

CITY OF SACRAMENTO

Permit No: 9811237

1231 I Street, Sacramento, CA 95814

Insp Area: 4

Site Address: 2101 RIVER PLAZA DR SAC

Sub-Type: COM

Parcel No: 2740320066

Housing (Y/N): N

CONTRACTOR

DAVCAL INC, 801 EAST COMMONWEALTH AV, FULLERTON CA 92831-4517

OWNER

MARCOURT INVESTMENTS INC (CTYD III CORP), 435 6TH AV, PITTSBURG PA 15219

ARCHITECT

Nature of Work: A.D.A. BATHROOM REMODEL ON ROOM 107#

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_ Date 11/10/98 Contractor Signature \_\_\_\_\_

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 11/10/98 Applicant/Agent Signature \_\_\_\_\_

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number 7663079 Exp Date 1-1-99

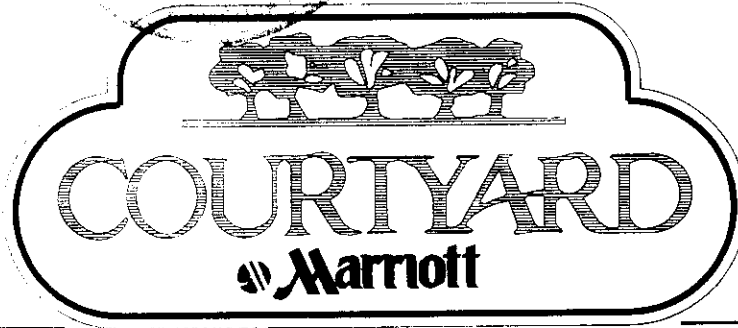
(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11/10/98 Applicant Signature \_\_\_\_\_

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

This set of plans and specifications must be  
read in conjunction with all codes and it is unlawful  
to alter or modify any portion of this set of plans,  
specifications or details without the written  
approval of the architect. The contractor shall  
be responsible for obtaining all necessary  
permits and licenses in accordance with  
the provisions of state law.



# COUTYARD BY MARRIOTT

2101 RIVER PLAZA  
SACRAMENTO, CA ~~95833~~ 95833 ED

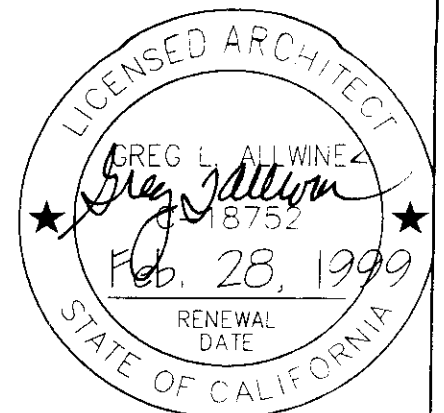
## ADA IMPROVEMENTS

PROJECT No. 9845  
PHASE 5

JOHNSON BRAUND DESIGN GROUP, INC.  
130 ANDOVER PARK EAST, SUITE 301  
SEATTLE, WA 98188


The approval of all  
Plumbing and Mechanical work  
is subject to field inspection

JMT 1/4/98




# DRAWING INDEX

DETAIL NUMBER




INTERIOR ELEVATION

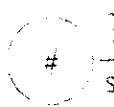
SHEET NUMBER



SECTION




DETAIL REFERENCE



TITLE

SCALE



CONSTRUCTION KEYNOTE

CENTER LINE

HIDDEN LINE

REMOVE EXISTING CONSTRUCTION

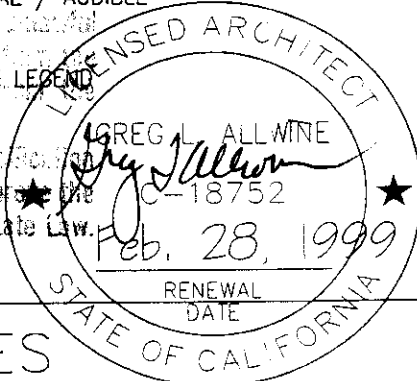
EXISTING WALL/PARTITION TO REMAIN

NEW WALL/PARTITION

## COVER SHEET

- CS.1 COVER SHEET
- CS.2 DRAWING INDEX, SYMBOLS AND GENERAL NOTES.
- A-1 EXISTING TYPICAL DOUBLE/DOUBLE
- A-2 EXISTING ACCESSIBLE KING ROOM
- A-3 EXISTING ACCESSIBLE DOUBLE/DOUBLE ROOM
- A-4 PROPOSED TYPICAL DOUBLE/DOUBLE
- A-5 PROPOSED ACCESSIBLE KING WITH ROLL-IN SHOWER
- A-6 PROPOSED ACCESSIBLE DOUBLE/DOUBLE WITH ROLL-IN SHOWER
- A-7b PROPOSED ACCESSIBLE BATHROOM / -ANSI CODE - TOILET RELOCATION
- A-8a INTERIOR ELEVATIONS -ANSI CODE -TOILET RELOC.
- A-9a INTERIOR ELEVATIONS -ANSI CODE -TOILET RELOC.
- A-10 INTERIOR ELEVATIONS
- A-11 INTERIOR ELEVATIONS
- A-12 INTERIOR ELEVATIONS
- A-13 INTERIOR ELEVATIONS
- A-14 DETAIL OF CORNER VANITY
- A-15 DETAIL OF ACCESSIBLE LAV. COUNTER
- A-16 WIRING DIAGRAM OF VISUAL / AUDIBLE
- A-17 MISCELLANEOUS DETAILS
- A-18 ACCESSORY AND FIXTURE LEGEND

ISSUED



## GENERAL DEMOLITION NOTES

GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW CONSTRUCTION AND DEMOLITION WORK.

PRIOR TO REMOVAL OR CUTTING OF OPENINGS THROUGH STRUCTURAL MEMBERS CONTRACTOR WILL PROVIDE ADEQUATE SHORING FOR ROOF AND OTHER STRUCTURAL LOADS. SUPPORTS SHALL NOT BE REMOVED UNTIL NEW STRUCTURAL SYSTEMS IN PLACE.


PROCEED WITH DEMOLITION FROM TOP TO BOTTOM. DO NOT REMOVE THIS SUPPORTING OTHER MEMBERS WITHOUT PROVIDING TEMPORARY OR PERMANENT BRACING AS REQUIRED. SEE DRAWINGS FOR AREAS AND EXTENT OF DEMOLITION.

CONTRACTOR'S STORAGE TRAILER, OFFICE TRAILER, AND STAGING OPERATIONS ON BUILDING EXTERIOR WILL BE DIRECTED BY OWNER'S PROJECT MANAGER.

CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR WASTE DISPOSAL IN CONTAINERS AS DIRECTED BY OWNER'S PROJECT MANAGER.

IT IS UNDERSTOOD THAT THE EXISTING STRUCTURE MAY CONTAIN ASBESTOS WHICH IS KNOWN TO PRESENT HEALTH HAZARDS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INVESTIGATION OR CONTROL OF THE HEALTH EFFECTS BEFORE DURING OF SUBSEQUENT TO HIS WORK HEREUNDER NOR OF THE SAFETY OF ANY PERSON USING THE EXISTING STRUCTURE DURING CONSTRUCTION. THE OWNER AND CONTRACTOR AGREE TO INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM CLAIMS, INCLUDING THE COST OF DEFENDING SUCH CLAIMS, BY ANY PERSON ASSERTING A DELIBERIOUS OFFENSE FROM THE ASBESTOS, WHETHER SUCH CLAIM ARISES OUT OF THE WORK PERFORMED BY THE ARCHITECT OR NOT.

7. COORDINATE WITH OWNER'S REPRESENTATIVE THE PHASING OF ALL DEMOLITION WORK.
8. SEE MECHANICAL/ELECTRICAL/PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
9. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING CONSTRUCTION WITH ARCHITECTURAL FLOOR PLAN.
10. ALL ABANDONED UTILITY LINES TO BE REMOVED AND/OR CAPPED OFF AS REQUIRED BY CODE. SEE M/E/P DRAWINGS FOR ADDITIONAL INFORMATION.
11. WHERE PARTITIONS AND ACCESSORIES ARE REMOVED, PATCH EXPOSED AREAS AND FINISH SO AS TO MATCH ADJACENT WORK.
12. DEMOLITION TO OCCUR WITH A MINIMUM OF OPERATIONAL INTERRUPTION. COORDINATE WITH HOTEL ANTHONY SUPERINTENDENT AND OPERATIONS.
13. MARRIOTT WILL RELOCATE AND STORE CONFLICTING FURNITURE & EQUIPMENT INTERRUPTING. GC TO PROVIDE DUST BARRIERS TO PROTECT REMAINING EXPOSED PRODUCT FROM DAMAGE.
14. PROVIDE TEMPORARY PARTITIONS AND BARRIERS TO PROTECT THE PUBLIC FROM ANY POTENTIAL CONSTRUCTION HAZARDS. BARRIER TO BE OF WOOD FRAME CONSTRUCTION WITH A PAINTED PLYWOOD FACE.
15. MAINTAIN EXISTING UTILITIES DURING CONSTRUCTION. NOTIFY SUCH DISRUPTIONS AND PROVIDE INTERIM UTILITIES.
16. THE SCOPE OF DEMOLITION SHALL NOT BE LIMITED TO THE CONTENTS OF THIS DRAWING BUT SHALL INCLUDE ANY AND ALL WORK REQUIRED TO FACILITATE THE NEW CONSTRUCTION DESCRIBED IN THESE DOCUMENTS.
17. LOAD BEARING WALLS ARE NOT TO BE DEMOLISHED.



JOHNSON BRAUND  
DESIGN GROUP, INC.  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
AND PLANNING  
PH & FAX 206-431-7960

PROJECT NAME: COURTYARD  
PROJECT NO: 98-45  
DESIGNED BY:  
REFERENCE SHEET

SHEET OF 20

CS.2

NOT TO BE  
DIMENSIONED ARE  
NOT BEARING ON...

NOTE  
IF EXISTING BATHROOM  
DIMENSIONS ARE NOT  
AS SHOWN, CONTACT  
MARRICOTT REPRESENTATIVE  
IMMEDIATELY

FIELD VERIFY  
18'-3"

FIELD VERIFY  
8'-8" FINISH TO FINISH

EXISTING LIGHT  
TO REMAIN

EXISTING  
SPEAKER  
LEVEL  
REVEAL

REMOVE EXISTING  
GRATE BARS, TILE, TOWEL RACK  
AND TOILET CONTROLS

REMOVE SHOWER  
CONTROLS

EXISTING TOILET  
TO BE REMOVED  
OR RELOCATED IF  
SCHEDULABLE W/  
SEAL HEIGHT BETWEEN  
1'-0" TO 1'-2"

EXISTING CAB BARS  
TO BE REMOVED

EXISTING  
TOILET  
LOCATED  
ON SECTION S W  
AS SHOWN ON  
ELEVATION

ALL EXISTING FURNITURE  
TO BE REMOVED AND  
STORED FOR REUSE

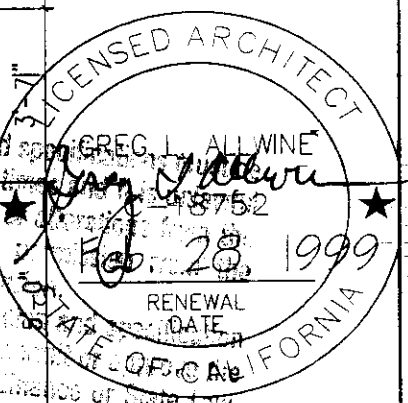
REMOVE EXISTING  
CONC. SLAB TO  
PLACE NEW BRAIN

REMOVE EXISTING  
CERAMIC FLOOR TILE

REMOVE EXISTING  
PTAC CHASSIS

REMOVE EXISTING  
VINYL WALL COVERING  
IF PRESENT

EXISTING LIGHT  
TO REMAIN



EXIST. FIRE  
ALARM  
W/ STROBE  
TO REMAIN

REMOVE COAT RACK

REMOVE EXISTING  
WELCOME LIGHT &  
STORE FOR REUSE

REMOVE BIFOLD DOORS

REMOVE LOCKSET &  
DEADBOLT

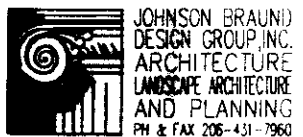
IF DOOR IS NOT 36"  
WIDE, CONTACT OWNER

EXIST. MIRROR,  
LAVATORY,  
VANITY TOP &  
TOWEL BAR  
TO BE REMOVED

EXISTING WALL TO  
BE REMOVED (TYP.)

EXISTING ACCESSIBLE DOUBLE/DOUBLE

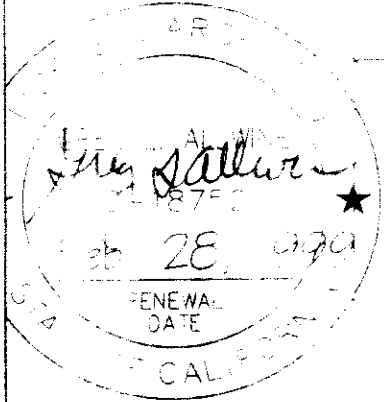
SCALE: 1/4" = 1'-0" NOTE: ALL DIMENSIONS ARE TO FINISH FACE OF GYP. BD.



PROJECT NAME: COURTYARD  
PROJECT NO: 98-45  
DESIGNED BY:  
REFERENCE SHEET

SHEET OF

A--3



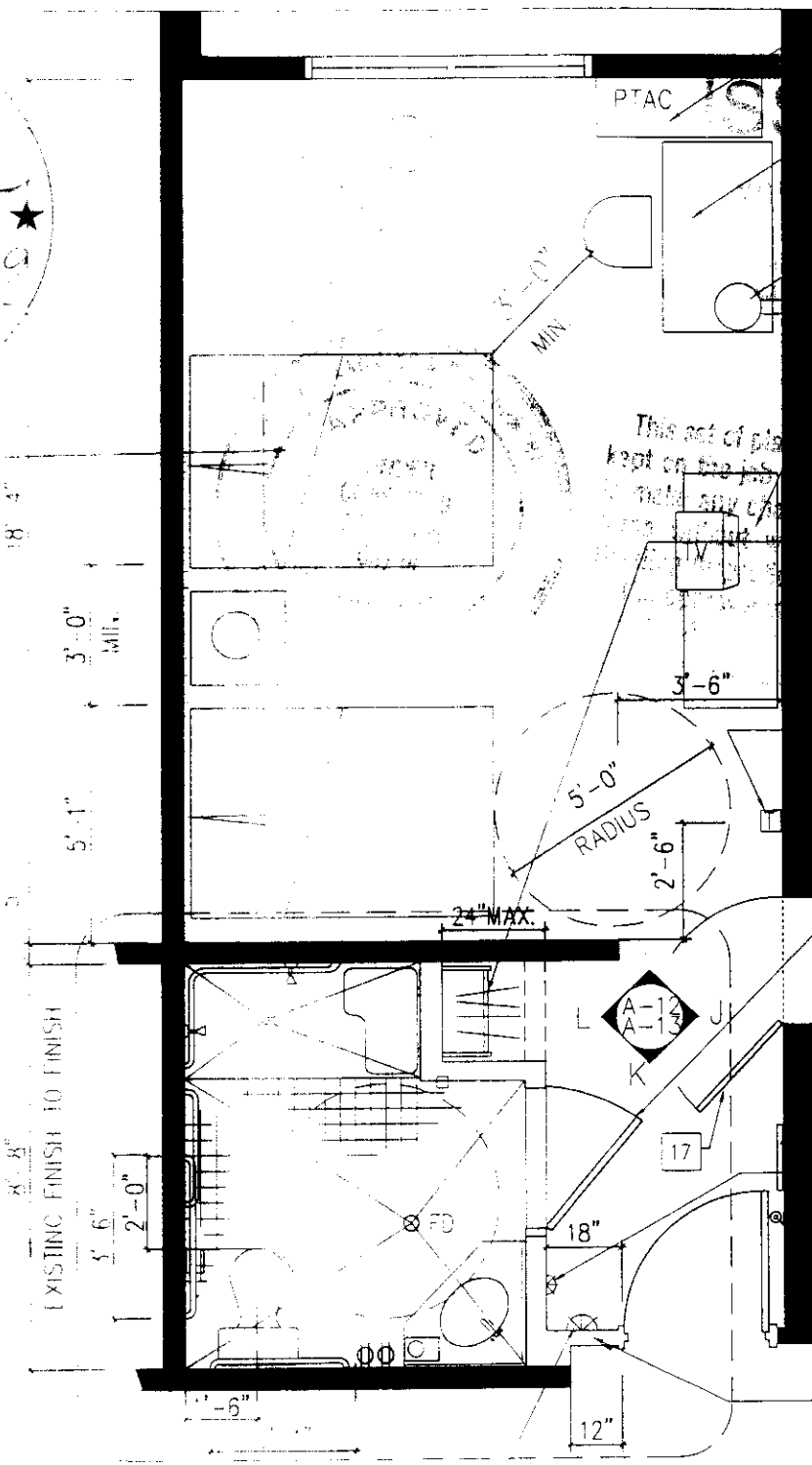
NEW RED AND  
TAG BOARD  
ADDITION

INSTALL EXISTING  
FURNITURE AS SHOWN  
PROVIDE NEW  
DRAWER PULLS

WALLS TO BE  
COMPLETED ARE  
NON-BEARING ONLY

Set of all  
to field office  
9-98 *Am*

SEE SHEET A-1 FOR  
NEW WORK ON THIS AREA



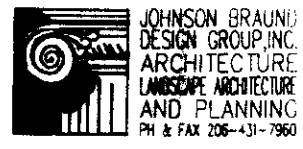
- REPLACE EXISTING PTAC WITH NEW "CARRIER" UNIT
- NEW DESK LOCATION
- EXISTING LIGHT
- NEW DRESSER LOCATION
- PROVIDE NEW CLOTHES RACKS. SEE ELEVATION. PROVIDE BLOCKING IN WALL AS REQ'D.
- PROVIDE NEW REMOTE THERMOSTAT FOR PTAC UNIT @ 48" AFF. (RUN WIRE IN NEXT TO CARPET TACK STRIP AND UP THRU WALL)
- NEW DOOR 25
- MIRROR BEHIND DOOR
- NEW WELCOME LIGHT 18 PROVIDE WIRING AS REQ'D.
- PROVIDE FLOOR MOUNTED DOOR BUMPER
- NEW PARTITION TO BE 3 5/8" MTL. STUDS W/ 5/8" FIRE RATED GYP. BO. MOISTURE RESISTANT GYP. BO. TO BE USED IN BATHROOM.

ALTERNATE LOCATION FOR WELCOME LIGHT

## PROPOSED ACCESSIBLE D/D W/ ROLL-IN SHOWER

SCALE: 1/8" = 1'-0"

NOTE: ALL DIMENSIONS ARE TO FINISH FACE OF GYP. BO.



PROJECT NAME: COURTYARD  
 PROJECT NO: 98-45  
 DESIGNED:  
 REFERENCE SHEET:

SHEET OF

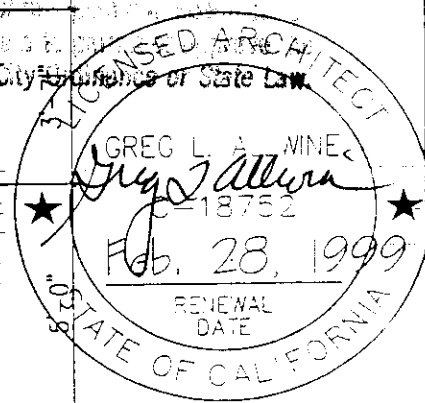
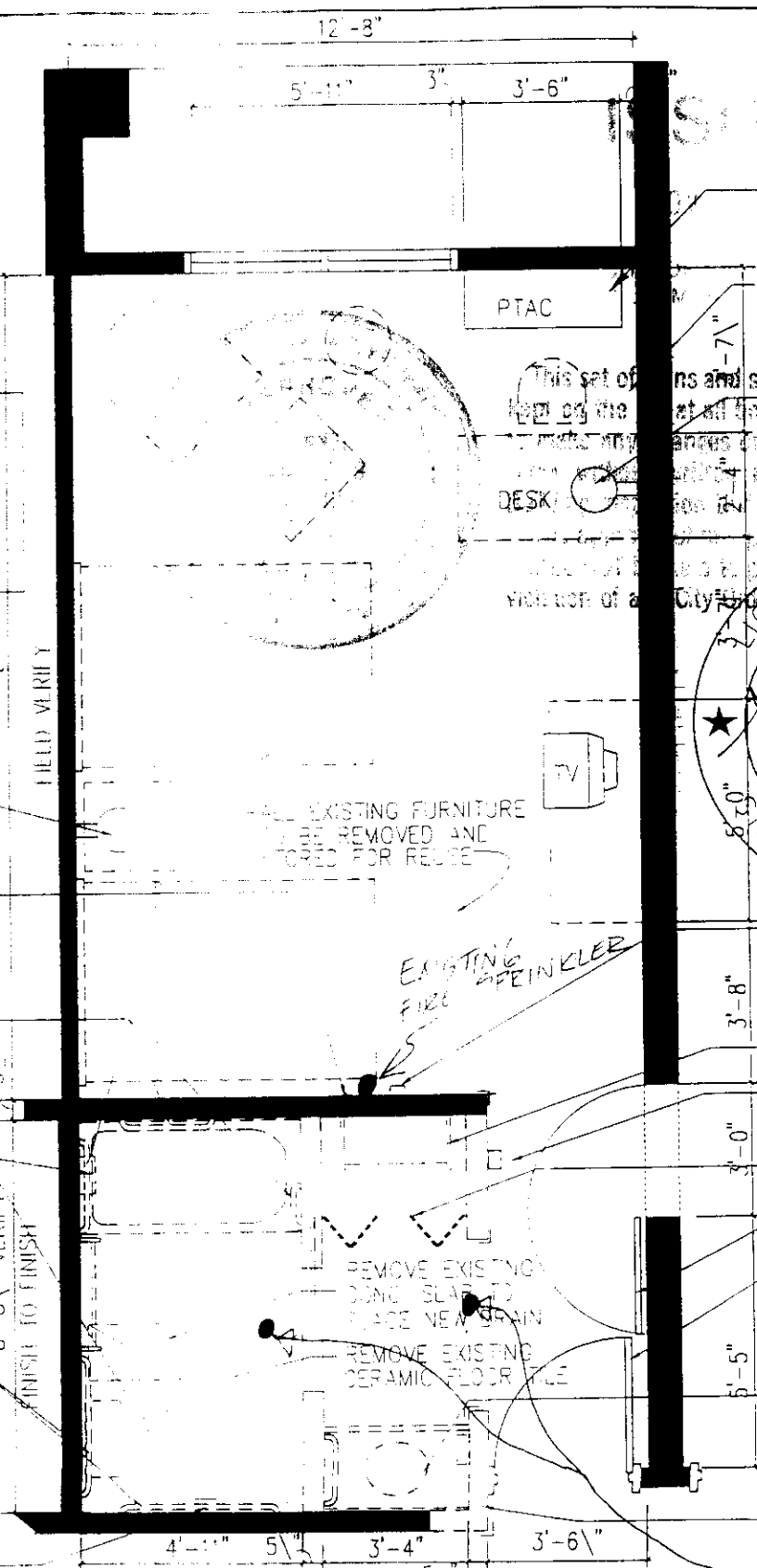
A-6

NOT TO SCALE  
 WALLS TO BE  
 DEMOLISHED ARE  
 NON-BEARING ONLY

NOT TO SCALE  
 BATHROOM  
 DIMENSIONS ARE NOT  
 AS SHOWN, CONTACT  
 ARCHITECT REPRESENTATIVE  
 FOR DETAILS

FIELD VERIFY

FIELD VERIFY



EXISTING ACCESSIBLE DOUBLE/DOUBLE

EXISTING FIRE SMOKE SENSITIVE SPRINKLER

SCALE: 1/8" = 1'-0" ALL DIMENSIONS ARE TO FINISH FACE OF GYP. BD.

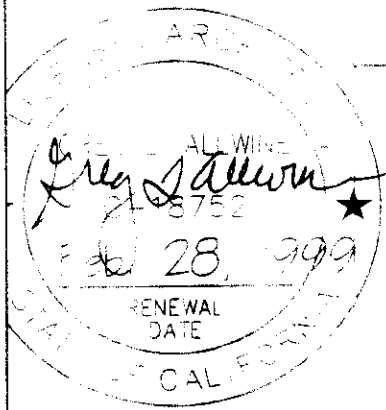


JOHNSON BRAUNG  
 DESIGN GROUP, INC.  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 AND PLANNING  
 PH & FAX 206-431-7960

PROJECT NAME: COURTYARD  
 PROJECT NO: 98-45  
 DRAWING NO: 4-3  
 SHEET NO: 4-3

SHEET OF

4-3



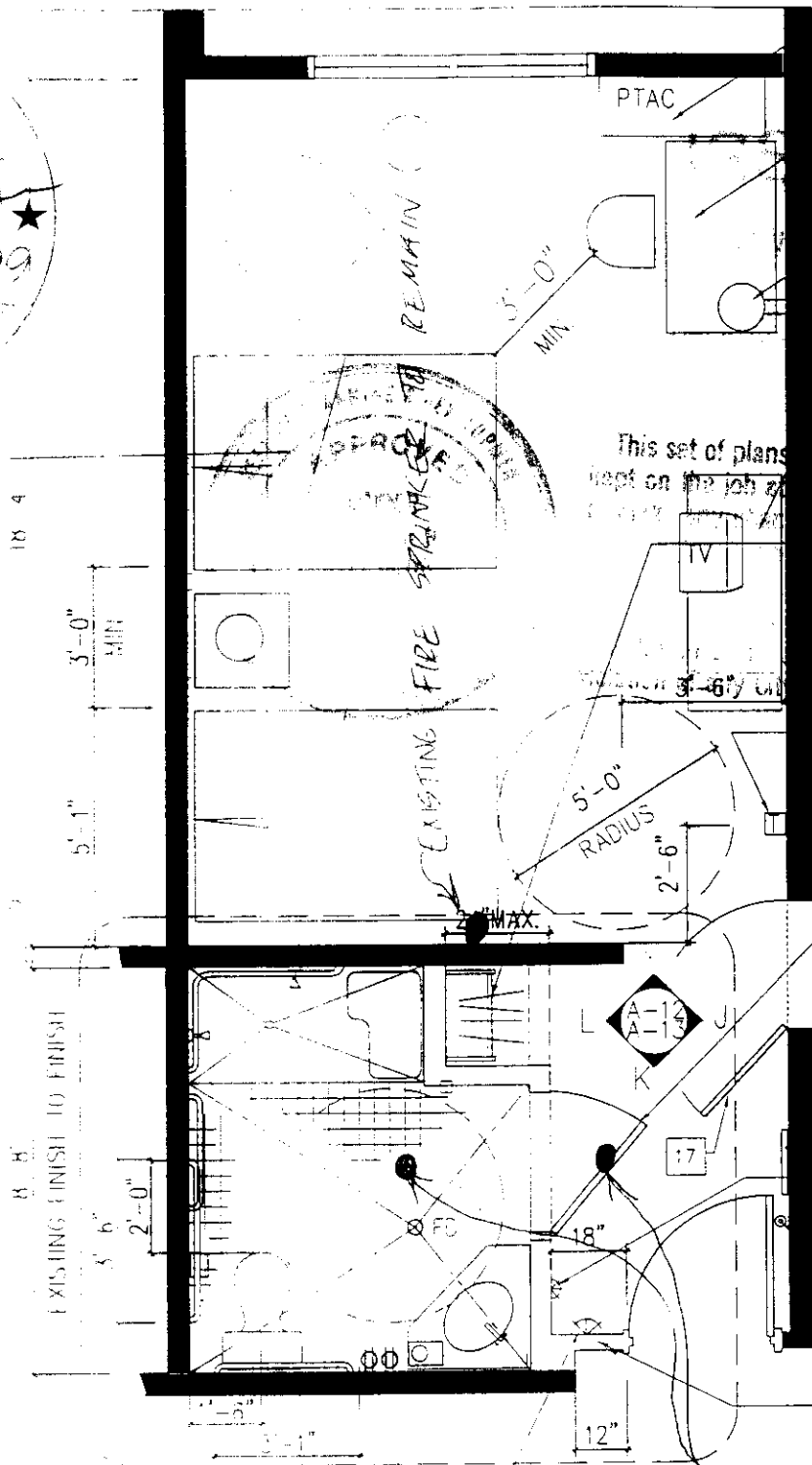
NEW BED AND HEAD BOARD LOCATION

REMOVE ALL EXISTING FURNITURE AS SHOWN. PROVIDE NEW DRAWER PULLS.

NOTE: WALLS TO BE DEMOLISHED ARE NON-BEARING ONLY.

DATE: 1-98  
BY: [Signature]

SEE SHEET A-5 FOR NEW WORK ON THIS AREA



REPLACE EXISTING PTAC WITH NEW "CARRIER" UNIT

NEW DESK LOCATION

EXISTING LIGHT

NEW DRESSER LOCATION

PROVIDE NEW CLOTHES RACKS. SEE ELEVATION. PROVIDE BLOCKING IN WALL AS REQ'D.

PROVIDE NEW REMOTE THERMOSTAT FOR PTAC UNIT @ 48" AFF. (RUN WIRE IN NEXT TO CARPET TACK STRIP AND UP THRU WALL)

NEW DOOR [25]

MIRROR BEHIND DOOR

NEW WELCOME LIGHT [18] PROVIDE WIRING AS REQ'D.

PROVIDE FLOOR MOUNTED DOOR BUMPER

NEW PARTITION TO BE 3 5/8" MTL. STUDS W/ 5/8" FIRE RATED GYP. BD. MOISTURE RESISTANT GYP. BD. TO BE USED IN BATHROOM.

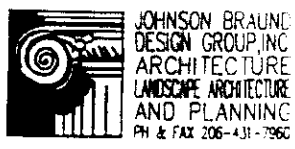
This set of plans and specifications must be kept on the job at all times and to be subject to change without notice.

ALTERNATE LOCATION FOR WELCOME LIGHT

EXISTING FIRE SPRINKLERS TO REMAIN

PROPOSED ACCESSIBLE D/D W/ ROLL-IN SHOWER

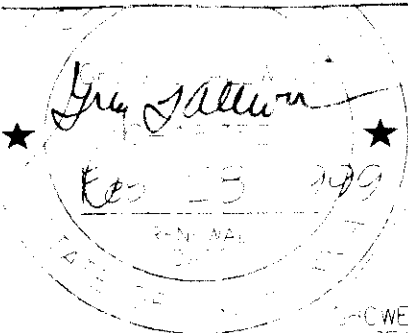
NOTE: ALL DIMENSIONS ARE TO FINISH FACE OF GYP. BD.



PROJECT NAME: COURTYARD  
PROJECT NO.: 98-45  
DESIGNED:  
REFERENCE SHEET

SHEET OF

A-6



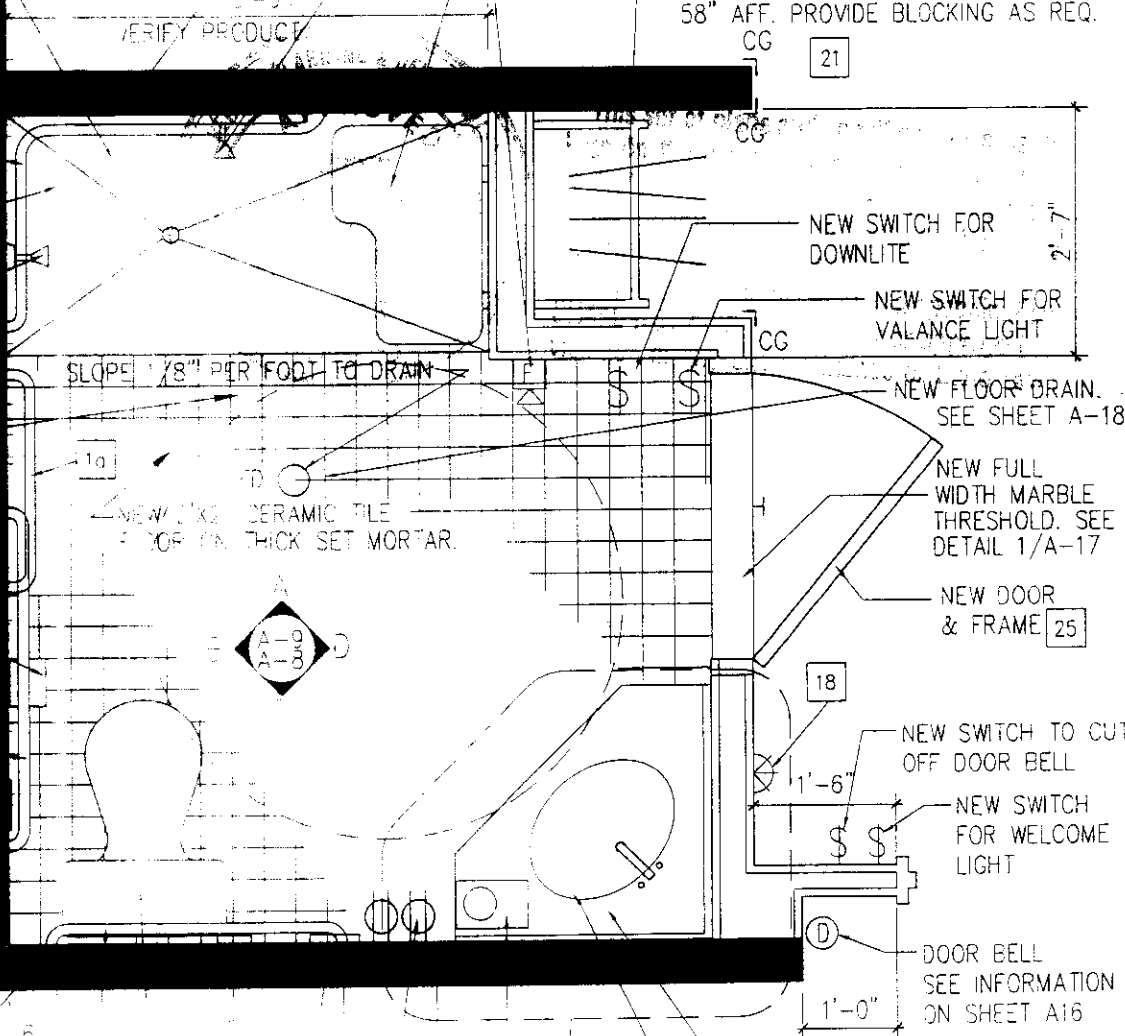
NEW ACCESSIBLE  
 ROLL-IN SHOWER BATH  
 WITH WALL PANELS  
 TRAVELER FLOOR  
 NEW SHOWER  
 BASIN REQ. PER-  
 NATH RAMPING IN WALL  
 TO MATCH NEW SHOWER  
 CONTROLS AND SHOWER  
 HEAD LOCATION.

NEW MOISTURE RESISTANT  
 GYP. BD. BEHIND ENTIRE  
 SHOWER ENCLOSURE  
 ACCESSIBLE  
 SHOWER HEAD  
 BRACKET AND CONTROLS  
 PROVIDE NEW AUDIBLE/VISIBLE NOTIFICATION  
 APPLIANCE 1 HZ STROBE SIMILAR TO SIMPLEX  
 MODEL #4903-9105, WHITE CONNECTED TO  
 EXISTING BUILDING FIRE ALARM SYSTEM

TWO CLOTHES RACKS. ONE 12" WIDE  
 AT 48" AFF AND ONE 24" WIDE AT  
 58" AFF. PROVIDE BLOCKING AS REQ.

STANDARD  
 SHOWER HEAD  
 AND CONTROLS  
 USING BRICK SET MORTAR  
 RAMP UP TO SHOWER  
 BASIN WITH 1:12 SLOPE  
 FOR 4" RAIN ONLY

RELOCATED  
 EXISTING TOILET TISSUE  
 DISPENSER. SEE  
 ELEC



NEW  
 PROVIDE NEW FIRE  
 RATED MOISTURE  
 RESISTANT GYP BOARD  
 ON ENTIRE BATHROOM  
 WALLS USE SAME  
 NUMBER OF LAYERS  
 EXISTING

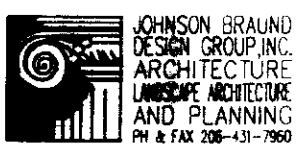
HARDWARE MOUNTED  
 ABOVE TOILET  
 NEW OF COURTESY  
 ON 2 SEPARATE COUNTRIES  
 2 GAN. BOY

NOTE:  
 LOCATION OF FLOOR DRAIN  
 IS DICTATED BY EACH  
 INDIVIDUAL SITE CONDITION

PROPOSED ACCESSIBLE BATHROOM (ANSI CODE)

7b) SCALE: 1/8" = 1'-0"

NOTE: ALL DIMENSIONS ARE TO FINISH FACE OF GYP. BD.



PROJECT NAME: COURTYARD  
 PROJECT NO.: 98-45  
 DESIGNED BY:  
 REFERENCE SHEET:

SHEET OF

A.7  
 (ANSI)



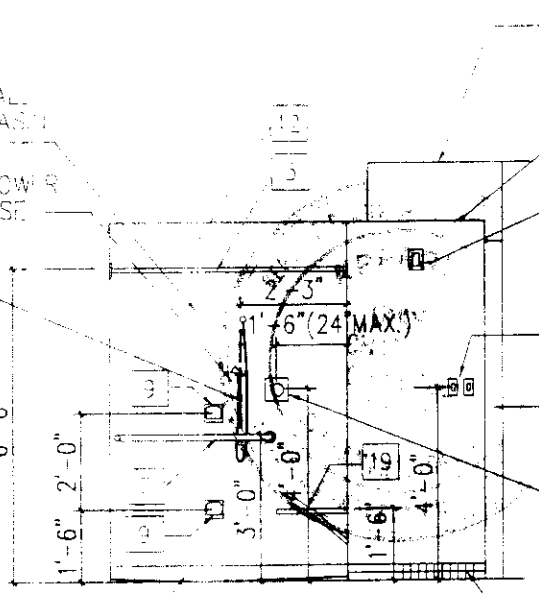
NOTE:  
 PROVIDE BLOCKING BEHIND ALL  
 GRAB BARS, TOWEL BARS, SHOWER  
 SEAT AND SHOWER CURTAIN RODS.

NEW SYNTHETIC MARBLE  
 ROLL-IN SHOWER  
 ASSEMBLY INCLUDING WALL  
 PANELS AND SHOWER BASIN

PROVIDE HAND HELD SHOWER  
 WITH 60" MAX. FLEXIBLE HOSE  
 AND CONTROLS

VERT ROD @ 48" AFF

MTD. ON 34" VERT ROD



EXISTING CEILING TO REMAIN  
 (BEYOND @ CLOSET)

NEW CEILING IN THIS AREA  
 TO MATCH EXISTING

NEW AUDIBLE/VISUAL FIRE ALARM TO BE  
 SIMILAR TO SIMPLEX AUDIBLE/VISIBLE  
 NOTIFICATION APPLIANCE 1 HZ STROBE,  
 MODEL #4903-9105, WHITE, CONNECTED TO  
 EXISTING BUILDING FIRE ALARM SYSTEM

NEW SWITCHES FOR VALANCE LIGHT  
 AND DOWNLIGHT

NEW WALL WITH  
 VINYL WALL COVERING  
 SEE FINISH SCHEDULE

NEW SHOWER  
 CONTROLS @ 48" AFF [24]

SEE BASE  
 DETAIL 2/A-17

SEE C.T. BASE  
 DETAIL 2/A-17

**ELEVATION ACCES. SHOWER**

SCALE: 1/4" = 1'-0"

EXISTING  
 EXHAUST FAN

NEW SYNTHETIC MARBLE ROLL-IN SHOWER  
 ASSEMBLY INCLUDING FULL HEIGHT WALL  
 PANELS, SHOWER BASIN.

NEW SURFACE MTD  
 TOILET FIXTURE,  
 TOILETS OF AMERICA  
 #4213

NEW VINYL WALL  
 COVERING, SEE  
 FINISH SCHEDULE

STANDARD  
 SHOWER HEAD

NEW SHOWER  
 CONTROLS @ 48" AFF [24]

NEW  
 GRAB  
 BAR

BASE

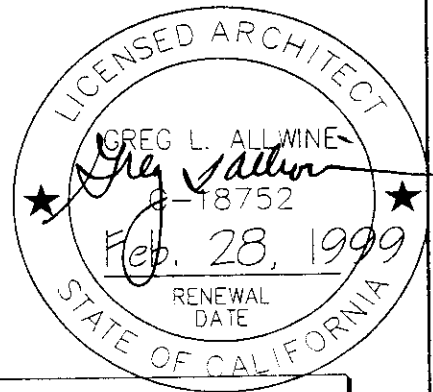
TOILET RISER

NUMBER TO BE  
 RELOCATED & RELOCATED IF NOT  
 SHOWN AS SHOWN HERE

TELEPHONE MTD AT 24" AFF

**ELEVATION ACCES. SHOWER (ANSI CODE)**

SCALE: 1/4" = 1'-0"



NOTE:  
 PROVIDE BLOCKING BEHIND ALL  
 GRAB BARS, TOWEL BARS, SHOWER  
 SEAT AND SHOWER CURTAIN ROD.



PROJECT NAME: COURTYARD  
 PROJECT NO: 98-45  
 DESIGNER:  
 REFERENCE SHEET

SHEET OF

A.8  
 (ANSI)

PROVIDE BLOCKING BEHIND ALL  
RIP BARS, TOWEL BARS, SHOWER  
BAT AND SHOWER CURTAIN RODS

ALIGN TOP OF  
MIRROR WITH  
TOP OF ADJACENT  
DOOR FRAME

NEW WALL MTD.  
LIGHT FIXTURE  
16

NEW MIRROR  
FULL WIDTH OF  
VANITY

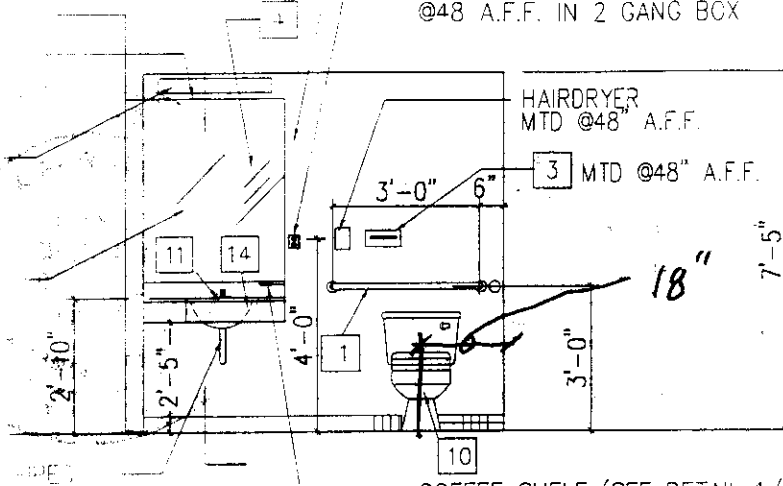
NEW VINYL WALL COVERING  
SEE FINISH SCHEDULE

TWO NEW GFI OUTLETS  
@48" A.F.F. IN 2 GANG BOX

HAIRDRYER  
MTD @48" A.F.F.

3 MTD @48" A.F.F.

CLG. HEIGHT  
7'-5"



PROVIDE INSULATION AROUND ALL PIPES

COFFEE SHELF (SEE DETAIL 1/A-14)

**C ELEVATION, ACCES. TOILET RM. (ANSI CODE)**

A-9 SCALE: 1/8" = 1'-0"

NEW VINYL WALL COVERING  
SEE FINISH SCHEDULE

ALIGN TOP OF MIRROR  
WITH TOP OF ADJACENT  
DOOR FRAME

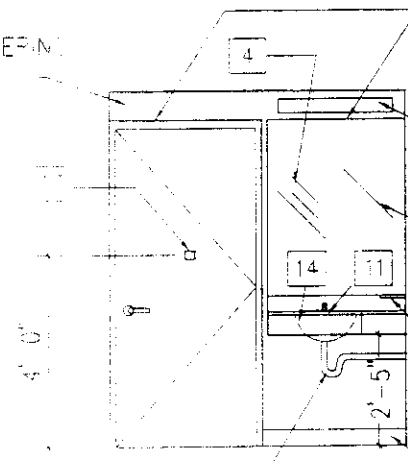
NEW WALL MTD.  
LIGHT FIXTURE  
16

NEW MIRROR FULL WIDTH OF  
VANITY "J" CHANNEL TOP &  
BOTTOM. FIELD MEASURE FOR  
TIGHT FIT 4

COFFEE SHELF  
(SEE DETAIL 1/A-14)

SEE C.T. BASE  
DETAIL 2/A-17

PROVIDE BLOCKING BEHIND ALL  
RIP BARS, TOWEL BARS, SHOWER  
BAT AND SHOWER CURTAIN RODS



PROVIDE INSULATION AROUND ALL PIPES

**D ELEVATION, ACCES. TOILET RM.**

A-9 SCALE: 1/8" = 1'-0"

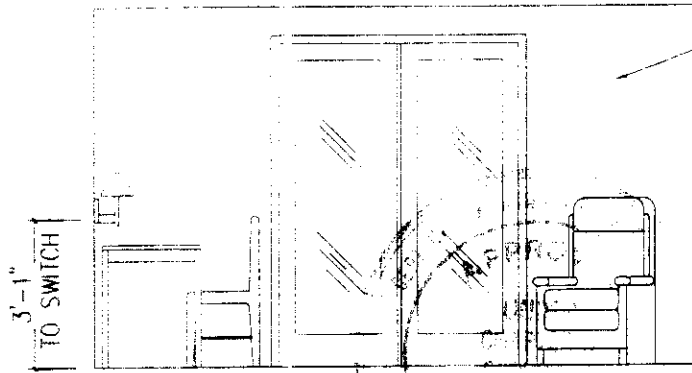
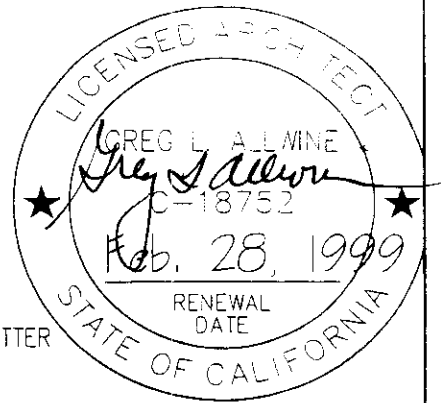


JOHNSON BRAUND  
DESIGN GROUP, INC.  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
AND PLANNING  
PH & FAX 206-431-7960

PROJECT NAME: COURTYARD  
PROJECT NO.: 98-45  
PROJECT: [blank]  
REFERENCE SHEET: [blank]

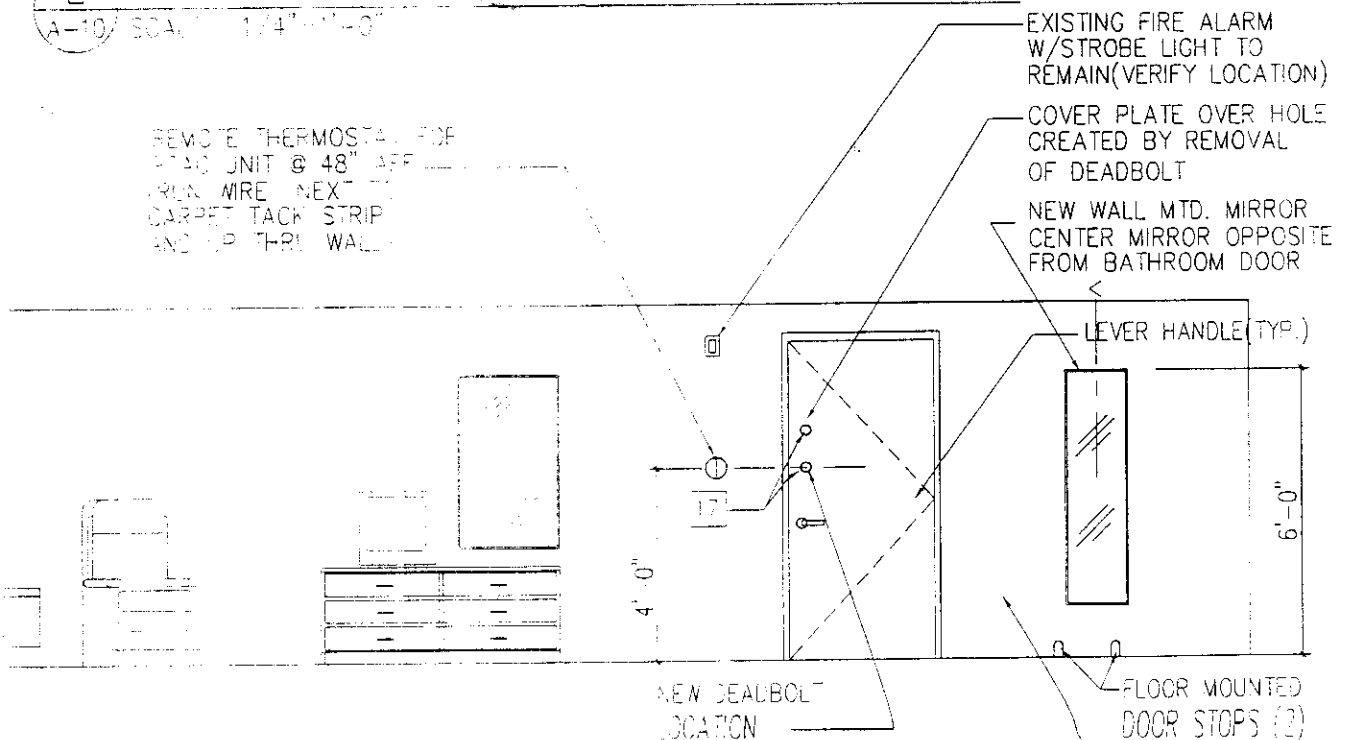
SHEET OF

A.9  
(ANSI)



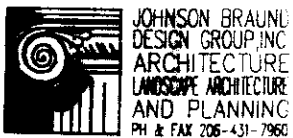
PROVIDE SPLATTER  
KNOCK-DOWN  
FINISH IF NOT  
ALREADY EXISTING  
SEE FINISH SCHEDULE

**E** ELEVATION AT KING ACCESSIBLE  
A-10 SCALE: 1/4" = 1'-0"



**F** ELEVATION AT KING ACCESSIBLE  
A-10 SCALE: 1/4" = 1'-0"

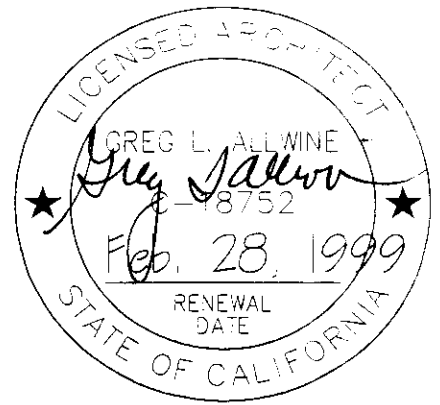
PROVIDE SPLATTER  
KNOCK-DOWN  
FINISH IF NOT  
ALREADY EXISTING  
SEE FINISH SCHEDULE



PROJECT NAME: COURTYARD  
PROJECT NO.: 98-45  
DESIGNED BY:  
DATE: [blank] SHEET

SHEET OF

A--10



TERMINATE  
WELCOME LIGHT  
EQ, EQ

REFPHCL  
13  
REFPHCL  
13

SWITCH  
FOR WELCOME  
LIGHT  
SWITCH TO CUT  
OFF DOOR BELL

PROVIDE SPLATTER  
KNOCK-DOWN WALL  
FINISH IF NOT  
ALREADY EXISTING.  
SEE FINISH SCHEDULE

The application of this plan and specification  
shall not be held to admit or approve the  
violation of any City Ordinance or State Law.

### 3 ELEVATION AT KING ACCESSIBLE

A-11 SCALE 1/4" = 1'-0"

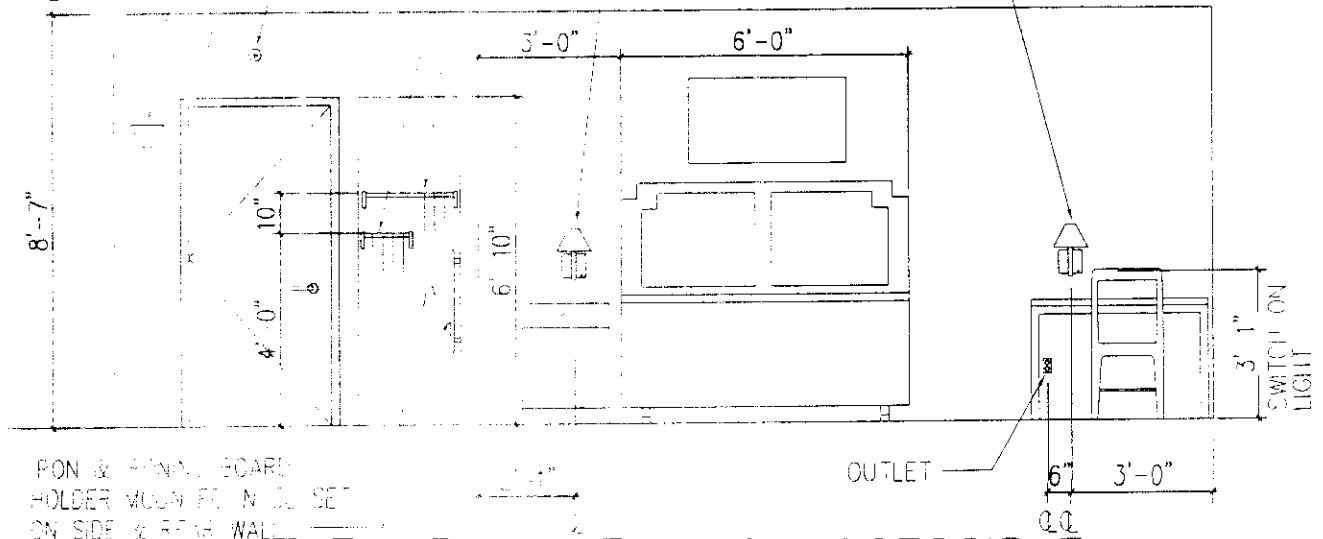
NEW SPRINKLER HEAD

PROVIDE SPLATTER  
KNOCK-DOWN WALL FINISH IF  
NOT ALREADY EXISTING  
SEE FINISH SCHEDULE

RELOCATED WELCOME  
LIGHT AT 72" A.F.F.

TWO CLOTHES RACKS. ONE 12" WIDE  
AT 48" AFF AND ONE 24" WIDE AT  
58" AFF PROVIDE BLOCKING AS REQ.

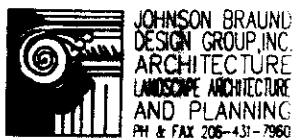
RELOCATED WALL  
LAMPS. TYPICAL  
MTD 3'-1" TO SWITCH A.F.F.



CON & FINISH BOARD  
HOLDER MOUNTED IN SET  
ON SIDE & REAR WALL

### 4 ELEVATION AT KING ACCESSIBLE

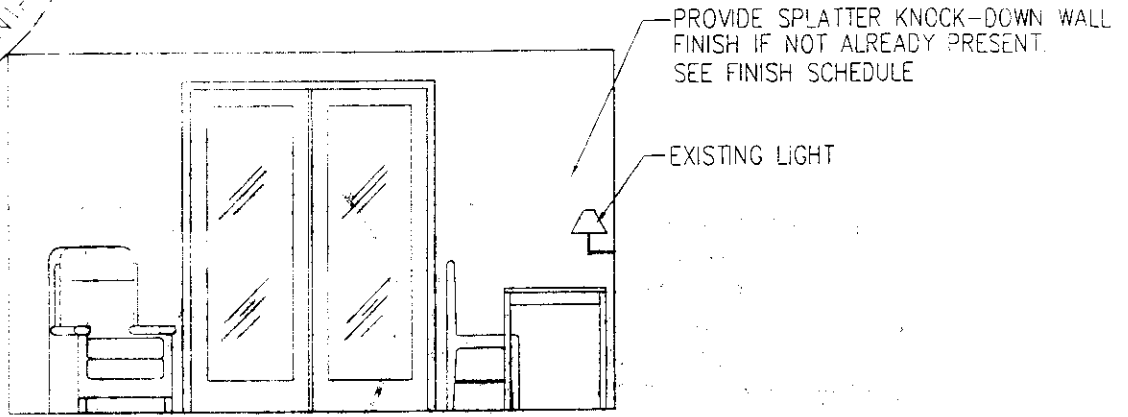
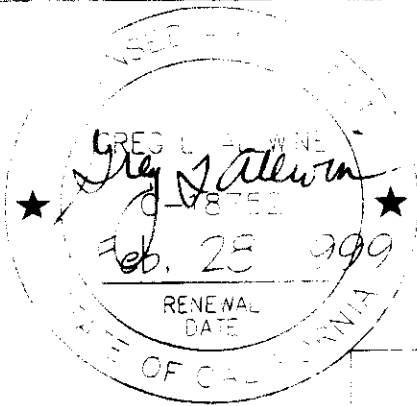
A-11 SCALE 1/4" = 1'-0"



PROJECT NAME: COURTYARD  
PROJECT NO: 98-45  
REVISIONS:  
REFERENCE SHEET:

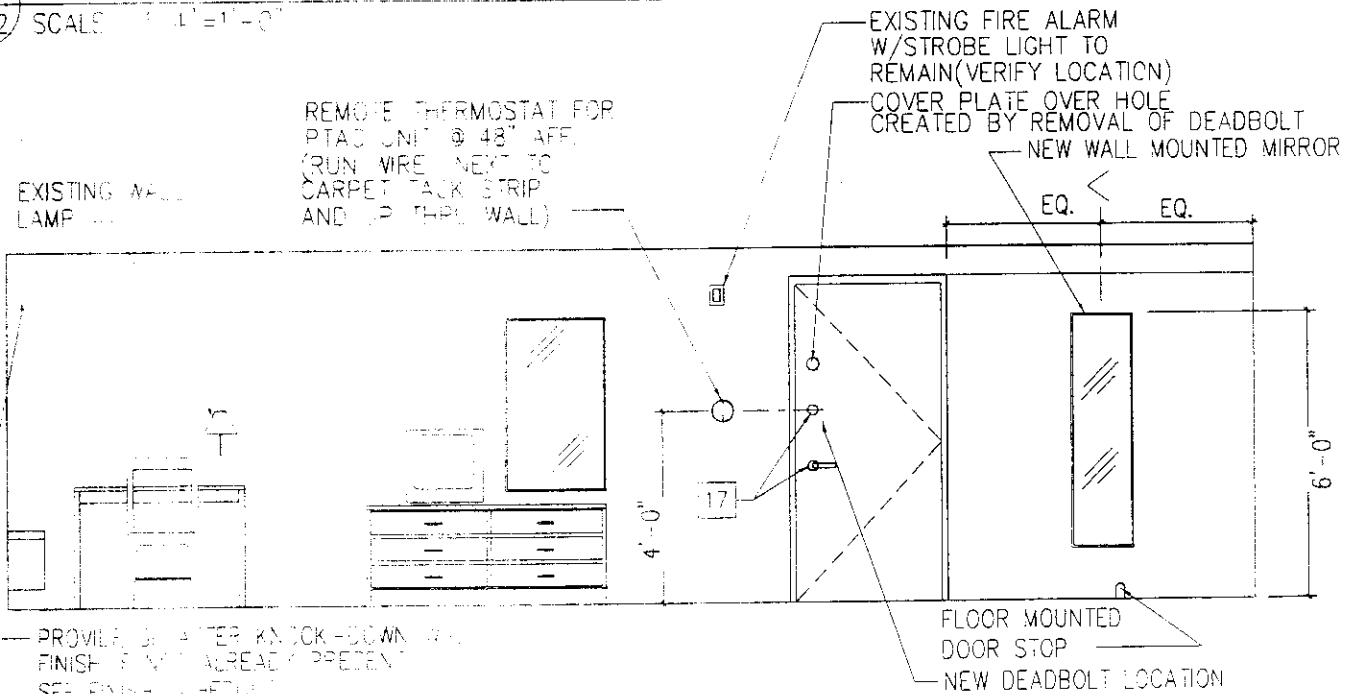
SHEET OF

A-11



ELEVATION AT DOUBLE/DOUBLE ACCESSIBLE

SCALE: 1/4" = 1'-0"



ELEVATION AT DOUBLE/DOUBLE ACCESSIBLE

SCALE: 1/4" = 1'-0"



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DESIGN GROUP, INC.  
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AND PLANNING  
PH & FAX 206-431-7960

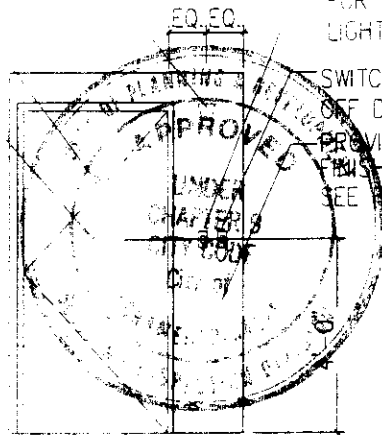
PROJECT NAME: COURTYARD  
PROJECT NO.: 98-45  
DESIGNED BY:  
REFERENCE SHEET

SHEET OF

A-12

WELCOME MAT  
 WELCOME MAT  
 WELCOME MAT

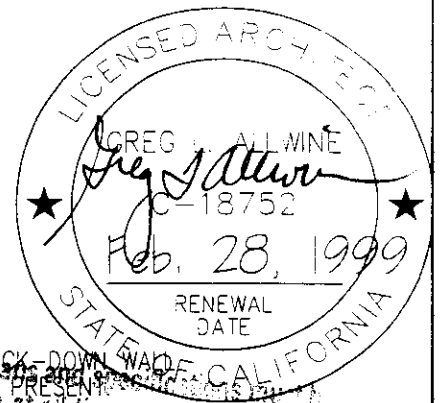
DOOR  
 DOOR  
 DOOR  
 DOOR



SWITCH FOR WELCOME LIGHT

SWITCH TO CUT OFF DOOR BELL

PROVIDE SPLATTER KNOCK-DOWN WALL FINISH IF NOT ALREADY PRESENT. SEE FINISH SCHEDULE



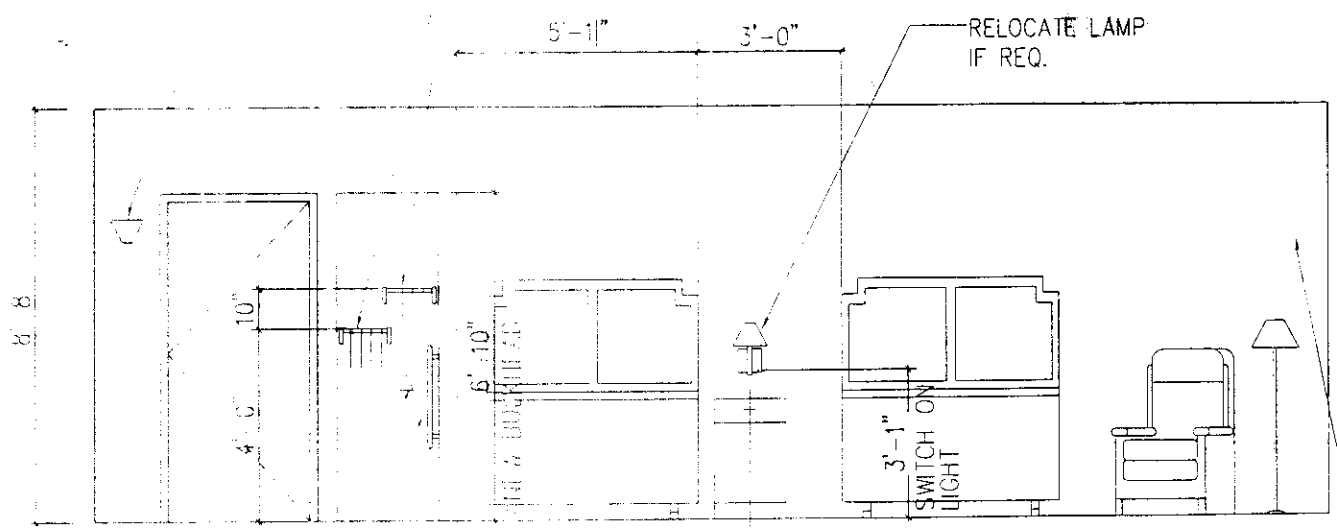
*This set of plans and specifications shall not be held to account or approved the violation of any City Ordinance or State Law.*

**K ELEVATION AT DOUBLE/DOUBLE ACCESSIBLE**

A-13 SCALE 1/4" = 1'-0"

RELOCATED WELCOME MAT AT 72" AFF

TWO 24" WIDE CLOTHES RACKS. ONE AT 48" AFF AND ONE AT 58" AFF. PROVIDE BLOCKING AS REQ. 21

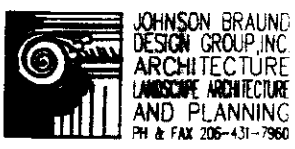


IRON & IRONING BOARD  
 HOLDER MOUNTED TO SIDE OF REAR WALL

PROVIDE SPLATTER KNOCK-DOWN WALL FINISH IF NOT ALREADY PRESENT. SEE FINISH SCHEDULE

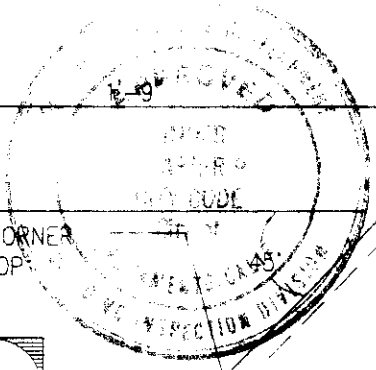
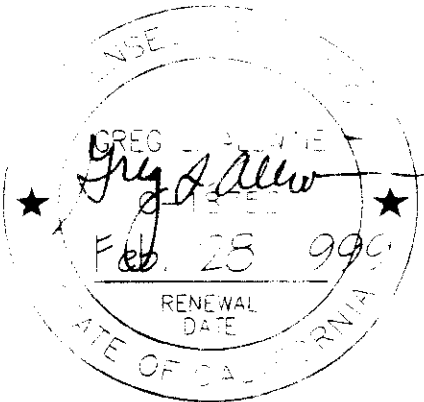
**L ELEVATION AT DOUBLE/DOUBLE ACCESSIBLE**

A-13 SCALE 1/4" = 1'-0"

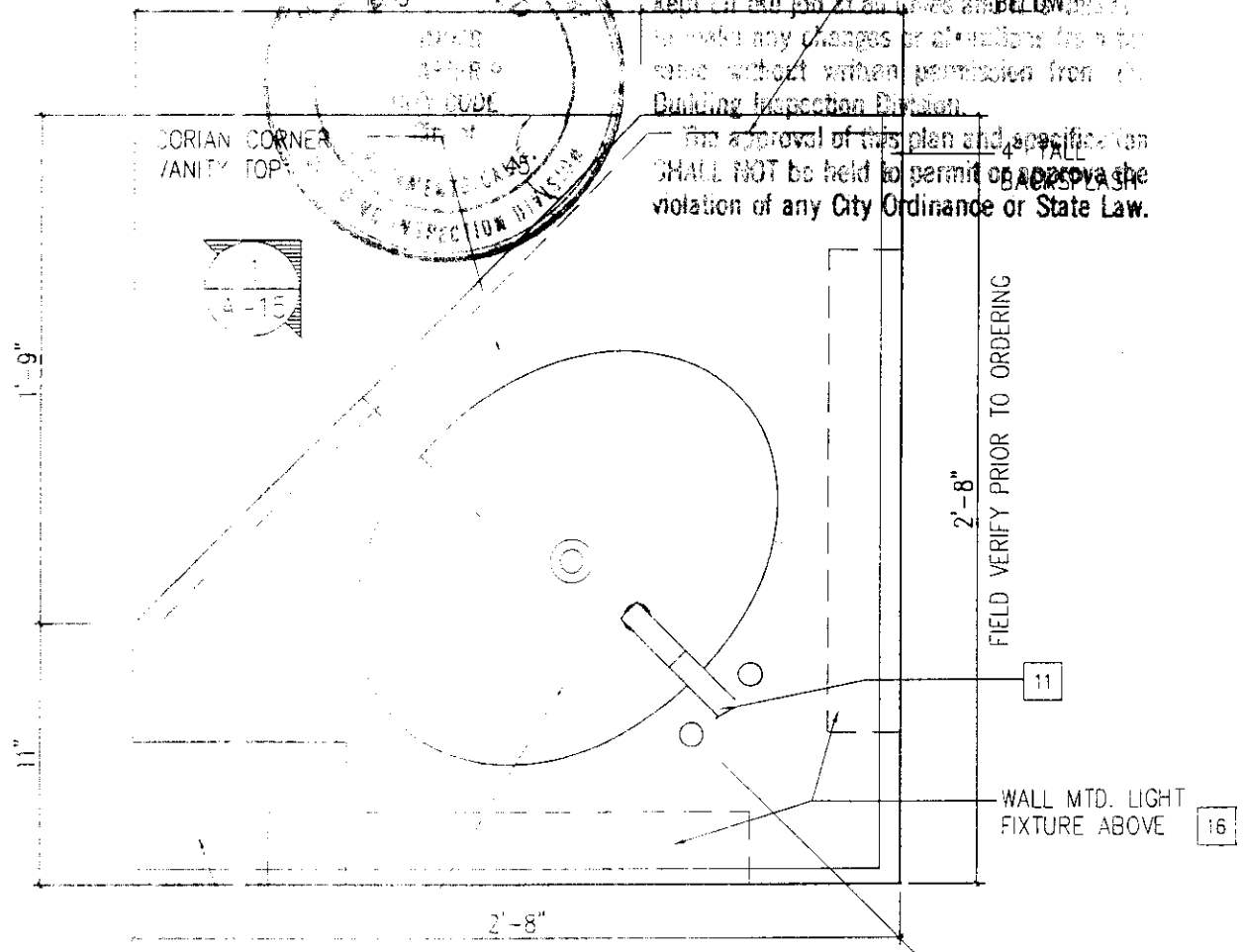


PROJECT NAME: COURTYARD  
 AREA OF NO.: 98-45  
 SHEET NO.:  
 SHEET OF

A-13



This set of plans and specifications shall be kept on file in the office of the architect and shall be available for review by the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or excuse the violation of any City Ordinance or State Law.



CORIAN CORNER VANITY TOP



2'-8" FIELD VERIFY PRIOR TO ORDERING

11

WALL MTD. LIGHT FIXTURE ABOVE 16

- INTEGRAL LAVATORY WITH ACCESSIBLE PROFILE
- SYNTHETIC MARBLE
- SHELF 6" X 3" SET IN TO TOP OF BACKSPLASH

DETAIL OF CORNER VANITY

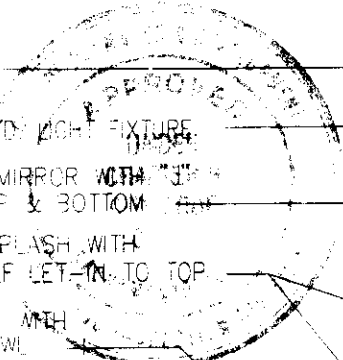
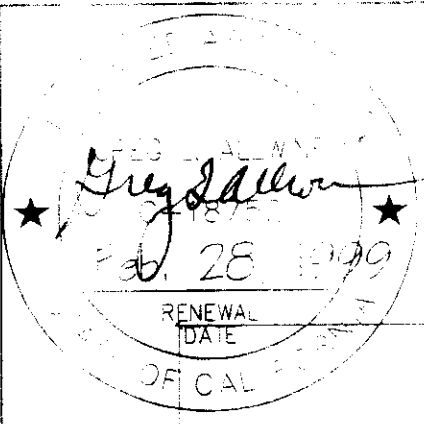


JOHNSON BRAND DESIGN GROUP, INC.  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
AND PLANNING  
PH & FAX: 206-431-7960

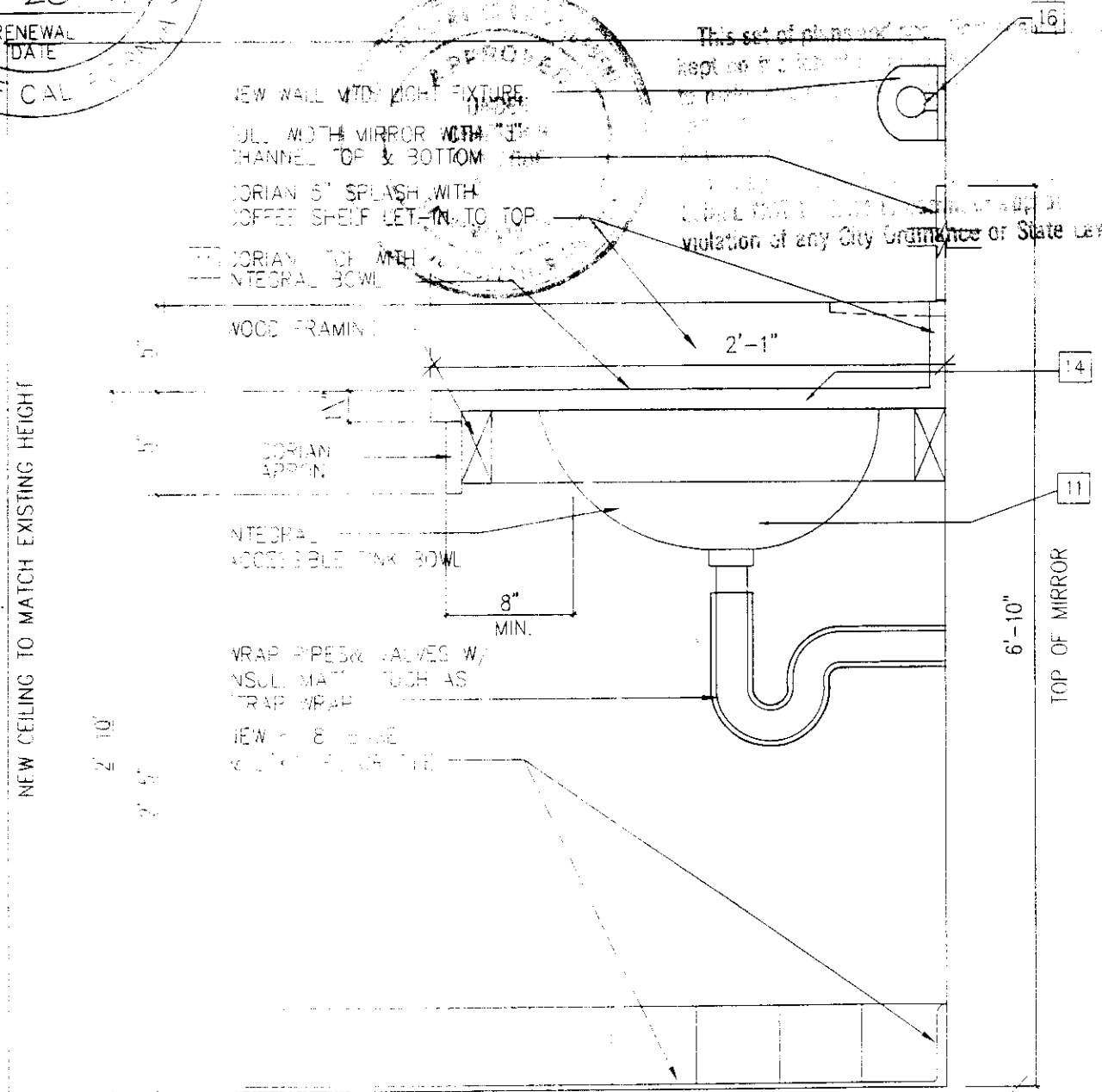
PROJECT NAME: COURTYARD  
PROJECT NO: 98-45  
DATE: 1/27/99  
SHEET NO: 16

SHEET OF

A-14



7'-5" VERTICALLY  
NEW CEILING TO MATCH EXISTING HEIGHT



DETAIL OF ACCESSIBLE LAV. COUNTER



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DESIGN GROUP, INC  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
AND PLANNING  
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PROJECT NAME: COURTYARD  
PROJECT NO: 98-45  
DATE: 1/20/00  
SHEET NO: 11

SHEET OF

A-15



EQUIPMENT AS MANUFACTURED  
 EDWARDS-COMPLIANCE DATA TAG  
 NUMBER 1004

ELECTRICAL BOX  
 FOR #538-F5

ELECTRICAL BOX  
 FOR #50 AND #47-F5

BELL  
 EDWARDS #620 W/ #47-F5  
 (CORRIDOR)

SWITCH PLATE  
 SHALL BE  
 ENGRAVED TO  
 SAY "DOOR  
 BELL FOR  
 HEARING  
 IMPAIRED GUESTS"

ELECTRICAL BOX  
 W/ SWITCH

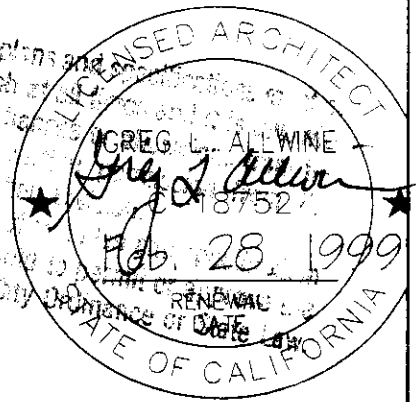
SWITCH (ON/OFF)  
 INSIDE CORRIDOR

AUDIBLE ALARM

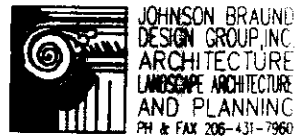
STROBE

TRANSFORMER-LOCATE  
 ABOVE SUSPENDED  
 CORRIDOR CEILING

GROUNDING METAL  
 ELECTRICAL BOX FOR  
 TRANSFORMER #591  
 2-GANG W/593 DEVICE  
 PLATE



WIRING DIAGRAM OF VISUAL/AUDIBLE NOTIFICATION  
 AND STEERING FOR HEARING IMPAIRED & ACCESSIBLE UNITS

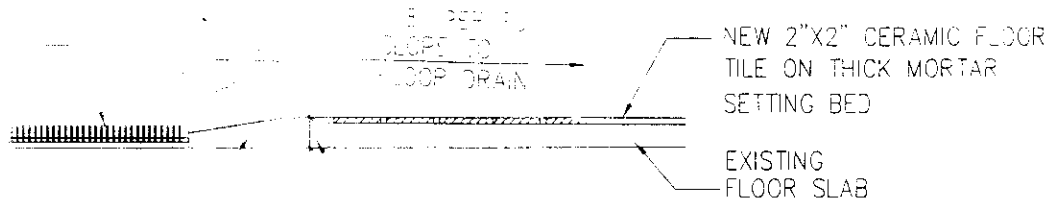


PROJECT NAME: COURTYARD  
 PROJECT NO.: 98-45  
 DESIGNED BY:  
 REFERENCE SHEET:

SHEET OF

A-16

DOOR FRAME  
CARPET  
& PAINT

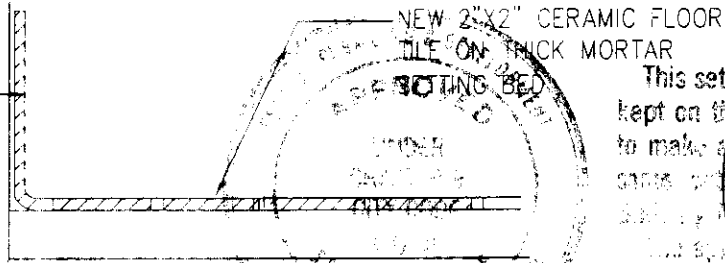


DOOR WIDTH  
MARBLE THRESHOLD  
BEVELED @ 1/4"

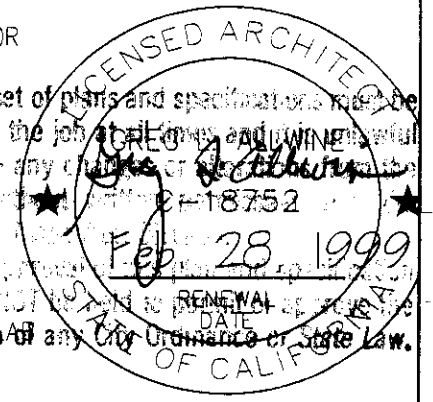
GEN. CON. TO  
VERIFY FT.

1 THRESHOLD DETAIL @ BATHROOM DOOR  
SCALE: 1/2" = 1'-0"

8"x8" CERAMIC BASE  
TO MATCH FLOOR  
FLOOR TILE SET  
IN MORTAR BED  
NOT ON TOP OF  
FLOOR TILE



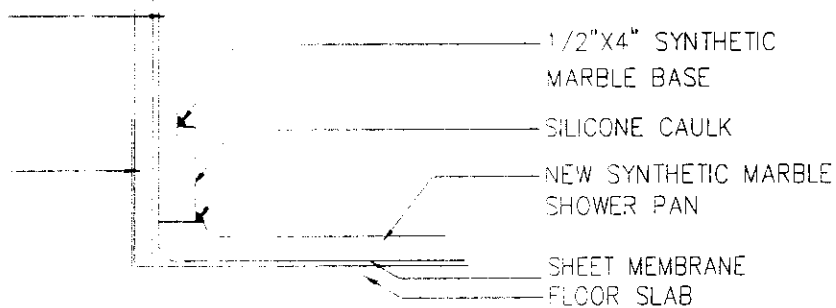
This set of plans and specifications shall be kept on the job at all times and it is the responsibility of the contractor to make any changes or additions to these plans and specifications. No part of these plans and specifications shall be used for any other project without the written consent of the architect. RENEWAL DATE: Feb 28, 1999. NOT VALID FOR ANY CITY ORDINANCE OR STATE LAW.



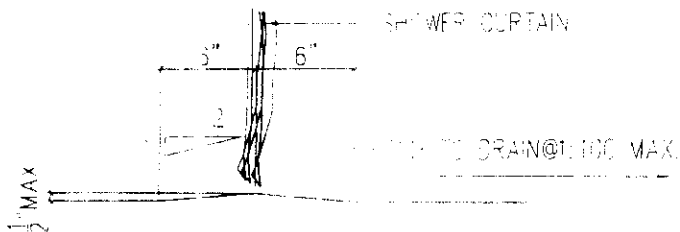
2 BASE DETAIL IN BATHROOM  
SCALE: 1/2" = 1'-0"

NEW SYNTHETIC  
MARBLE WALL  
PANEL

MOISTURE  
RESISTANT  
GYP. BD.



3 BASE DETAIL @ NEW SHOWER PAN  
SCALE: 1/2" = 1'-0"



4 THRESHOLD DETAIL @ SHOWER  
SCALE: 1/2" = 1'-0"



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DESIGN GROUP, INC.  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
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PH & FAX 206-431-7960

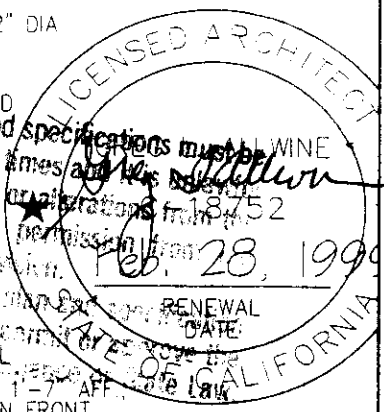
PROJECT NAME: COURTYARD  
PROJECT NO.: 98-45  
DATE: 1/99  
REFERENCED SHEET:

SHEET 7 OF

A-17

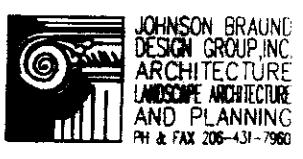
CODES OF FINISHES

GRAB BAR PROVIDE BLOCKING IN WALL	PAR 1004 1/2" DIA. 36" W/OUT VINYL COVERED, WHITE. 1-1/2" DIA
GRAB BAR PROVIDE BLOCKING IN WALL	PAR 1004 1/2" DIA. 36" W/OUT VINYL COVERED, WHITE. 1-1/2" DIA
GRAB BAR PROVIDE BLOCKING IN WALL	SPARING MODEL PLO-42 1/2" DIA VINYL COVERED, WHITE. 1-1/2" DIA
TOILET TISSUE HOLDER (PRESSED)	EXISTING TO BE REUSED
MIRROR (2 PIECE)	1/4" GLASS MIRROR W/ STAINLESS STEEL J-MODEL AT TOP AND BOTTOM FULL WIDTH OF VANITY ON BOTH WALLS
SHOWER CURTAIN RING TOILET TISSUE HOLDER (DOUBLE)	EXISTING TO BE REUSED
SHOWER GRAB BAR	SPARING MODEL PLO-42 1/2" DIA VINYL COVERED, WHITE
TOWEL BAR	EXISTING TO BE REUSED
SOAP DISH	THREE SYNTHETIC MARBLE W/OUT HANDLES MADE BY INTROSOL
WATER CLOSET (HANDICAPPED)	EXISTING DOES NOT HAVE A SEAT HEIGHT BETWEEN 1'-5" TO 1'-7" AFF. REPLACE WITH ACCESSIBLE MODEL BY BRIGGS # 4738 WITH OPEN FRONT SEAT WITH COVER BY BENEKE # 521 H. OR EQUAL
LABATORY (HANDICAPPED)	ACCESSIBLE CDRIAN INTEGRAL BOWL W/ DELTA #52C MPU FAUCET. INSULATE "P"-TRAP WITH HANDI-LAV GUARD INSULATION KIT #102W OR "TRAP-WRAP"
WHEELCHAIR SHOWER:	INTROSOL BARRIER FREE SHOWER PACKAGE "SULTRA ROLL-IN SHOWER ASSEMBLY" W/OUT RAMP. PROVIDE HAND HELD SHOWER W/ 24" WALL BAR, 60" CHROME PLATED FLEXIBLE HOSE DELTA #404-LHP-H79 WITH RPW-1111-HDF PRESSURE BALANCED VALVE.
DOUBLE ROBE HOOK (BEHIND BATH DOOR)	EXISTING TO BE REUSED. MOUNT AT 48" A.F.F.
VANITY TOP	3/4" THK CDRIAN VANITY TOP W/ INTEGRAL ACCESSIBLE BOWL WITH 4" HIGH SIDE AND BACKPLASH 1/2" THICK, COLOR TO BE CAMEO WHITE. LET IN 6-1/2"X9" COFFEE SHELF.
TOILET TISSUE HOLDER (SINGLE) WITH RESERVE	EXISTING TO BE REUSED
VANITY LIGHT FIXTURE	RT-87-11, POLISHED BRASS, 26" LONG BY PROGRESS LIGHTING. (703) 517-7385
PROVIDE NEW LOCKSET & DEADBOLT	COMMUNICATING LOCK: 28-24-6G15-3 OSL, FINISH TO MATCH EXISTING. DEADBOLT 429 X FINISH TO MATCH EXISTING. (VERIFY THAT HARDWARE WILL FIT EXISTING. PREPARATION & MOUNT AT THAT HEIGHT) PROVIDE BRASS COVER PLATE OVER EXISTING DEAD BOLT LOCATION REUSE EXISTING, PROVIDE WIRING AS REQUIRED
WELCOME LIGHT	MODEL # FR-400 OR 401 BY TACC INC. 30" WIDE
SHOWER BENCH	PROVIDE BLOCKING IN WALL, TEL 800-338-1002
POUR COFFEE MAKER	PROVIDED BY MARRIOTT
CLOTHES RACK	2-4" WIDE CLOTHES RACKS BY BEVERLY COLOR TO MATCH FURNISHING
TELEPHONE	SUPPLIED BY MARRIOTT
PEEPHOLE	ROCKWOOD #620, US 10B
SHOWER VALVE	DELTA #404-LHP-H79 PRESSURE BALANCED VALVE W/PULSATING SHOWER HEAD
DOOR & HARDWARE	36" X 80" X 1 1/2" SOLID CORE, 20 MINUTE FIRE RATED DOOR W/PLASTIC LAMINATE. FINISH IN BRONZE METAL DOOR FRAME. PROVIDE 1-1/2" PAIR HINGES T2714, 4-1/2" X 4-1/2" SPRING DOOR LOCKSET 28.65U65KL, 2 HINGE PIN STOPS 69F14 & 3 SILENCERS 1.337A ALL FINISHES TO MATCH EXISTING.

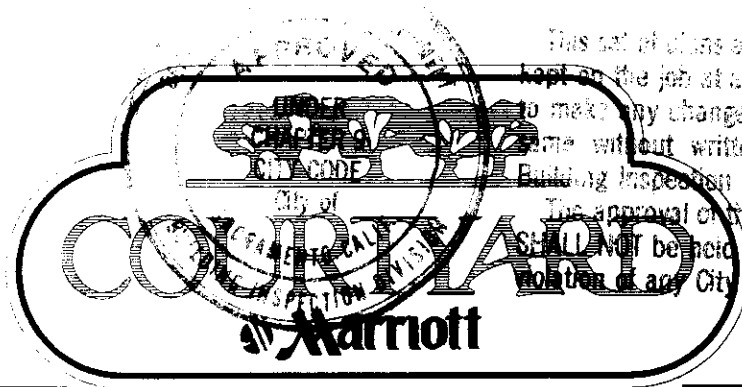


ACCESSORIES AND FIXTURE LEGEND

- 1. PROVIDE WOOD BLOCKING OR OTHER ATTACHMENT MATERIAL BEHIND GYPSUM BOARD PARTITION FOR ATTACHMENT OF FIXTURES, FITTINGS AND ACCESSORIES.
- 2. GRAB BARS MUST BE ABLE TO RESIST A PULL FORCE OF 300 LBS. EXERTED AT ANY POINT IN ANY DIRECTION.
- 3. SYMBOL INDICATES TOILET FIXTURES & ACCESSORIES. SEE THIS SHEET FOR ACCESSORIES SCHEDULE.
- 4. MIRROR ABOVE VANITY IS TO BE SUPPLIED WITH A CHROME FULL WIDTH J-CHANNEL FASTENED TO WALL AT TOP & BOTTOM.
- 5. ALL ELEC. OUTLETS ARE TO BE PREFINISHED IVORY.



PROJECT NAME: COURTYARD  
 PROJECT NO: 98-45  
 DRAWING NO: 98-45  
 SHEET OF



This set of plans and specifications shall be kept on the job at all times and it is intended to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification shall not be held to permit or approve the violation of any City Ordinance or State Law.

# COUTYARD BY MARRIOTT

2101 RIVER PLAZA  
SACRAMENTO, CA 95833

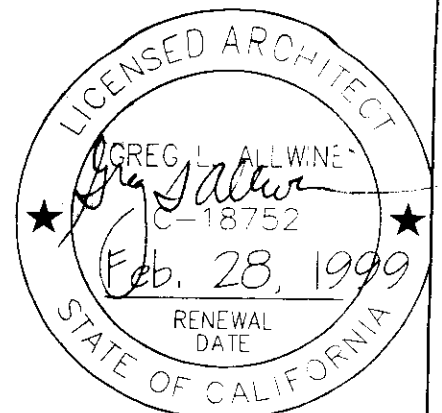
## ADA IMPROVEMENTS

PROJECT No. 9845  
PHASE 5

JOHNSON BRAUND DESIGN GROUP, INC.

130 ANDOVER PARK EAST, SUITE 301

SEATTLE, WA 98188



H/LC PARKING

429	427	425	423	421	419	417	415	411	409	407	405	403	401
329	327	325	323	321	319	317	315	311	309	307	305	303	301
229	227	225	223	221	219	217	215	211	209	207	205	203	201
129	127	125	123	121	119	117	115	111	109	107	105	103	101

Stairs

← Entrance

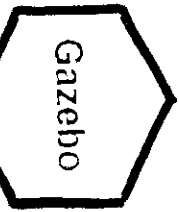
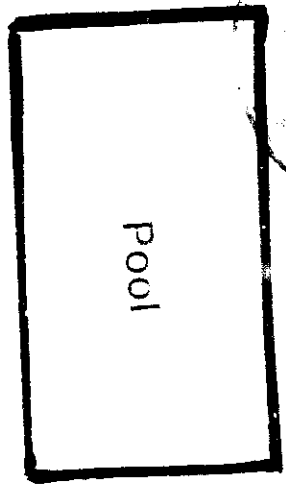
Entrance

This plan of plans and specifications must be  
 for the City of Chicago and  
 to make any changes or alterations in the  
 plan without written permission of the  
 Building Department, City of Chicago.  
 The approval of the plan is not  
 shall not be held to permit or approve the  
 violation of any City Ordinance or State Law.

Welcome to the  
 Courtyard

438	436	434	432	430	428	426	424	422	420	418	416	414	412	410	408	406	404	402	400	398	396	394	392	390	388	386	384	382	380	378	376	374	372	370	368	366	364	362	360	358	356	354	352	350	348	346	344	342	340	338	336	334	332	330	328	326	324	322	320	318	316	314	312	310	308	306	304	302	300	298	296	294	292	290	288	286	284	282	280	278	276	274	272	270	268	266	264	262	260	258	256	254	252	250	248	246	244	242	240	238	236	234	232	230	228	226	224	222	220	218	216	214	212	210	208	206	204	202	200	198	196	194	192	190	188	186	184	182	180	178	176	174	172	170	168	166	164	162	160	158	156	154	152	150	148	146	144	142	140	138	136	134	132	130	128	126	124	122	120	118	116	114	112	110	108	106	104	102	100	98	96	94	92	90	88	86	84	82	80	78	76	74	72	70	68	66	64	62	60	58	56	54	52	50	48	46	44	42	40	38	36	34	32	30	28	26	24	22	20	18	16	14	12	10	8	6	4	2	0
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433	431	429	427	425	423	421	419	417	415	413	411	409	407	405	403	401	399	397	395	393	391	389	387	385	383	381	379	377	375	373	371	369	367	365	363	361	359	357	355	353	351	349	347	345	343	341	339	337	335	333	331	329	327	325	323	321	319	317	315	313	311	309	307	305	303	301	299	297	295	293	291	289	287	285	283	281	279	277	275	273	271	269	267	265	263	261	259	257	255	253	251	249	247	245	243	241	239	237	235	233	231	229	227	225	223	221	219	217	215	213	211	209	207	205	203	201	199	197	195	193	191	189	187	185	183	181	179	177	175	173	171	169	167	165	163	161	159	157	155	153	151	149	147	145	143	141	139	137	135	133	131	129	127	125	123	121	119	117	115	113	111	109	107	105	103	101	99	97	95	93	91	89	87	85	83	81	79	77	75	73	71	69	67	65	63	61	59	57	55	53	51	49	47	45	43	41	39	37	35	33	31	29	27	25	23	21	19	17	15	13	11	9	7	5	3	1	0
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Laundry Room

Weight Room

Whirlpool

Meeting Room A  
 Meeting Room B

Lounge

Men  
 Women

Courtyard Cafe

Lobby

Front Desk

Entrance

Entrance