

CITY PLANNING COMMISSION

927-10th Street, Ste 300- SACRAMENTO, CALIFORNIA 95814

APPLICANT	G. W. Consulting Engineers, 2400 Glendale Lane, Ste. G, Sacramento, CA		
OWNER	Centrex Homes of Calif., 10144 Fair Oaks Blvd., Fair Oaks, CA 95628		
PLANS BY	G. W. Consulting Engineers, 2400 Glendale Lane, Ste. G., Sacramento, CA		
FILING DATE	5-4-82	50 DAY CPC ACTION DATE	REPORT BY SD:bw
NEGATIVE DEC	5-28-82	EIR	ASSESSOR'S PCL NO. See*

APPLICATION:

1. Environmental Determination
2. Rezone 18 existing corner lots from Single Family R-1 to Townhouse, R-1A
3. Special Permit for the development of 36 halfplex units
4. Subdivision Modification to waive sewer and water services
5. Tentative Map

*117-532-04 & 06; 117-540-01,11,17,19,22,34,37,41, 48,54,57,72,84,85

LOCATION: East of Franklin Boulevard, south of Ehrhardt Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to develop 18 corner lots with 36 halfplex units.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 Valley Hi Community Plan Designation: Light Density Residential
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single Family; R-1
South: Single Family; R-1
East: Single Family; R-1
West: Single Family; R-1

Parking Required: 36 spaces
Parking Provided: 36 spaces
Parking Ratio: 1 space per dwelling unit
Square Footage of Building: 1126,975
Topography: Flat
Street Improvements/Utilities: Existing
North/South Orientation: 61 percent

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: At the May 26, 1982 meeting, by a vote of five ayes and four absent, the Subdivision Review Committee voted to recommend approval of the map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

001394

APPLC. NO. P82-118

MEETING DATE June 10, 1982

CPC ITEM NO. 15
888100

1. Place the following note on the final map: Separate water and sewer service connections must be paid for and installed at the time of obtaining building permits;
2. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments;
3. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
4. Sewer line shall be extended to Lot 11A.

BACKGROUND INFORMATION: The subject site consists of various corner lots located in Ehrhardt Estates. The subdivision consisted of 196 lots located on 43.9+ acres. The project, P-8085, was approved by the City Council on April 4, 1978. Housing mix was not addressed at that time.

STAFF EVALUATION: Staff has the following observations and comments with regard to this project:

1. Duplex units are allowed on all corner lots in the R-1 zone. The proposed project therefore does not represent an increase in density or a change in the character of the neighborhood. The proposal will allow for individual ownership of each unit. Staff has no objection to the proposal.
2. The applicant is proposing units with both garages fronting on one street. Staff suggests that these be redesigned so that a garage fronts on each street. This will help relieve monotony on the corners and give units the appearance of an individual, detached structure rather than duplexes. Further, this design will result in less surfaced area concentrated in one location which results in less mass heating under summer sun and increasing temperature of the micro-environment.

The redesign should be reviewed and approved by the Planning Director prior to final map approval so that any changes in lot design to accommodate the units can be incorporated in the final map.

3. The applicant is proposing two and three-bedroom units with single car garages. Four outside elevations are proposed. Staff suggests, for additional variety and visual interest, that Unit A, Plan 1126,975, be designed with a hip roof treatment. Further, pillars at the front outside corners of Plan 1126,975 should be a variety of materials such as brick or rock. Finally, a decorative garage door treatment on the order of Unit B should be applied to Unit A of the same plan. These modifications can be reviewed and approved by the Planning Director at the time building permits are approved.

P82-118

June 10, 1982

ACCEPTED No. 15

001395

001395

001395

4. The Planning and Community Services Departments have determined that 0.403 acres of land are required for parkland dedication purposes, and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. Said appraisal shall be dated and submitted within 90 days prior to filing the final map.
5. The project achieves only 61 percent north/south lot orientation. Staff finds that because of the alignment of existing streets, additional lot and halfplex structure orientation is infeasible. Staff requests that all the units be constructed to meet the new State Residential Energy Conservation Building Standards scheduled to become effective in July 1982. A note referencing this requirement should be placed on the final map.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Rezone from R-1 to R-1A;
3. Approval of the Special Permit, subject to conditions and based on Findings of Fact to follow;
4. Approval of the Subdivision Modification to waive sewer and water services;
5. Approval of the Tentative Map, subject to conditions.

Conditions - Special Permit

- a. Plan 1126,975, Unit A, shall be redesigned with a hip roof treatment, and the garage fronts shall have a decorative design applied.
- b. *Affordability* Front pillars for Plan 1126,975 shall be of a variety of materials such as wood, brick and rock.
- c. Applicant shall redesign the structures to provide a garage fronting on each street.
- d. Design of these modifications shall be reviewed and approved by the Planning Director prior to issuance of building permits.

Findings of Fact - Special Permit

- a. The project as conditioned is based on sound principles of land use in that:
 - 1) an alternative type of housing and ownership potential is provided;
 - 2) the project provides for passive solar energy access.

- b. The project as conditioned will not be injurious to the surrounding properties in that it will not alter the characteristics of the area which consist of residential and vacant residential uses.
- c. The project is compatible with the 1965 Valley Hi Community Plan which designates the area Light Density Residential.
- d. The project is compatible with the 1974 General Plan which encourages alternative housing types.

Conditions - Tentative Map

- a. Applicant shall place the following note on the final map: The units shall be built to the new State Residential Energy Conservation Building Standards scheduled to become effective in July 1982, whether or not said standards then become effective.
- b. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments.
- c. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
- d. Sewer line shall be extended to Lot 11A.

TENTATIVE MAP FOR THE
 RESUBDIVISION OF LOTS 1, 11, 11A, 15, 15A, 17, 23, 11A, 11B, 14Z, 14S, 149,
 156, 161, 165, 180, 192 & 193
EHRHARDT ESTATES
 CITY OF SACRAMENTO
 MAY, 1982
 CALIFORNIA #100

OWNER/SUBDIVIDER:

CENTER HOMES
 1014 FAIR OAKS BLVD.
 FAIR OAKS, CA 95618
 (916) 961-3000

ENGINEERS:

GW CONSULTING ENGINEERS
 1400 GLENDALE LAKE
 SACRAMENTO, CA 95828
 (916) 488-1710

LEGAL DESCRIPTION:

LOTS 1, 11, 11A, 15, 15A, 17, 23, 11A, 11B, 14Z, 14S, 149, 156, 161, 165, 180, 192 & 193
 OF EHRHARDT ESTATES, BOOK 129 OF MAPS, MAP NO. 6

APN:

117-537-440, 117-534-047, 117-540-1, 11, 11A, 17, 19, 23, 54, 57, 61, 65, 67, 71, 75, 77, 81, 85

PUBLIC IMPROVEMENTS:

EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT
 ESTATES ON FILE WITH CITY OF SACRAMENTO

ZONING:

EXIST: R-1; PROPOSED: R-1A CITY OF SACRAMENTO

FIRE:

CITY OF SACRAMENTO

SCHOOLS:

ELK GROVE SCHOOL DISTRICT

WATER/DRAINAGE:

CITY OF SACRAMENTO

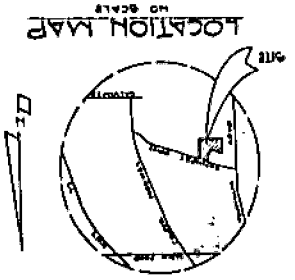
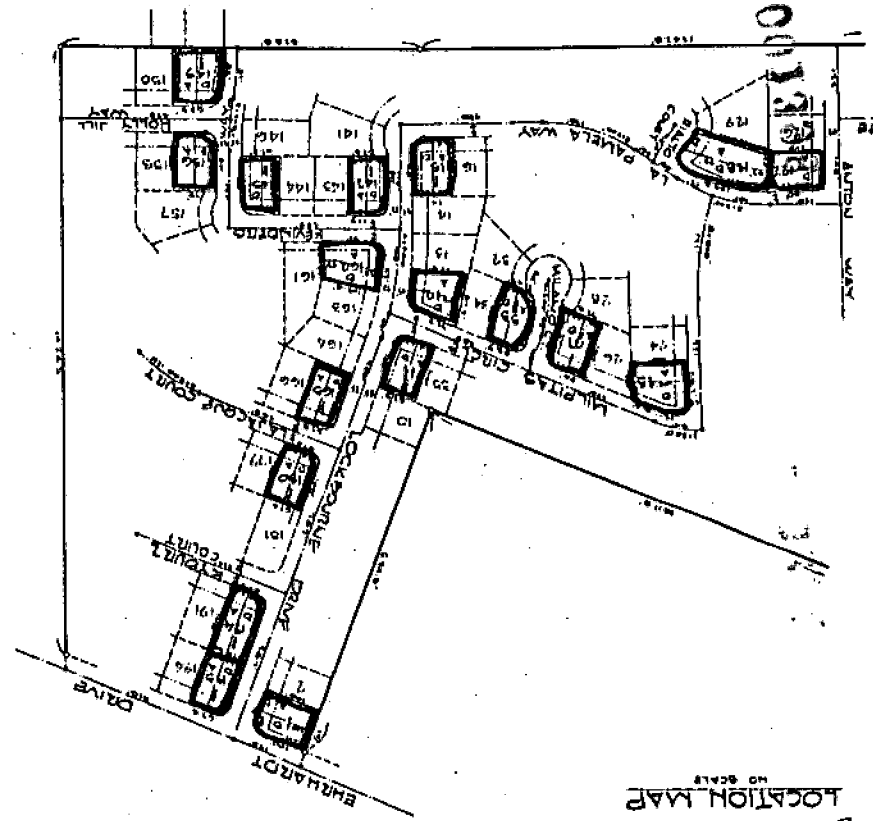
SEWER:

SANITATION DISTRICT #1

PARKS:

CITY OF SACRAMENTO

EXHIBIT A

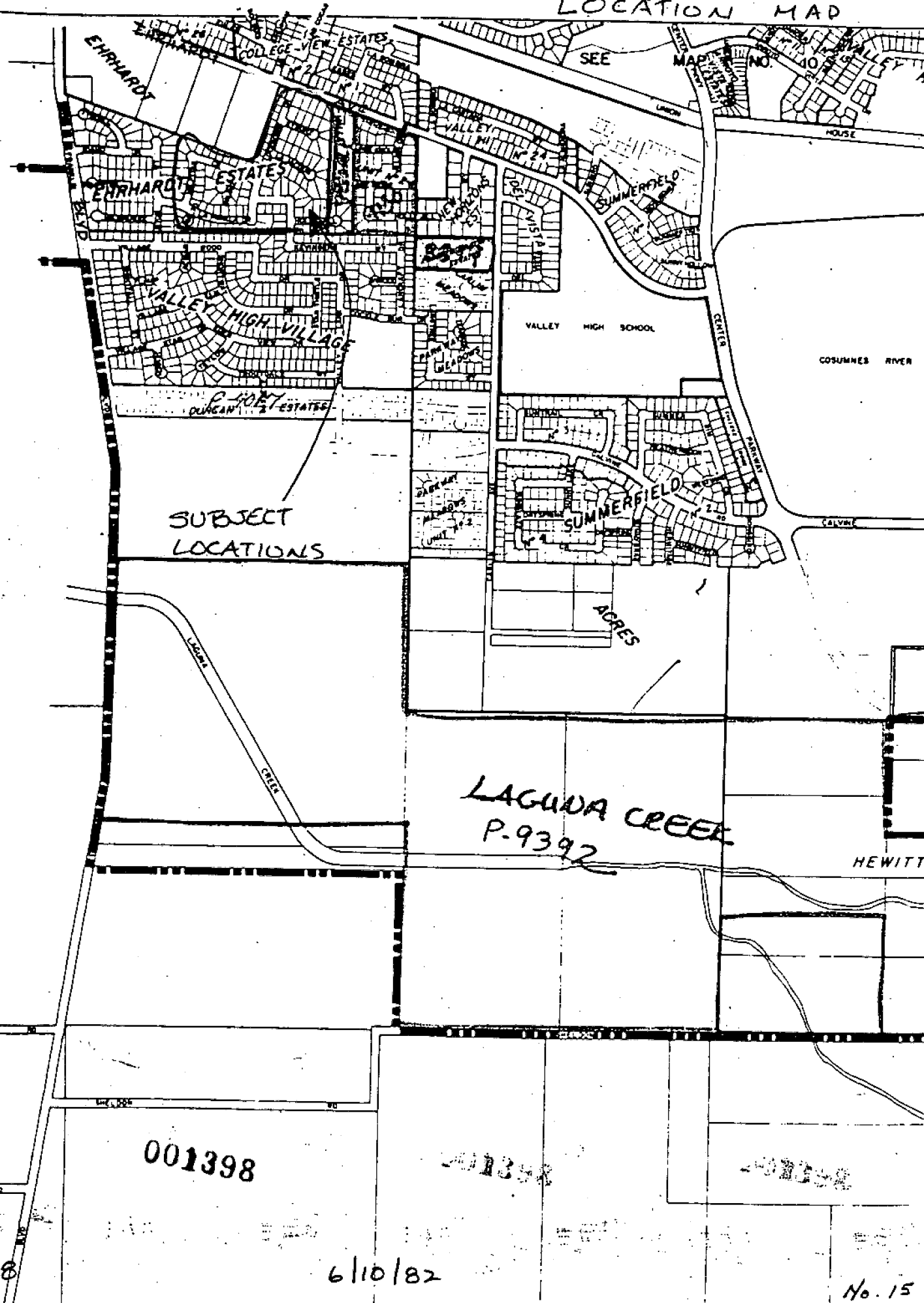


P 82118 6/10/82

No. 15

TENTATIVE MAP FOR THE RESUBDIVISION OF LOTS 1, 11, 11A, 15, 15A, 17, 23, 11A, 11B, 14Z, 14S, 149, 156, 161, 165, 180, 192 & 193 OF EHRHARDT ESTATES CITY OF SACRAMENTO, CALIFORNIA		SHEET NO. 1 TOTAL SHEETS 1	DATE: MAY 1982		GW CONSULTING ENGINEERS 1400 GLENDALE LAKE SACRAMENTO, CALIFORNIA 95828 (916) 488-1710	PROJECT NO. 82-118 SHEET NO. 1	SCALE: AS SHOWN	DRAWN BY: [] CHECKED BY: []	CITY OF SACRAMENTO PLANNING DEPARTMENT 1515 K STREET SACRAMENTO, CA 95811 (916) 445-2100
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LOCATION MAP



SUBJECT LOCATIONS

LAGUNA CREEK
P.9392

001398

001398

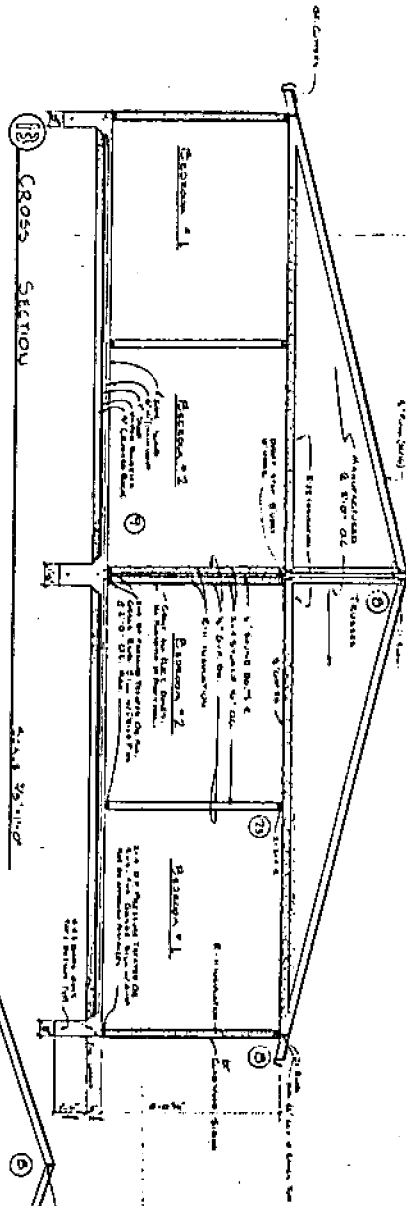
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P.82118

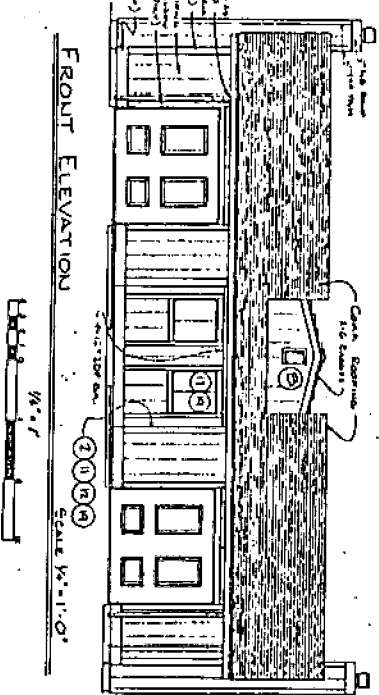
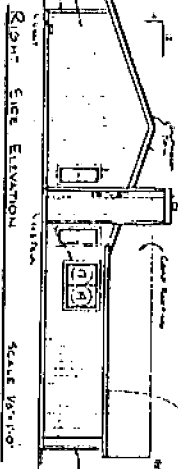
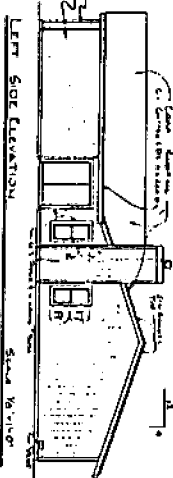
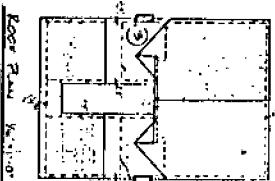
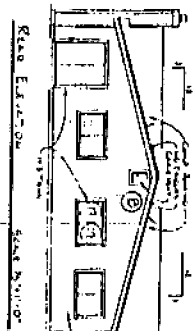
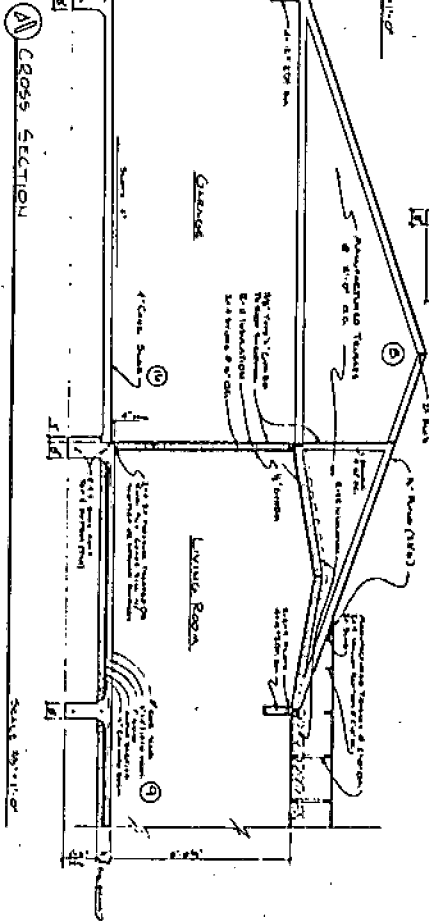
6/10/82

No. 15

OUTSIDE ELEVATIONS



- 1. All exterior construction shall comply with the following:
- 2. All exterior walls shall be finished with stucco.
- 3. All exterior doors shall be finished with stucco.
- 4. All exterior windows shall be finished with stucco.
- 5. All exterior trim shall be finished with stucco.
- 6. All exterior roof shall be finished with asphalt shingles.
- 7. All exterior roof shall be finished with asphalt shingles.
- 8. All exterior roof shall be finished with asphalt shingles.
- 9. All exterior roof shall be finished with asphalt shingles.
- 10. All exterior roof shall be finished with asphalt shingles.
- 11. All exterior roof shall be finished with asphalt shingles.
- 12. All exterior roof shall be finished with asphalt shingles.
- 13. All exterior roof shall be finished with asphalt shingles.
- 14. All exterior roof shall be finished with asphalt shingles.
- 15. All exterior roof shall be finished with asphalt shingles.



001416

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001416

P 82118

6/10/82

DATE	9-81
DRAWN	PA
JOB	DI-01-11
SCALE	As Shown
CHECKED	
DRAWN	

EXTERIOR ELEVATIONS, ROOF PLAN, CROSS SECTIONS	
CENTEX HOMES	
10144 FAIR OAKS BLVD. (S.W.) - 461-4000	
FAIR OAKS, CA 95620	

ENGINEERING BY:	PLAN
	12556

SHAW & ASSOCIATES, INC.	
BOB C. SHAW LIC. NO. 772	
BUILDING DESIGNER - LAND PLANNER	
1712-A FAIR OAKS BLVD. (S.W.) - 464-2345	
CARMICHAEL CALIFORNIA 95608	
A DURING HAVING A TOTAL OF 1536 SQ. FT. OF LIVING AREA	

REVISIONS	BY
1	AL
2	AL
3	AL
4	AL
5	AL
6	AL
7	AL
8	AL
9	AL
10	AL

No. 15

TENTATIVE MAP FOR THE
 RESUBDIVISION OF LOTS 1, 11, 17, 15, 25, 27, 33, 117, 118, 142, 145, 149,
 156, 161, 165, 180, 191 & 193

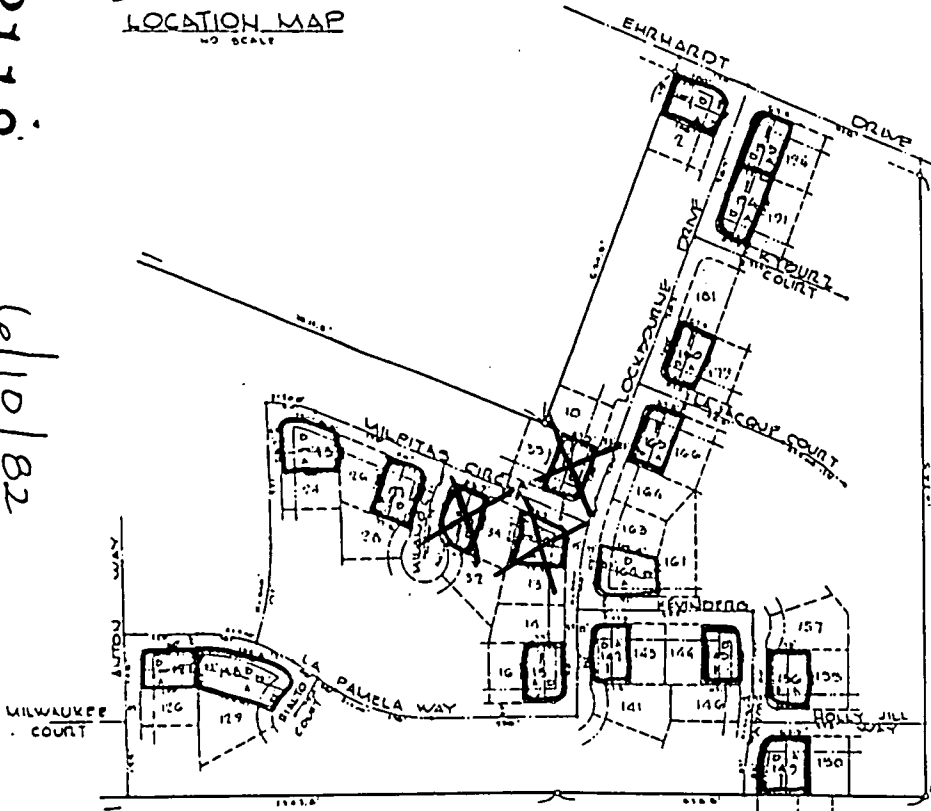
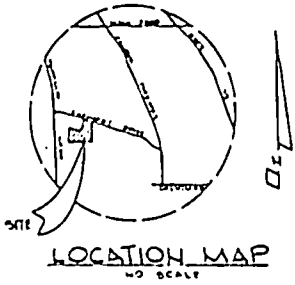
EHRHARDT ESTATES

CITY OF SACRAMENTO
 MAY, 1982

CALIFORNIA
 1" = 100'

P 82118

6/10/82



X DELETED BY APPLICANT

OWNER / SUBDIVIDER:

CENTEX HOMES
 10144 FAIR OAKS BLVD.
 FAIR OAKS, CA 95618
 (916) 961-3000

ENGINEER:

GW CONSULTING ENGINEERS
 2400 GLENDALE LAVE
 SACRAMENTO, CA 95826
 (916) 488-1720

LEGAL DESCRIPTION:

LOTS 1, 11, 17, 15, 25, 27, 33, 117, 118, 142, 145, 149, 156, 161, 165, 180, 191 & 193
 OF EHRHARDT ESTATES, BOOK 129 OF MAPS, MAP NO. G

APN:

117-531-416; 117-534-G+7; 117-540-1, 11, 17, 19, 27, 34, 37, 41, 48, 54, 57, 72, 84 & 85

PUBLIC IMPROVEMENTS:

EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT
 ESTATES ON FILE WITH CITY OF SACRAMENTO

ZONING:

EXIST: R-1 ; PROPOSED: R-1A

FIRE:

CITY OF SACRAMENTO

WATER / DRAINAGE:

CITY OF SACRAMENTO

SCHOOLS:

ELK GROVE SCHOOL DIST.

SEWER:

SANITATION DISTRICT #1

PARKS:

CITY OF SACRAMENTO

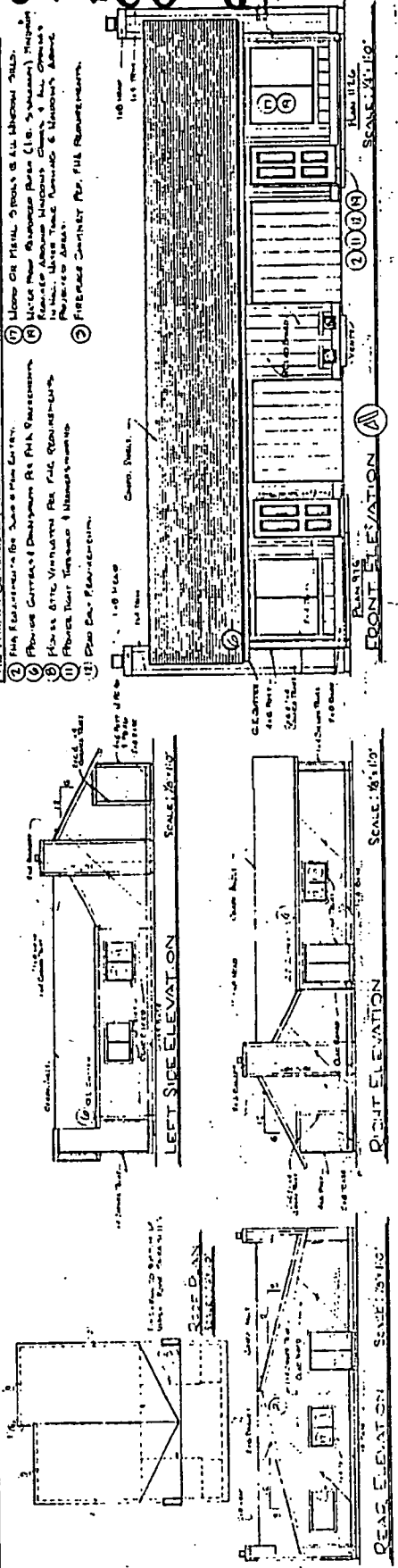
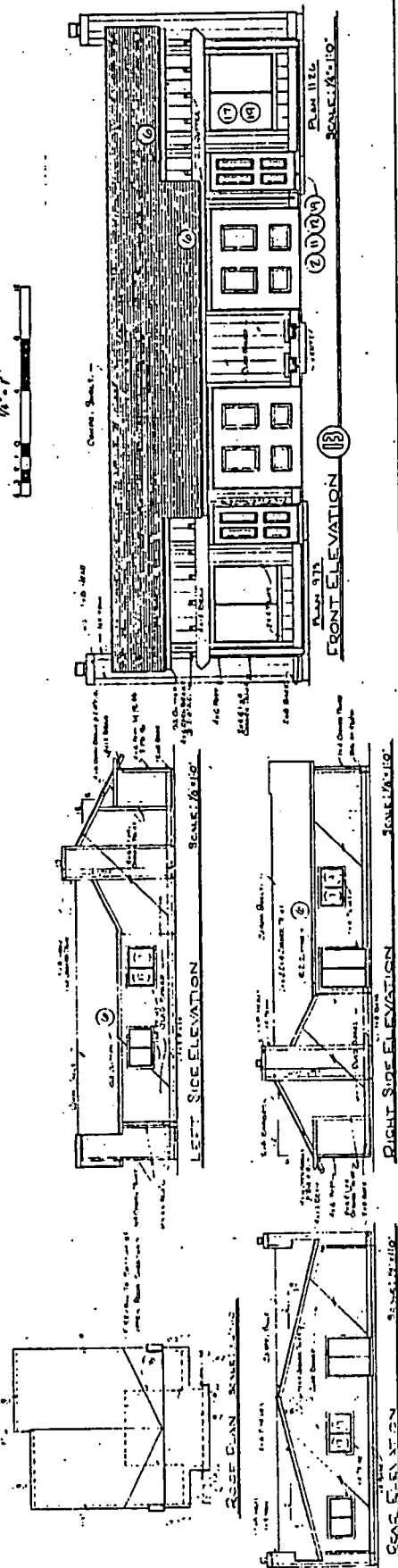
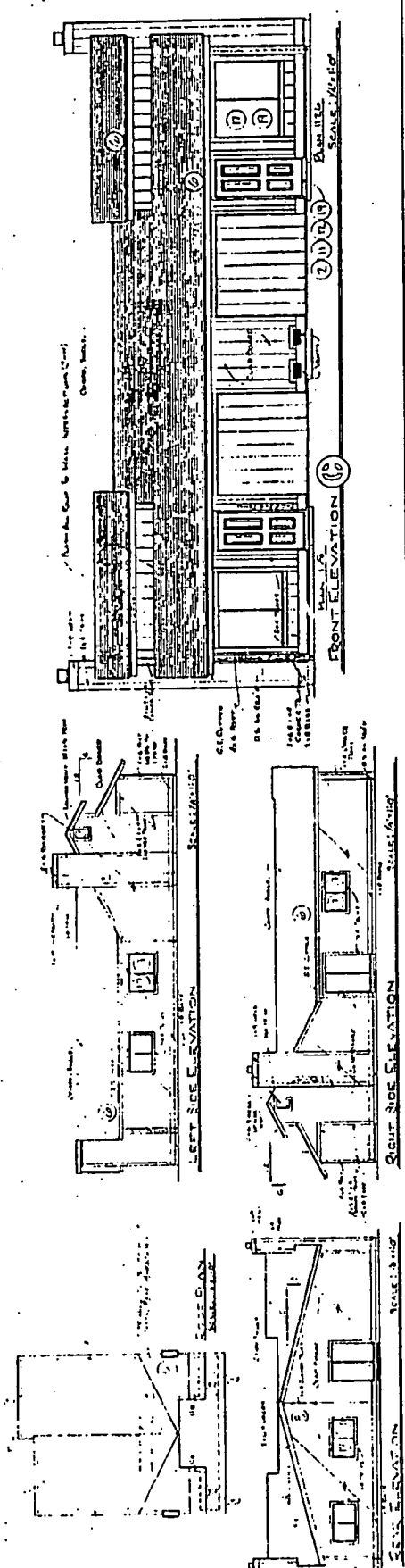
EXHIBIT A

<table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>						GW CONSULTING ENGINEERS PLANNING & SURVEYING 2400 GLENDALE LAVE SACRAMENTO, CA 95826 (916) 488-1720	SHEET NO. 1 TOTAL SHEETS 1	TENTATIVE MAP FOR THE RESUBDIVISION OF LOTS 1, 11, 17, 15, 25, 27, 33, 117, 118, 142, 145, 149, 156, 161, 165, 180, 191 & 193 OF EHRHARDT ESTATES CITY OF SACRAMENTO, CALIFORNIA
DATE: 5/10/82	SCALE: 1" = 100'	CITY OF SACRAMENTO						
DRAWN BY:	CHECKED BY:	APPROVED BY:						
DATE:	DATE:	DATE:						

001399

No. 15

EXHIBIT B
OUTSIDE ELEVATIONS



REVISIONS
NO.
DATE
BY
CHKD
APP'D

SHAW & ASSOCIATES, INC.
 BOB C. SHAW, LIC. #8772
 ARCHITECTS - LAND PLANNERS
 2712-A FAIRM OAKS BLVD.
 CARLSBAD, CALIFORNIA 92008
 (619) 434-1242

PLAN 112L
 PLAN 97B

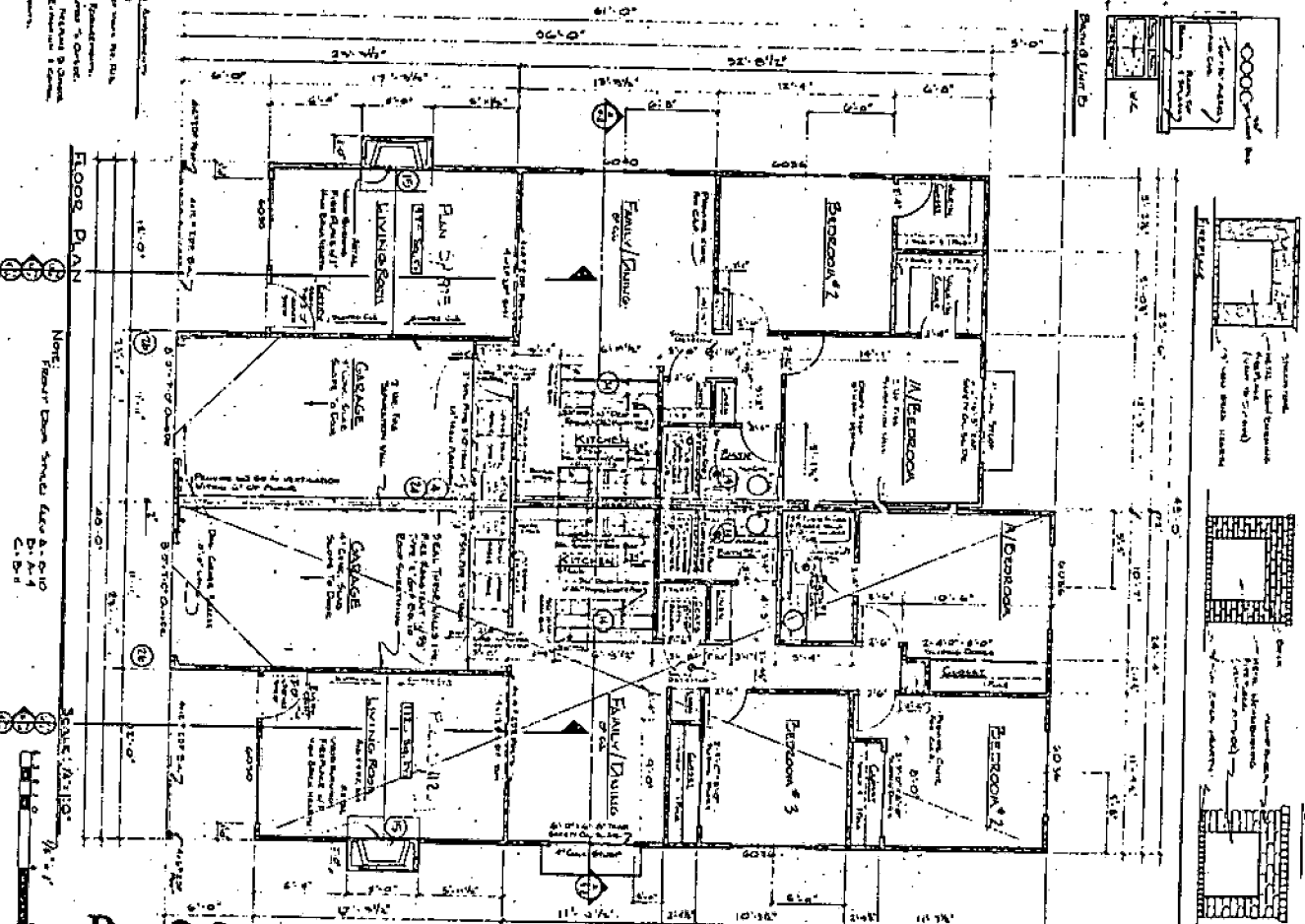
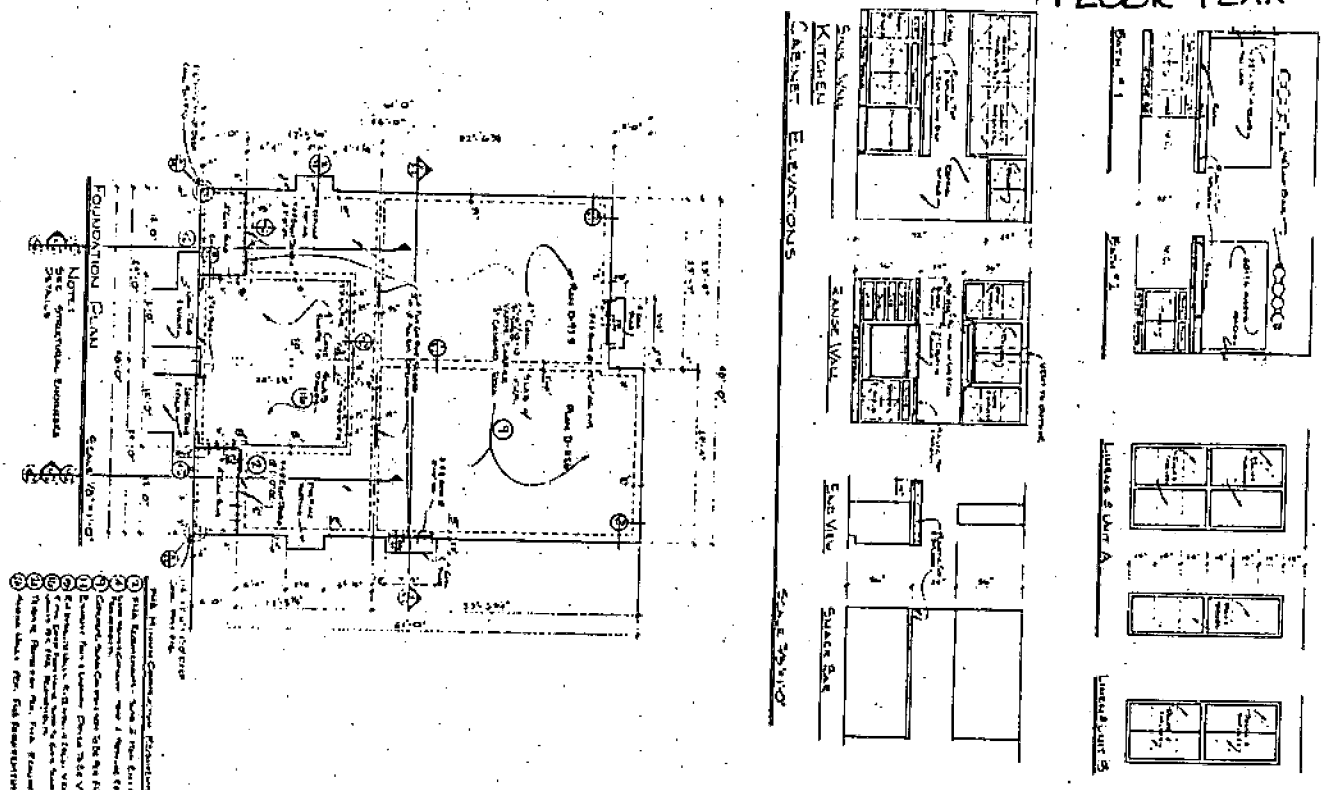
CENTEX HOMES
 OF CALIFORNIA
 10144 FAIRM OAKS BLVD., (Rt. 6) 941-5000
 CARLSBAD, CA 92008

DATE 1-1-79
 DRAWN PDB
 SCALE 1/8" = 1'-0"
 CHECKED
 DRAWER

- FIG. FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS
- 1) THIS ELEVATION FOR THIS PLAN ENTRY.
 - 2) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
 - 3) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
 - 4) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
 - 5) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
 - 6) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
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 - 11) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.
 - 12) FINISHES CONSTRUCTION REQUIREMENT AMENDMENTS AT THIS REQUIREMENT.

FLOOR PLAN

001111



P 82118

6/16/82

DATE	5-9-81
DRAWN	Pop
JOB	01-02-10
SCALE	AS NOTED
CHECKED	
DRAWER	

FLOOR PLAN, FOUNDATION PLAN & CABINET ELEVATIONS

CENTEX HOMES
OF CALIFORNIA

10184 FAIR OAKS BLVD. (916) 741-3000
FAIR OAKS, CA 95628

PLAN
D-975

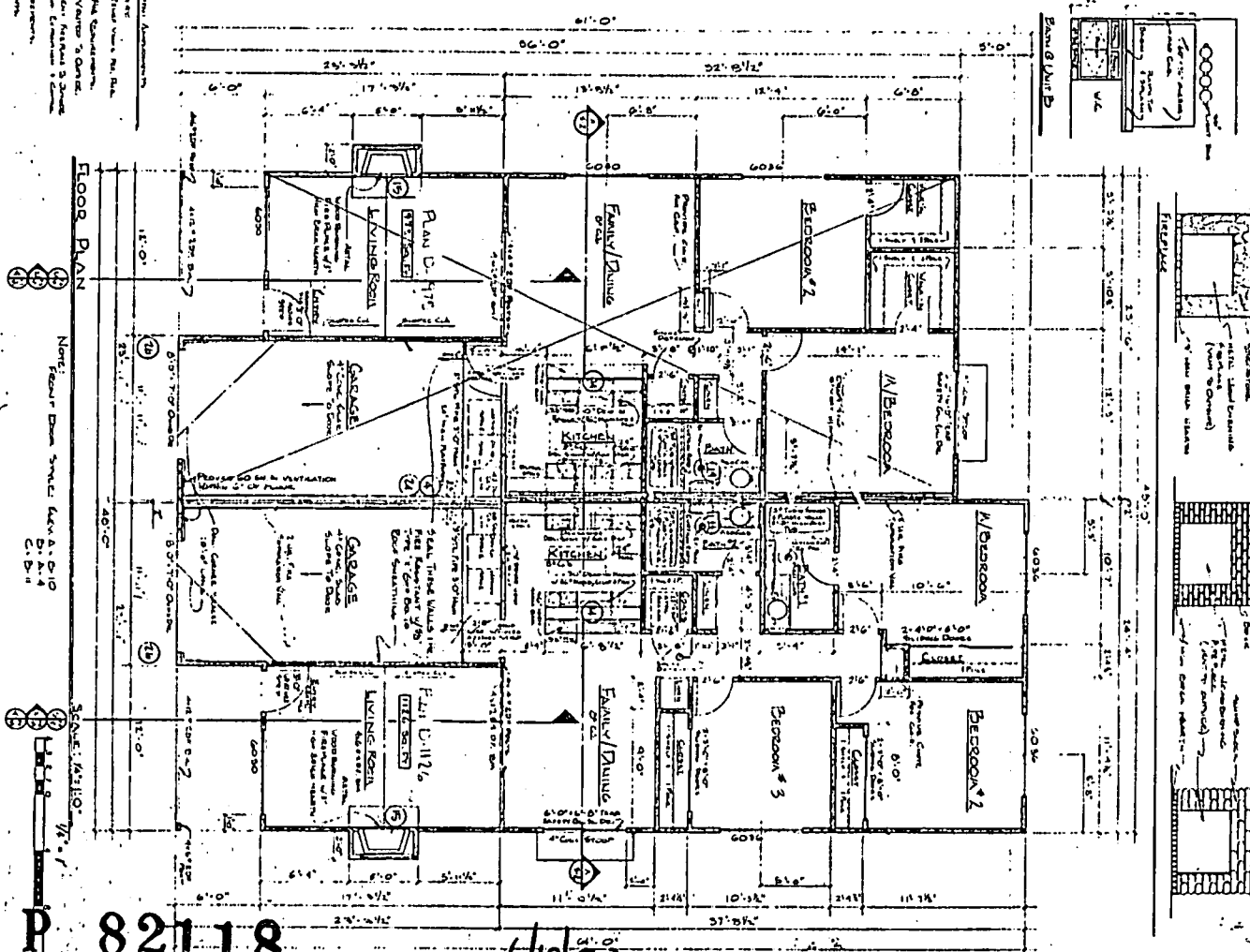
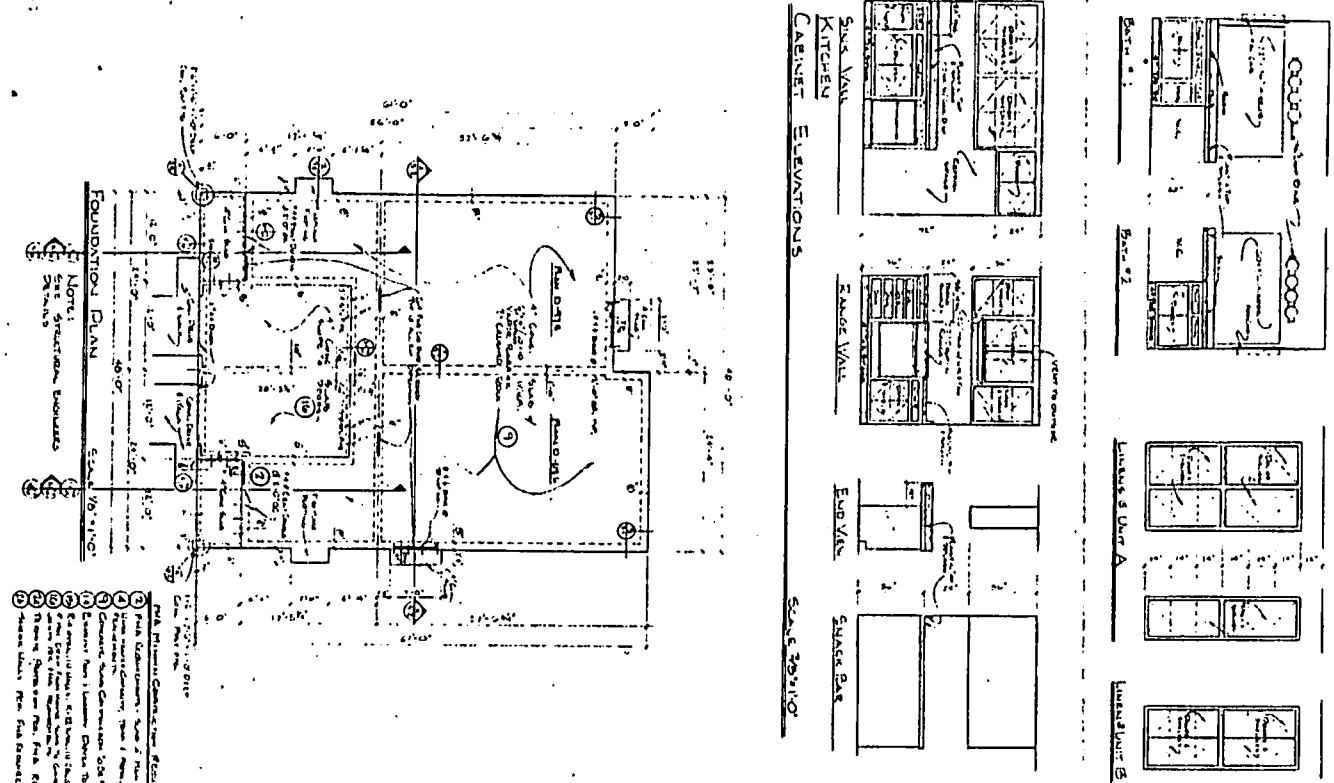
SHAW & ASSOCIATES, INC.
BOB C. SHAW LIC. NO. 772

BUILDING DESIGNERS - LAND PLANNERS
2712-A FAIR OAKS BLVD. (916) 944-2345
CARMICHAEL CALIFORNIA 95608

A DUPLEX HAVING 1115 Sq. Ft.

REVISIONS	BY
1	RF
2	RF
3	RF

FLOOR PLAN



P 82118

6/10/02

DATE	9-01
DRAWN	009
BY	01-02-10
SCALE	AS NOTED
CHECKED	
DRAWER	

FLOOR PLAN, FOUNDATION PLAN & CABINET ELEVATIONS

CENTEX HOMES
OF CALIFORNIA
10144 FAIR OAKS BLVD. (916) 961-8000
FAIR OAKS, CA 95628

PLAN D-1126

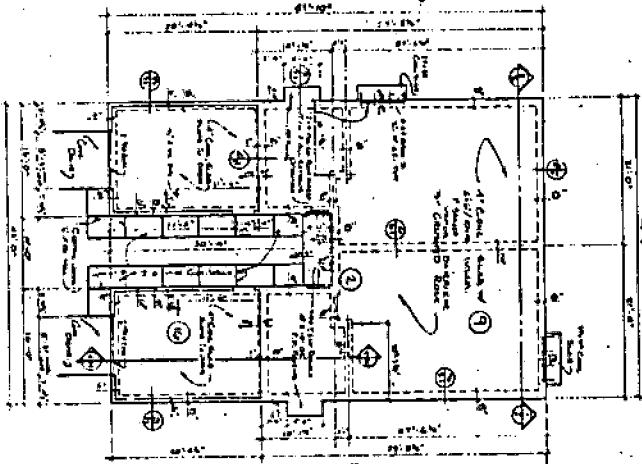
SHAW & ASSOCIATES, INC.
1001 C. SHAW LIC. NO 772
BUILDING DESIGNERS - LAND PLANNERS
7712-A FAIR OAKS BLVD. (916) 844-2345
CARMICHAEL CALIFORNIA 95608
A DUPLEX HAVING 1176 SQ. FT.

REVISIONS	BY
1	01-02-10
2	01-02-10
3	01-02-10
4	01-02-10

No. 15

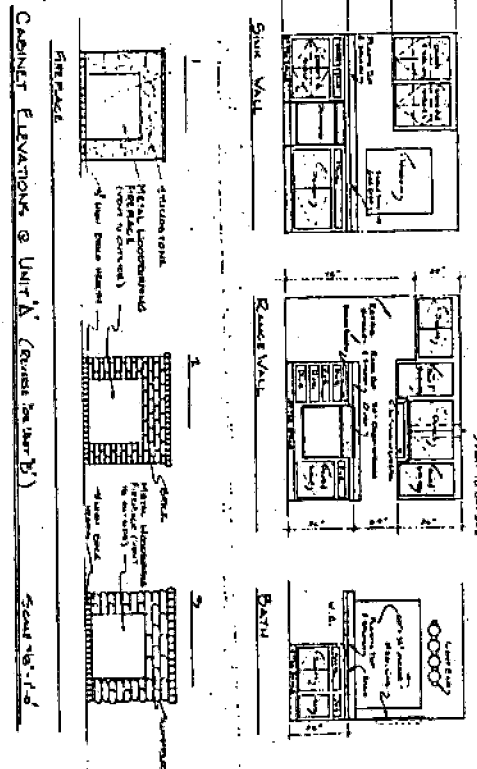
FLOOR PLAN

THE HIGHEST CALIBERED FINISHES AND ATTENTION
 TO THE FOUNDATION, WALLS & FLOOR SURF
 FINISHES, ROOFING, MECHANICAL, ELECTRICAL,
 PLUMBING, AND PAINTS. THE ARCHITECT
 CANNOT BE HELD RESPONSIBLE FOR THE
 QUALITY OF THE WORKMANSHIP OF THE
 CONTRACTOR OR THE QUALITY OF THE
 MATERIALS USED. THE ARCHITECT'S
 RESPONSIBILITY IS LIMITED TO THE
 DESIGN AND SPECIFICATIONS SET FORTH
 IN THESE PLANS. THE ARCHITECT
 DOES NOT WARRANT THE ACCURACY OF
 THE INFORMATION CONTAINED IN THESE
 PLANS.

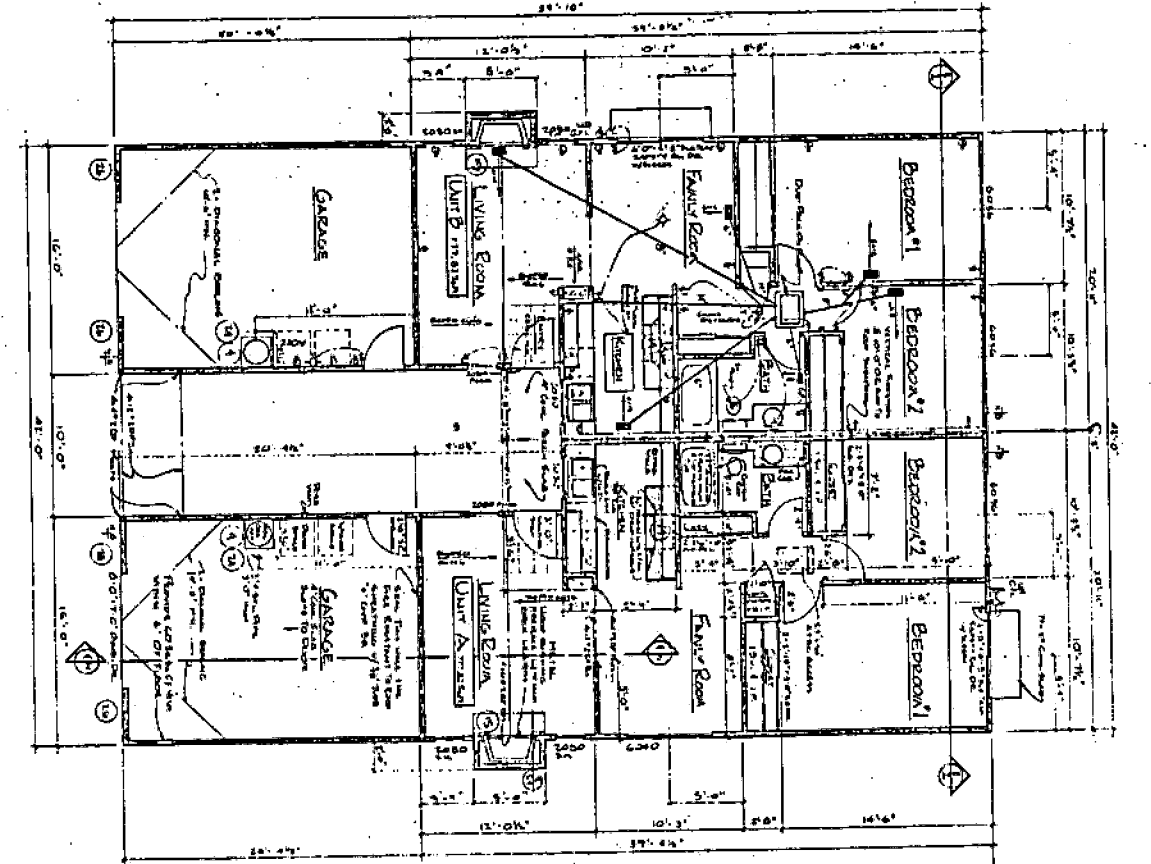


001415

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



CABINET ELEVATIONS & UNIT 'A' (REFER TO UNIT 'B')



FLOOR PLAN W/ELECTRICAL, MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"

P 82118 6/10/82

DATE	5-1-81
DRAWN	Field
JOB	01-02-15
SCALE	As Noted
CHECKED	
DRAWN	

FLOOR PLAN, FOUNDATION PLAN, CABINET ELEVATIONS
CENTEX HOMES
 10144 Fair Oaks Blvd. (916) 461-3200
 Fair Oaks, CA 95628

ENGINEERING BY:
PLAN
DI556

SHAW & ASSOCIATES, INC.
 BOB C. SHAW LIC. NO. 772
 BUILDING DESIGNER - LAND PLANNER
 2712-A FAIR OAKS BLVD. (916) 444-3243
 CARMICHAEL CALIFORNIA 95608
 A SURVEY HAS A TOTAL OF 1556 SQ. FT.

REVISIONS	
NO.	BY

MEASURE	PACKAGE A	PACKAGE B	PACKAGE C
SPACE CONDITIONING			
CEILING INSULATION	30	30	30
WALL INSULATION	11	19	11
FLOOR INSULATION			
SLAB EDGE	7	7	7
RAISED FLOOR	11	19	11
MINIMUM GLAZING U VALUE <i>DOUBLE PANE</i>	0.65	0.50	0.65
GLAZING ORIENTATION (1)	50% South	No	No
MAXIMUM GLAZING AREA (2)	16%	16%	16%
SHADING OF SOUTH GLASS	3 ft. overhang	3 ft. overhang	3. ft. overhang
SHADING OF EAST & WEST GLASS	No	0.36 shade coeff.	No
THERMAL MASS (3)	4.67 Btu/ ^o F-ft ²	No	No
HEATING SYSTEM TYPE	Gas or Heat Pump	Gas or Heat Pump	Gas or Heat Pump
HEAT EXCHANGER	No	No	No
POLYETHYLENE ON WALLS	No	No	No
ELECTRICAL OUTLET GASKETS	No	No	No
WATER HEATING			
TANK BLANKET	R12	R12	R12
HEATING SYSTEM TYPE	Gas or Solar	Gas or Solar	Solar With Gas Backup

(1) Percent of total glass.

(2) Percent of conditioned floor area.

(3) Equivalent to not carpeting one half the concrete on the ground floor. Based on total square feet of ground floor.

001418
 Source: Calif. Energy Commission
 Committee Proposed Resid. 35.
 Building Standards - April 81.
 P-400-81-005

Approved 25 Sept 81 by
 Cal. State Building Stds.
 Committee. Effective 30 June 82.
 -No. 15

6/10/82 23