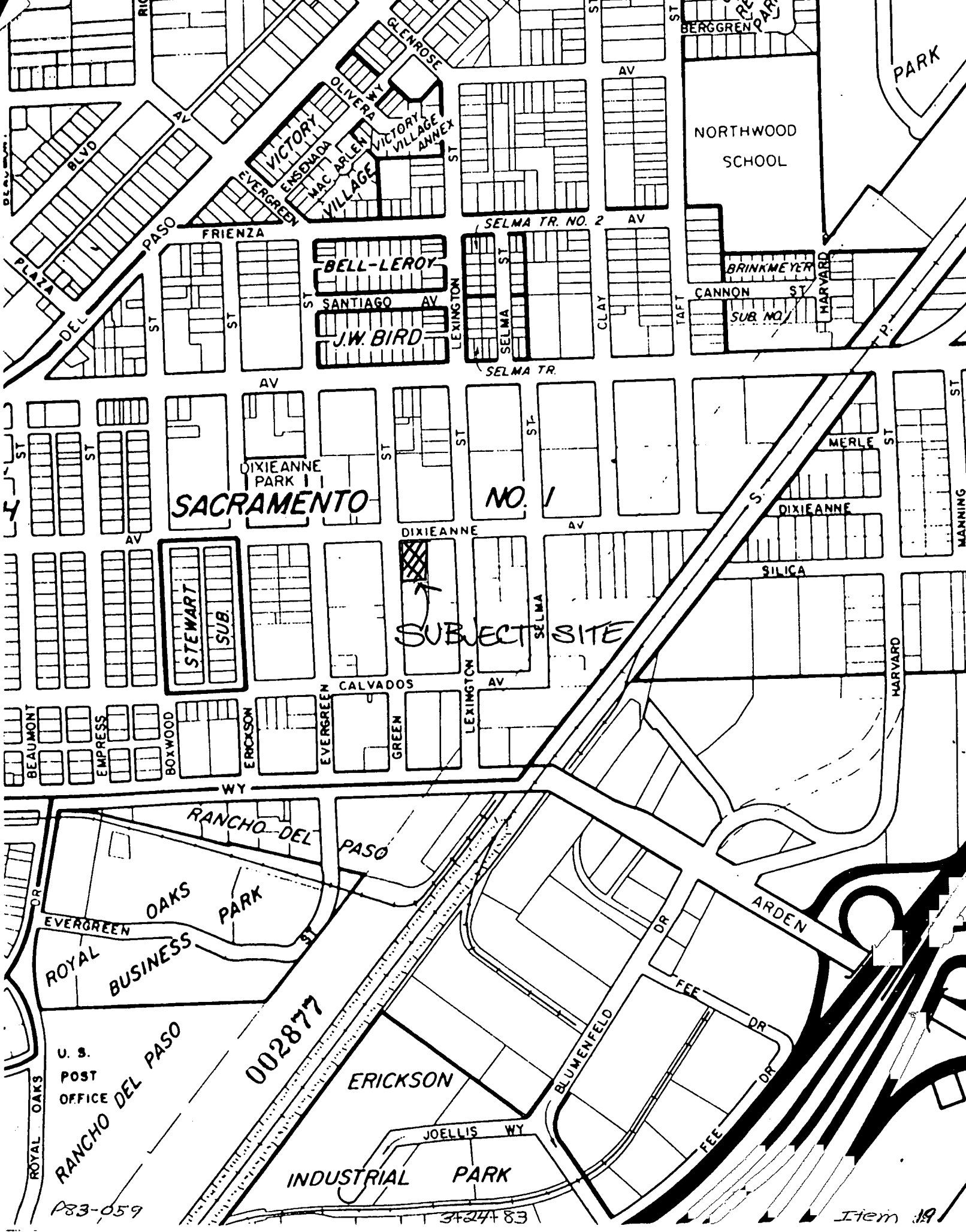
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U. S. POST OFFICE

P83-059

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Item 19



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Item 19

P 83059

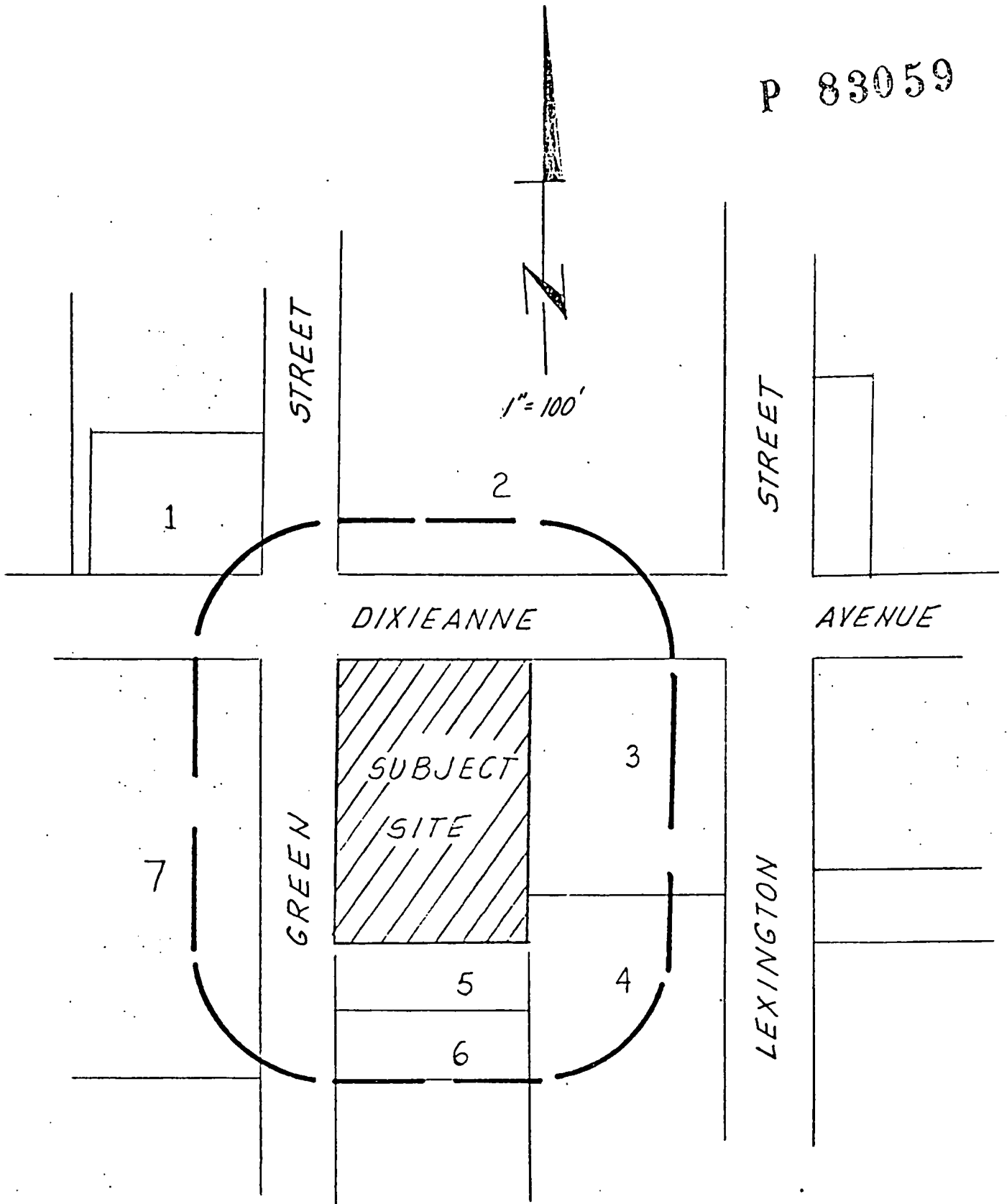
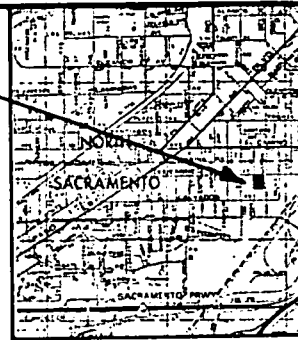
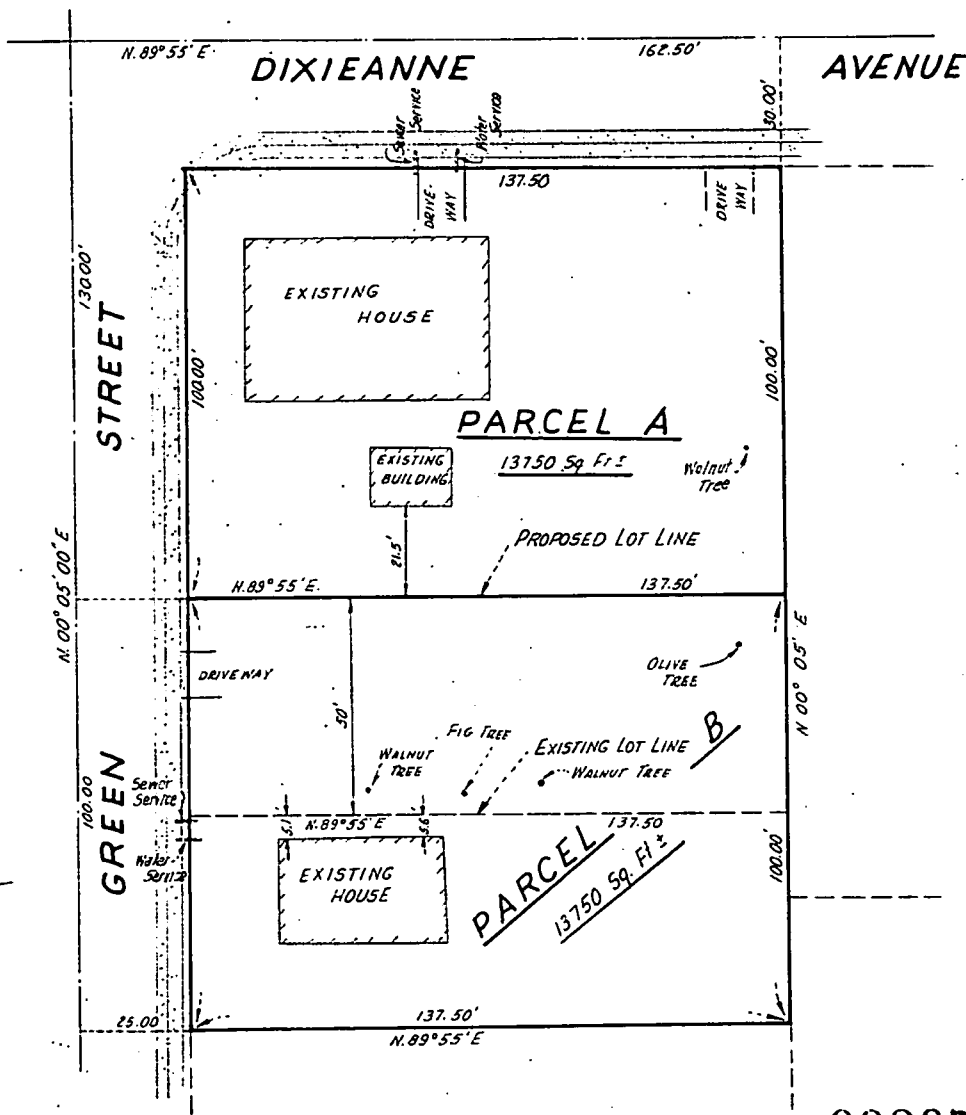


EXHIBIT C SITE



VICINITY MAP
NO SCALE



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REVISIONS	JOB NO. 7068-001	TITLE: LOT LINE ADJUSTMENT	SPINK ENGINEERING COMPANY ENGINEERS PLANNERS SURVEYORS SACRAMENTO CALIFORNIA
	DATE: FEB., 1983	PORTION OF THE WEST 1/2 OF LOT 1,	
	F.B. 2143 PG. 39	BLOCK 57, NORTH SACRAMENTO SUBDIVISION	
	SCALE: 1"=20'	NO. 1, CITY OF SACRAMENTO CALIFORNIA	
DRAWN BY: DNY	CLIENT: ROLLA POWELL	CODE 15-19 DR. NO.	
CHECKED BY: CJV			1/19