

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Nielsen & Assoc. Arch.; 550 Howe Ave., Ste. 150 Sacramento, CA 95825
OWNER Sacto. Handball Racquetball; c/o Spare Time; 7919 Folsom Blvd.; Sacto., CA 95825
PLANS BY See Applicant
FILING DATE 7/27/89 ENVIR. DET. Ex. 15305a REPORT BY CS:hp
ASSESSOR'S PCL. NO. 002-0166-013

APPLICATION: Variance to allow the street side yard setback to be reduced from the required 5 feet to 0 feet.

LOCATION: 725 14th Street

PROPOSAL: The applicant is requesting the necessary entitlements to expand an existing athletic club with a 2 story addition in order to add an aerobics room and expand the men's locker room.

PROJECT INFORMATION:

General Plan Designation: Community/Neighborhood Commercial and Offices
1980 Central City Community
Plan Designation: General Commercial
Existing Zoning of Site: C-2
Existing Land Use of Site: Two Story Athletic Club

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Two Story Apartment; C-2	Front:	0	Varies (0-12')
South: Commercial Parking Lot; C-2	Side (Int):	0'	0'
East: Music Circus Theater; C-2	Side (St):	5'	Varies (0-38')
West: Law Offices and Multi-Family; C-2	Rear:	0'	0'

Property Dimensions: 80.20' x 160.48
Property Area: .29+ acres
Square Footage of Building: Existing, 13,635; Addition, 1,547; Total, 15,182
Height of Building: 2 Story
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Cement plaster and plywood paneling
Roof Material: Flat Roof

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning:

The subject site consists of one parcel totaling .29+ acres developed with a 13,635 square foot, two story athletic club. A jacuzzi is located outdoors and screened from 14th Street by a solid wood fence. The site is zoned General

Commercial (C-2) and designated Community/Neighborhood Commercial and Offices in the General Plan, and General Commercial in the 1980 Central City Community Plan. Surrounding land uses include multiple family residential to the north, the Music Circus Theater building to the east, a commercial parking lot to the south and multiple family residential and office uses to the west.

B. Applicant's Proposal:

The applicant is proposing to construct a 2 story 1,547 square foot addition along the existing west elevation. The building is currently 2 stories in height. With the addition, the square footage would increase from 13,635 to 15,182 square feet (approximately an 11 percent expansion).

As shown in Exhibit A, Site Plan/First Floor Plan, the addition would provide a new aerobics room on the upper level, and enlarge the men's locker room. The men's locker room would also be more functional because it would be located on the lower level, versus two levels as it is now.

The variance request is to allow the street side yard to be reduced from the required 5' to 0' for the addition.

The outdoor spa located in the proposed addition area will be removed and a new spa constructed outdoors north of the addition. A new equipment building is also proposed in the spa area, which will be enclosed with an 8' high solid wood fence.

C. Staff Evaluation:

For information purposes, approximately 40 percent of the west elevation wall would be located on the west property line with the proposed project, and the remaining 60 percent of existing wall area has varying setbacks of 9.5', 14', and 38 feet. The total length of the west elevation wall is 160.48'; of this length, a 22' wide section of the wall sits on the west property line (the lot was previously zoned C-3). This 22' wide section of wall on the property line would be increased to 48' with the addition.

The north elevation of the addition would be located 4' from an existing large avocado tree shown on the site plan to be 33 inches in diameter. The City arborist has inspected the site and has indicated the following:

1. The tree is unique, in that it is unusually large for an avocado tree. It is a significant City tree that should not be removed or damaged due to any on site improvements.
2. The canopy of the tree needs a good trimming on the side where the addition is proposed and the opposite side.
3. The avocado tree shall not be trimmed or modified in any way without the approval of the City arborist. At the time of tree trimming, the arborist must be present for consultation purposes to avoid damage to the tree.

4. During construction, a chain link fence shall be installed to enclose the area of the dripline.
5. No surface/grade or root cutting is allowed within the dripline.
6. Four inches of mulch shall be placed within the dripline for the duration of site development.

The tree is an attribute worth protecting. Because of its location, design possibilities are limited that would provide the square footage desired and stay within the 5' side yard setback. Due to this hardship, staff is not opposed to the variance request with the condition that the design review concerns indicated by the Design Review Director are met. These concerns are as follows:

1. The encroachment shall be 4' instead of 5' in order to provide a 1' wide landscape planter at the base of the addition between the property line and the wall.
2. The planter shall be planted with climbing vines that will grow along the face of the wall in order to soften the wall mass.

The City's landscape architect has indicated that four one gallon size Boston Ivy plants (*Parthenocissus Tricuspedata*) would be the most suitable climbing vine in this location because it can tolerate most exposures and sunlight. It is a semi-deciduous plant that turns a brilliant scarlet red and orange in the fall. It was also indicated that a ground cover, "Hypericum", be planted 6 inches on center, in the form of 18' x 24" flats.

D. Interdepartment and Agency Review:

The project has been reviewed by the City Traffic Engineer, City Engineer, City Fire Protection Engineer, City Building Division, Sacramento Old City Association, the City Arborist and the City's landscape architect. Comments were received from the City arborist and City's landscape architect. Their comments are discussed under the "Staff Evaluation" section of this report.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15305a).

RECOMMENDATIONS: Staff recommends the following action:

Approve the variance based on the findings of fact and subject to condition which follow:

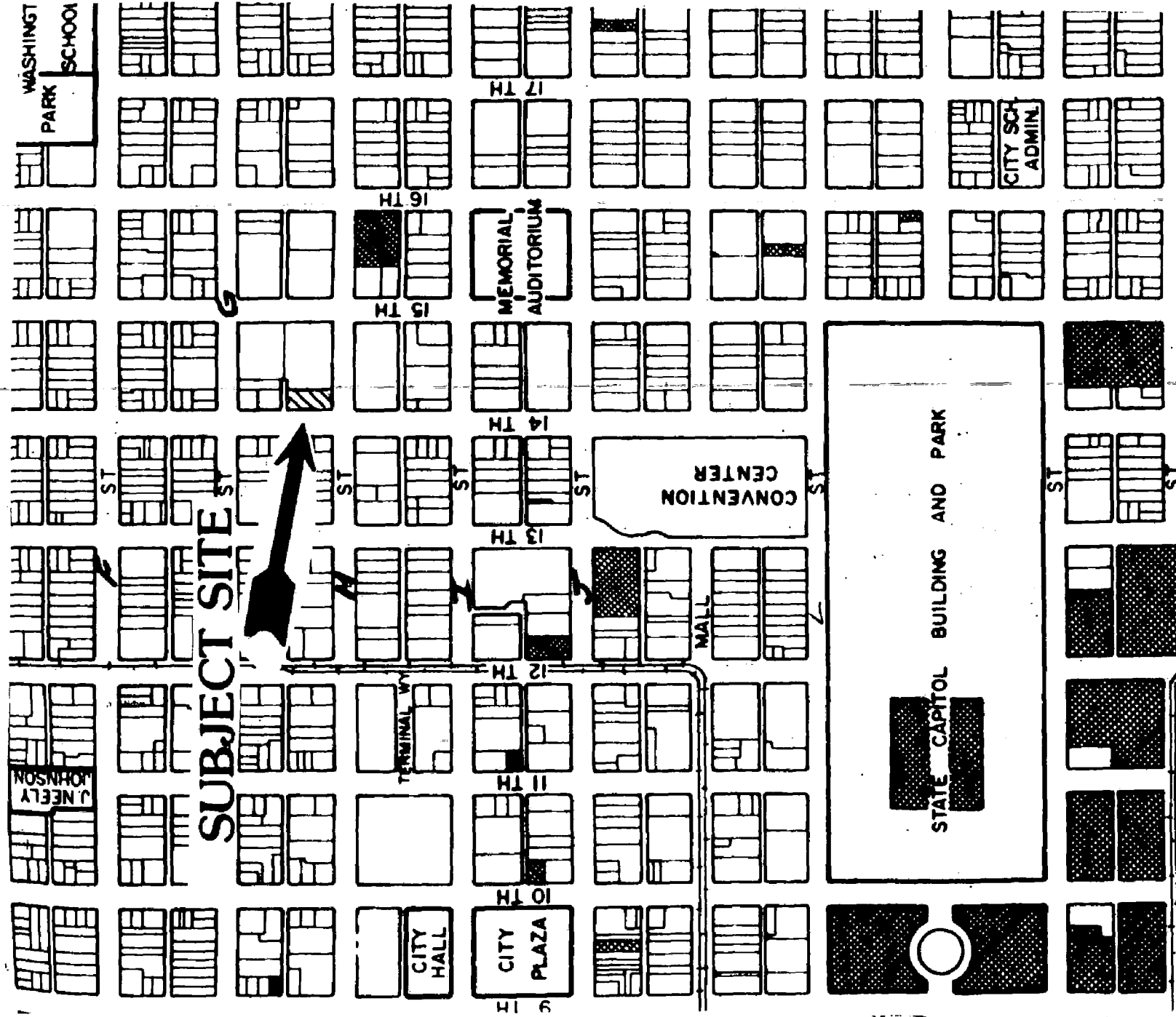
Conditions

1. The area of encroachment shall be reduced from the proposed 5 feet to 4 feet. A one foot wide landscape planter shall be provided between the west property line and the west elevation of the addition.

2. The one foot wide planter shall be planted with four one gallon size plants which shall be Boston Ivy, or other comparable climbing vine, approved by the City's landscape architect. A ground cover "Hypericum", or other comparable ground cover, shall also be provided in the planter area in the amount and form specified by the City's landscape architect. The planter shall be irrigated.
3. All conditions of the City arborist pertaining to the avocado tree shall be met. Any modifications to the large avocado tree shall be approved and modifications done, only in the presence of the City arborist.
4. The project shall be reviewed and approved by the Design Review Board prior to issuance of building permit.
5. A landscape and irrigation plan for the required one foot wide planter area shall be submitted to the Planning Director prior to the issuance of building permits.

Findings of Fact

1. The variance is not a special privilege extended to one individual property owner in that:
 - a. an existing natural attribute of the site (avocado tree) is a physical site contrast to development as it shall not be removed, and variance approval would be appropriate for any other property owner facing similar circumstances.
 - b. a portion of the structure is currently located on the west property line (22 feet).
2. The variance request is not a use variance in that athletic clubs are allowed in the C-2 zone.
3. The variance, as conditioned, will not be injurious to the public welfare nor to property in the vicinity in that:
 - a. one foot wide planter landscaped with ground cover and climbing vines will be provided to soften the mass of that portion of the west elevation wall located on the property line and will be aesthetically pleasing to pedestrians;
 - b. a significant avocado tree will be preserved.
4. The proposed project is consistent with the 1980 Central City Community Plan and the General Plan which designates the site community/neighborhood commercial and general commercial respectively.



VICINITY MAP

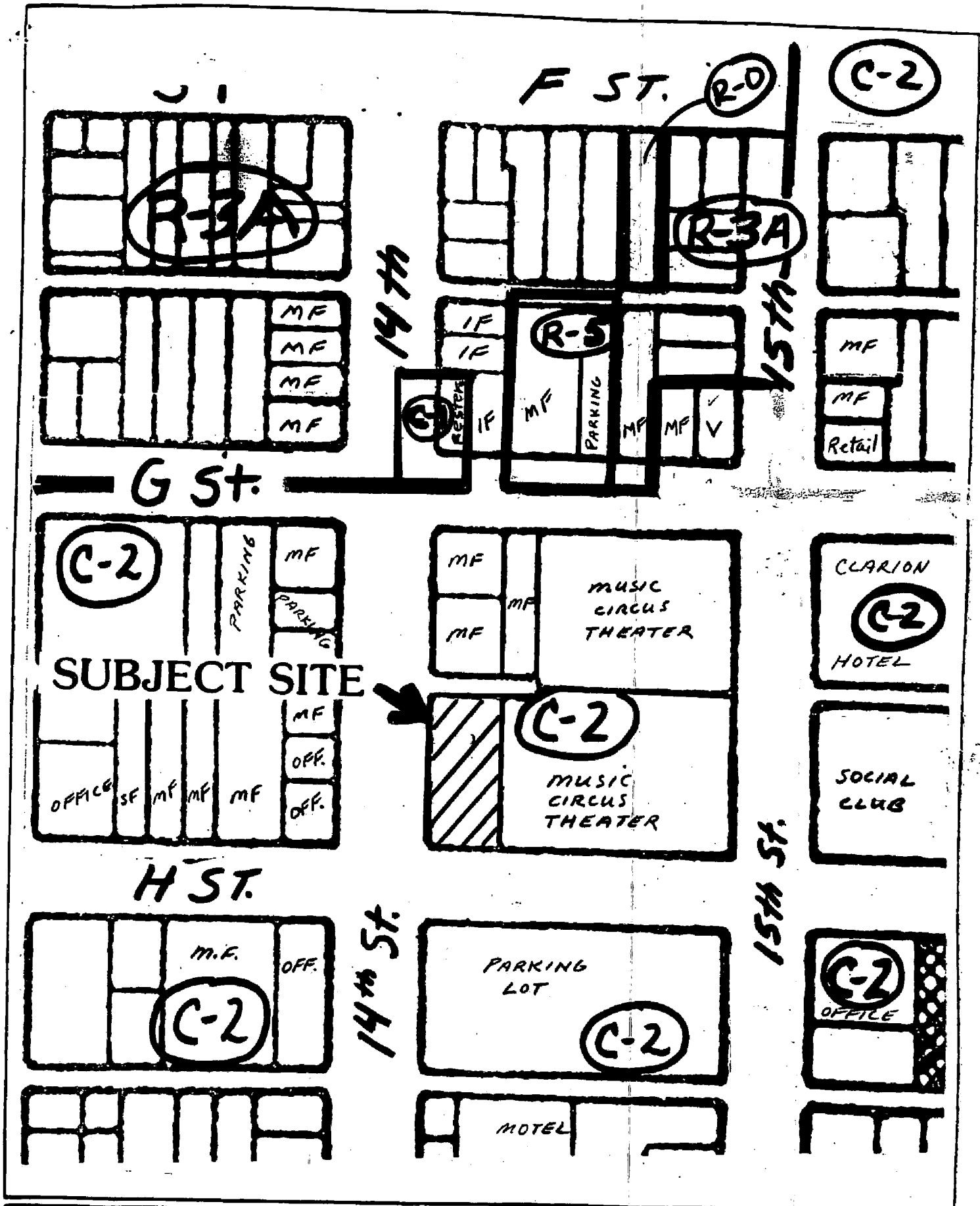


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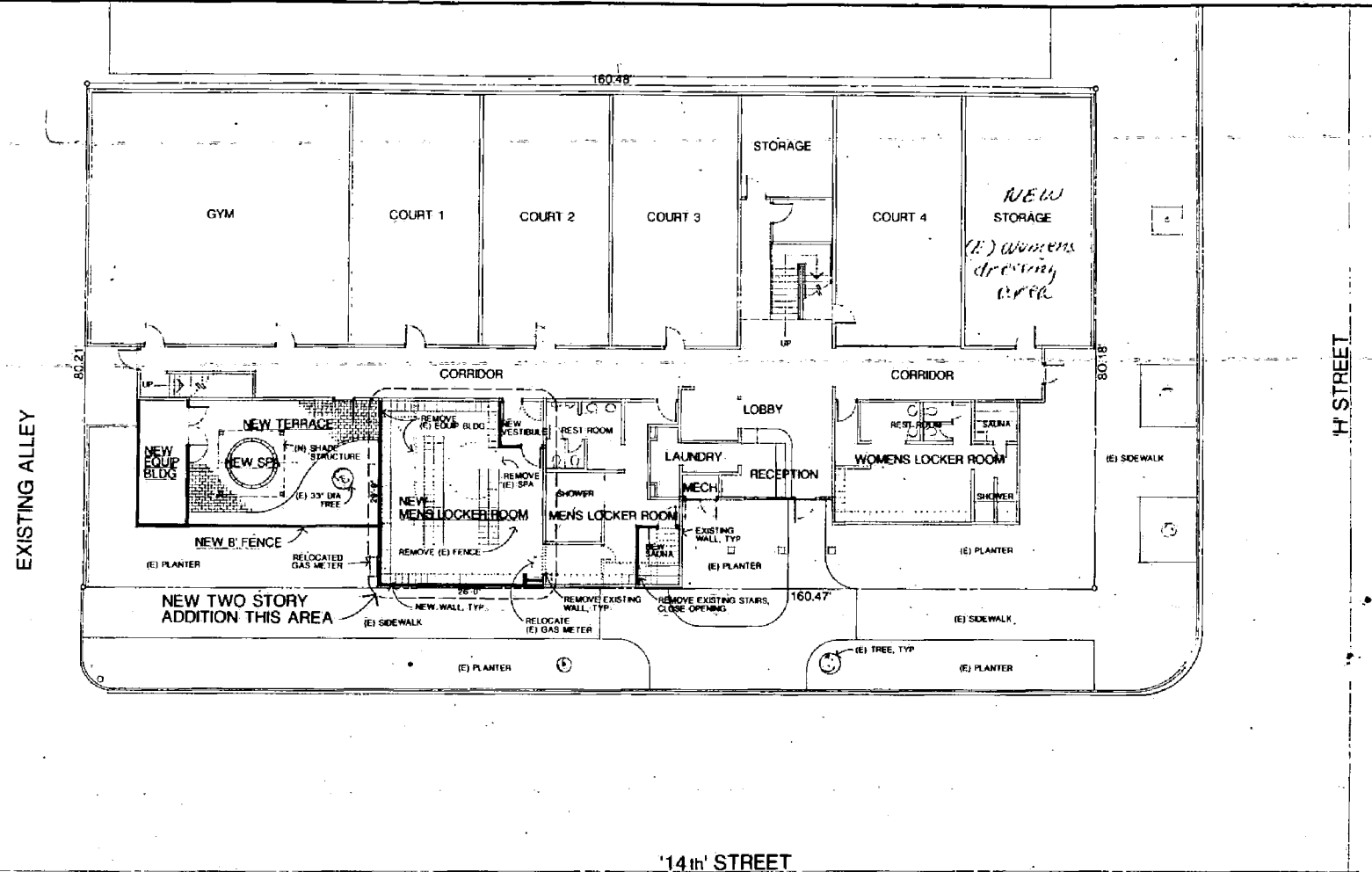


LAND USE & ZONING MAP



EXHIBIT A

SITE PLAN



SITE / FIRST FLOOR PLAN

BUILDING AREA:	EXISTING BUILDING	13,835 S.F.	
	2 STORY ADDITION	1,347 S.F.	(11% of existing bldg)
		17,182 S.F. EA PLAN	
		15,232 S.F. TOTAL	



1/8" = 1'-0"
NORTH



**LOCKER ROOM/AEROBICS ROOM ADDITION
MIDTOWN ATHLETIC CLUB**

**Nielsen & Associates
Architects**

550 Howe Avenue
Sacramento CA 95825
(916) 925-0333

SITE/FIRST FLOOR PLAN

Project no: 89-119
Date: 5/2/89
Revised:

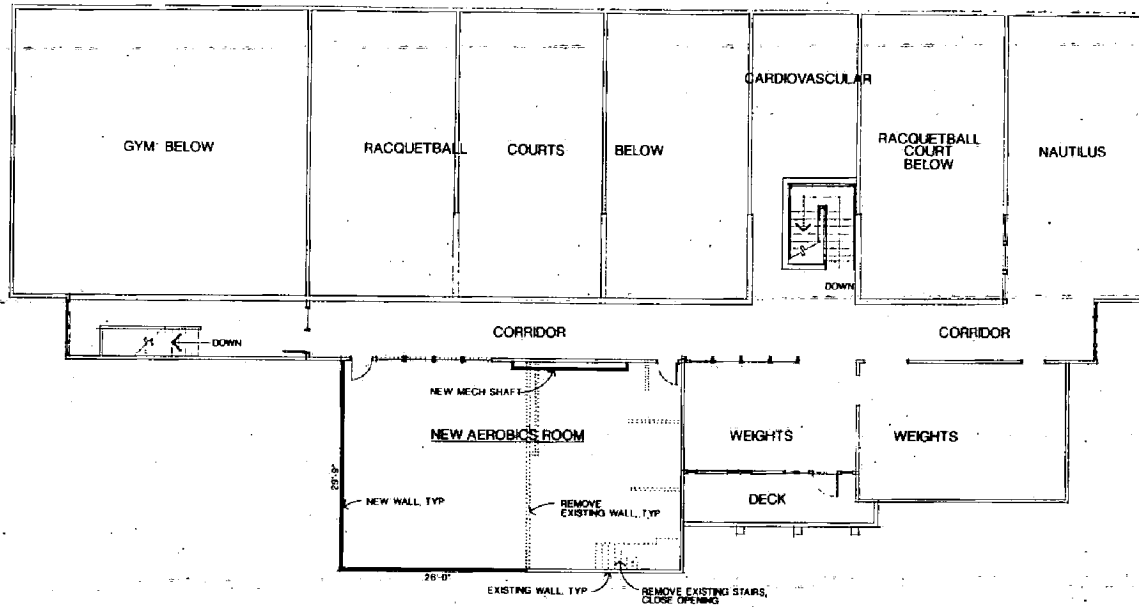
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EXHIBIT B

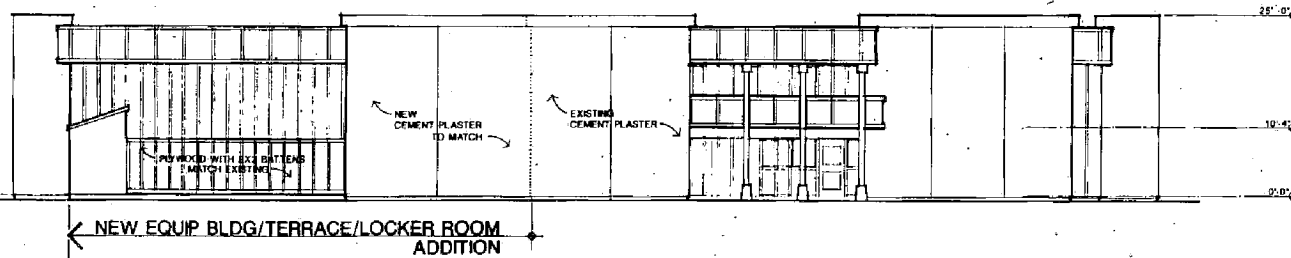
**FLOOR PLANS
ELEVATION**



SECOND FLOOR PLAN



1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

**LOCKER ROOM/AEROBICS ROOM ADDITION
MIDTOWN ATHLETIC CLUB**

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Architects

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SECOND FLOOR PLAN
WEST ELEVATION

Project no. 89118
Date: 5/2/89
Revised:

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