

REPORT AMENDED BY CPC 1-24-91
CITY OF SACRAMENTO PLANNING COMMISSION
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

| | | |
|---|---------------------------------------|---------------------|
| APPLICANT James I. Wadley, Architect, 5947 Oak Avenue, Carmichael, California 95608 | | |
| OWNER City Developers Company, Inc., P.O. Box 557, North Highlands, California 95660 | | |
| PLANS BY James I. Wadley, Architect, 5947 Oak Avenue, Carmichael, California 95608 | | |
| FILING DATE October 11, 1990 | ENVIR DET Negative Declaration | REPORT BY CG |
| ASSESSOR'S PCL. NO. 237-0040-001 | | |

- APPLICATION:**
- A. Negative Declaration.
 - B. Rezone 3.25± vacant acres from Agriculture (A) to Multiple Family Residential-Review (R-2B-R).
 - C. Tentative Map to subdivide 3.25± vacant acres into 49 parcels for townhouse development and one parcel for common area in the proposed Multiple Family Residential-Review (R-2B-R) zone.
 - D. Special Permit to develop 49 townhouse (condominium) units containing 1,110 square feet to 1,442 square feet on 3.25± vacant acres in the proposed Multiple Family Residential-Review (R-2B-R) zone.
 - E. Plan Review of 49 townhouse (condominium) units. (Withdrawn by staff)
 - F. Variance to waive a portion of the solid masonry wall required along the east property line.

LOCATION: Southeast corner of Norwood Avenue and Main Avenue.

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 49 unit townhouse development.

PROJECT INFORMATION:

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|--|--|
| General Plan Designation: | Medium Density Residential (16-29 du/na) |
| North Sacramento Community Plan Designation: | Residential (11-21 du/na) |
| Existing Zoning of Site: | Agriculture (A) |
| Existing Land Use of Site: | Vacant |

| Surrounding Land Use and Zoning: | Setbacks: | Required | Provided |
|----------------------------------|------------|----------|----------|
| North: Single Family; R-1 | Front: | 25' | 25' |
| South: Single Family; A | Side(Int): | 5' | 15' |
| East: Single Family; A | Side(St): | 25' | 25' |
| West: Single Family; R-1 | Rear: | 15' | 15' |

| | |
|----------------------|---------------|
| Parking Required: | 77 Spaces |
| Parking Provided: | 114 Spaces |
| Property Dimensions: | 600' x 202' ± |
| Property Area: | 3.25± Acres |

APPLC. NO. P90-424

MEETING DATE January 24, 1991

ITEM NO. 20

Density of Development: 17.5 du/na
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Height of Building: 27 Feet, 3 Stories
Exterior Building Materials: Horizontal Lap Siding
Roof Material: Composition Shingle Roof

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On January 9, 1991, by a vote of 7 ayes and 2 absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to the conditions below.

PROJECT INFORMATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 3.25+ vacant acres in the Agriculture (A) zone. The General Plan designates the site Medium Density Residential (16-29 du/na). The North Sacramento Community Plan designates the site Residential (11-21 du/na). The surrounding land use is all single family residential and vacant land. The surrounding zoning is R-1 to the north and west, and A to the south and east.

B. Applicant's Proposal

The applicant proposes to rezone the subject site from Agriculture (A) to Multiple Family Residential-Review (R-2B-R). The applicant is developing a 49 unit townhouse (condominium) project which requires a special permit. The applicant is requesting a tentative map to subdivide the one parcel into 50 parcels, 49 for townhouse development and one for common area. The applicant is also requesting a variance to waive a portion of the solid masonry wall required along the southern and eastern property lines.

C. Policy Considerations

The requested rezone to R-2B-R makes the zoning consistent with both the General Plan and North Sacramento Community Plan designations. The proposed 17.5 du/na density of the proposal is consistent with the Plan designations. The project site is a designated fringe expansion area which is defined as vacant land next to existing urban areas that can be easily extended to accommodate development. The proposal is consistent with the housing objectives of the North Sacramento Community Plan which encourages development north of I-80 in a manner which emphasizes neighborhood cohesiveness and a variety of housing types.

D. Site Plan Design

The site plan consists of ten structures with four to ten units in each. The proposal also contains a cabana, pool and tot lot. The site is depressed below grade which results in three story structures. The garage is on the first level with two levels of living space above. The grade of the site allows only the two levels of living area to be visible from the street.

The site has 25 foot landscape setbacks along both street frontages. The applicant should submit a detailed landscape plan indicating the type of landscaping in the setback area and throughout the site. This plan should be submitted for review and approval of the Planning Director prior to the issuance of Building Permits.

It was a concern of Waste Removal that provisions be made for the storage of automated containers for each unit. The mandated service will be using automated equipment and each unit is required to have its own service.

Any signage proposed for the development must meet the requirements of the Sign Ordinance.

E. Parking and Circulation

There are two entrances to the site. The major entrance is on Main Avenue and a secondary access is on Norwood Avenue. Both entrances are gated, as well as the entire complex. The applicant proposes to open the Norwood gate only during peak use times such as in the morning and in the evening. This gate will not be open for general use, and no remote gate openers will be provided for this entrance. The residents will have access to a card entry gate at the Main Avenue entrance. This entrance on Main Avenue has an island separating the in and out traffic. The Fire Department requires one of these traveling lanes be increased to twenty feet, or the island eliminated. The applicant should submit a revised entrance plan for review and approval of the Fire Department.

Since the garages and parking are below grade, the driveways should have an approach grade of no greater than four percent within 20 feet of the public right-of-way. The driveways should also be constructed to City standards. The driveway on Main Avenue will not have left turn access, and will only be right turn in and right turn out.

Each unit contains a two-car garage. There are also 16 guest parking spaces spread throughout the site. This exceeds the parking required by the Zoning Ordinance.

F. Fencing

The applicant proposes a six foot wrought iron fence be located along the property lines adjacent to Norwood and Main. The fencing should be reviewed and approved by the City Traffic Engineer to ensure the compliance with the City's Visibility Ordinance. The fencing on the south and east property lines is proposed to consist of six foot wood and solid masonry. The Zoning Ordinance requires a solid masonry wall adjacent to the driveways and parking areas which abut single family residences. No masonry wall is required along the southern property line because there is no driveway or parking adjacent to the single family residence. However, a solid masonry wall is required along the eastern property line where the single family residence is adjacent to the driveway. This residence is located on the front of the parcel and the remainder of the parcel is vacant. In addition, the site is designated for multiple family development which typically will not require a masonry wall. Therefore, the applicant is requesting a variance to waive a portion of the masonry wall. The applicant has proposed to locate the masonry wall along the property line which is directly adjacent to the single family residence as indicated on Exhibit B. The wall off Main Avenue begins 40 feet from the front property line and extends for 75 feet before it changes to a wood fence. Staff is concerned with the transition between the wood fence and solid masonry wall. A detail of the fencing, including materials, should be submitted for Planning Director review and approval prior to the issuance of building permits. Staff has no objection to the variance request. A wall of sufficient length will be provided to protect the existing single family home.

G. Building Design

The buildings consist of three stories, with the garages on the first floor and two floors of living area above. The units are clustered together in ten structures of from four to ten units each. The exterior building materials consist of horizontal lap siding with a composition shingle roof. Staff finds that the proposed building design and materials, with minor revisions, will be compatible with the surrounding neighborhood. Staff has reviewed the proposed design with members of Design Review staff and suggest the following conditions be made. The siding should be six inch horizontal wood siding with minimal butt joints. All the butt joints should be properly secured to avoid warped ends. The roof material should have a minimum 25 year rating and be laminated dimensional composition shingles. The garage doors should be metal with raised panel design as indicated on the plans. The windows should be prefinished aluminum and all should be gridded as noted on plans. All the mechanical equipment should be screened. A detail of the proposed screening should be provided for Planning Director review and approval prior to the issuance of building permits. The decks and patios have railings surrounding them. The applicant should also submit a detail of the railing and materials for review and

approval of the Planning Director.

H. Tentative Map

The proposed tentative map divides the parcel into 50 lots, 49 for townhouse development and one for common area. Staff has no objection to the proposed tentative map as long as the conditions below are met. The primary concern is that a Home Owner's Association be formed which will maintain the development. The Home Owner's Association should be formed and C. C. and R.'s recorded ensuring the maintenance. The C. C. and R.'s should be reviewed and approved by the Planning Director prior to the recordation of the final map.

I. Agency Comments

The proposed project was reviewed by City Traffic Engineering, Engineering Development Services, Waste Removal, Fire, and Building Departments. Their comments are incorporated into the conditions below. The project was also reviewed by City Tree Services and the Robla School District. Their comments are listed below:

City Tree Services

The trees were evaluated on this site and those designated for removal can be taken out.

Robla School District

The district is collecting developer fees.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified effects of to mitigate such effects to a point where clearly no significant effects will occur. The mandatory mitigation measures are listed below.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the Rezone from Agriculture (A) to Multiple Family Residential-Review (R-2B-R) and forward to the City Council;
- C. Recommend approval of the Tentative Map to subdivide one parcel into 49 parcels for townhouse development and one parcel for common area subject to conditions and forward to the City Council;
- D. Approve the Special Permit to develop 49 townhouse (condominium) units subject to conditions and based upon findings of fact which follow;
- E. Withdraw the Plan Review of 49 townhouse (condominium) units; and
- F. Approve the Variance to waive a portion of the solid masonry wall required along the east property line subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Pay off existing assessments, or file the necessary segregation requests and pay fees if any;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
5. Coordinate with County Sanitation District;
6. Submit a soils test prepared by a registered engineer to be used in street design;
7. Dedicate a standard 12.5-foot public utility easement for underground and over-head facilities and appurtenances adjacent to Main Avenue;
8. Dedicate the common area as a public utility easement for underground facilities and appurtenances, except for those areas where structures or pool are located;
9. Dedicate right-of-way along Main Avenue and Norwood Avenue as per study on file with the City to the satisfaction of the Traffic Engineer;
10. Subject property must complete annexation to both Sacramento Regional County Sanitation district and County Sanitation District No. 1 of Sacramento County prior to recordation of the map or prior to the approval of the improvement plans, whichever occurs first;
11. The City may enter into a reimbursement agreement for overwidth pavement construction on Main Avenue and Norwood Avenue;
12. A Homeowner's Association shall be formed and C.C. and R's shall be approved by the City Planning Director and recorded assuring maintenance of common areas. The Homeowner's Association shall also maintain all paving, lights, sewers, drains, and water systems within the common lot; and
13. Remove the collapsed structures, debris and trash-burning area prior to recordation of the final map;
14. Place a note on the final map: The applicant shall comply with the mandatory mitigation measures of the Environmental Coordinator on file in the Planning Division (P90-424).

Conditions - Special Permit, Variance

1. The applicant should submit a detailed landscape plan indicating the type of landscaping in the setback area and throughout the site for review and approval of the Planning Director prior to the issuance of Building Permits. The 25 foot setback areas should consists of a 3 to four foot undulating berm with an effective combination of trees and shrubs which should be a combination of 5 and 15 gallon. The southern and eastern property lines shall be planted with trees.
2. Provisions shall be made for the storage of automated containers for each unit. The mandated service

will be using automated equipment and each unit is required to have its own service.

3. Any signage proposed for the development must meet the requirements of the Sign Ordinance.
4. The Norwood Avenue entrance gate shall only be opened during peak use times such as in the morning and in the evening. This gate shall not be open for general use, and no remote gate openers shall be provided for this entrance.
5. The entrance on Main Avenue shall be redesigned with one of the traveling lanes increased to twenty feet, or the island eliminated. The applicant should submit a revised entrance plan for review and approval of the Fire Department.
6. The driveways shall have an approach grade of no greater than four percent within 20 feet of the public right-of-ways and shall be constructed to City standards.
7. The wrought iron fencing along the property lines adjacent to Main and Norwood shall be reviewed and approved by the City Traffic Engineer to ensure the compliance with the City's Visibility Ordinance.
8. A detail of all the fencing, including materials, should be submitted for Planning Director review and approval prior to the issuance of building permits. The wall shall be of a decorative material paying special attention to the transition between masonry and wood.
9. The exterior siding should be six inch horizontal wood siding with minimal butt joints. All the butt joints should be properly secured to avoid warped ends.
10. The roof material should have a minimum 25 year rating and consist of laminated dimensional composition shingles.
11. The garage doors should be metal with raised panel design as indicated on the plans.
12. The windows should be prefinished aluminum and all should be gridded as noted on plans.
13. All the mechanical equipment should be screened. A detail of the proposed screening should be provided for Planning Director review and approval prior to the issuance of building permits.
14. The applicant shall submit a detail of the railings surrounding the decks and patios for review and approval of the Planning Director.
15. On-site grading, paving, and drainage shall be approved by the Public Works Department prior to the issuance of a Building Permit.
16. *A six foot high decorative masonry wall shall be installed on the southerly property line with a 25 foot setback from Norwood Avenue and extended five feet beyond the rear of the adjacent dwelling. (Staff added)*

Mandatory Mitigation Measures

1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
 - a. Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or

- windy days. Watering could reduce particulate emissions by about 50 percent.
- b. Cover stockpiles of sand, soil, and similar materials with a tarp.
 - c. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
 - d. Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
 - e. Increase the frequency of city street cleaning along streets in the vicinity of construction site.
 - f. Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. All joints in exterior walls shall be grouted or caulked airtight.
 3. All penetrations of exterior walls shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
 4. Window or through-the-wall ventilation and air conditioning units shall not be permitted thereby, providing adequate indoor air quality which the windows are maintained closed.
 5. All sleeping spaces shall be provided with carpet and pad.
 6. There shall be no through-the-door or through-the-wall paper chutes.
 7. Windows must have a minimum STC rating of 29 or better. Windows should comprise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile hour wind per ASTM standards.
 8. Sliding glass doors must carry an STC rating of 31 or better. They should be double glazed and they must meet or exceed the window air infiltration rating given above.
 9. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.
 10. Windows with a direct or side view of Norwood Avenue should be equipped with weather seals incorporating an air tight membrane.
 11. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses.
 12. If subsurface archaeological or historical remains including unusual amount of bones, stones, or shells are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be processed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact do to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified

impacts cannot be reduced to less than significant level through mitigation.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed townhouse development is compatible with the surrounding residential land uses.
2. Granting the variance does not constitute a special privilege extended to an individual applicant in that other property owners facing similar circumstances have been granted variances to waive the required masonry wall.
3. The project, as conditioned, will not be detrimental to the public health or welfare, nor result in the creation of a public nuisance in that:
 - a. adequate parking and landscaping is provided on the site;
 - b. the use is compatible with the surrounding uses;
 - c. a masonry wall will be provided directly adjacent to the existing single family uses; and
 - d. a Home Owner's Association will be formed to maintain the development.
4. Granting the variance does not constitute a use variance in that townhouses are allowed in the R-2B-R zone with special permit approval.
5. The proposal is consistent with the General Plan and North Sacramento Community Plan which designate the site for residential uses.

CITY OF SACRAMENTO PLANNING COMMISSION
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

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| OWNER <u>City Developers Company, Inc., P.O. Box 557, North Highlands, California 95660</u> |
| PLANS BY <u>James I. Wadley, Architect, 5947 Oak Avenue, Carmichael, California 95608</u> |
| FILING DATE <u>October 11, 1990</u> ENVIR. DET. <u>Negative Declaration</u> REPORT BY <u>CG</u> |
| ASSESSOR'S PCL. NO. <u>237-0040-001</u> |

APPLICATION:

- A. Negative Declaration.
- B. Rezone 3.25± vacant acres from Agriculture (A) to Multiple Family Residential-Review (R-2B-R).
- C. Tentative Map to subdivide 3.25± vacant acres into 49 parcels for townhouse development and one parcel for common area in the proposed Multiple Family Residential-Review (R-2B-R) zone.
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- E. Plan Review of 49 townhouse (condominium) units. (Withdrawn by staff)
- F. Variance to waive a portion of the solid masonry wall required along the east property line.

LOCATION: Southeast corner of Norwood Avenue and Main Avenue.

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 49 unit townhouse development.

PROJECT INFORMATION:

General Plan Designation:
 North Sacramento Community Plan
 Designation:
 Existing Zoning of Site:
 Existing Land Use of Site:

Medium Density Residential (16-29 du/na)
 Residential (11-21 du/na)
 Agriculture (A)
 Vacant

Surrounding Land Use and Zoning:

North: Single Family; R-1
 South: Single Family; A
 East: Single Family; A
 West: Single Family; R-1

| Setbacks: | Required | Provided |
|------------|----------|----------|
| Front: | 25' | 25' |
| Side(Int): | 5' | 15' |
| Side(St): | 25' | 25' |
| Rear: | 15' | 15' |

Parking Required: 77 Spaces
 Parking Provided: 114 Spaces
 Property Dimensions: 600' x 202' ±
 Property Area: 3.25± Acres

APPLC. NO. P90-424

MEETING DATE January 24, 1991

ITEM NO. 20

| | |
|------------------------------|--------------------------|
| Density of Development: | 17.5 du/na |
| Topography: | Flat |
| Street Improvements: | Existing |
| Utilities: | Existing |
| Height of Building: | 27 Feet, 3 Stories |
| Exterior Building Materials: | Horizontal Lap Siding |
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SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On January 9, 1991, by a vote of 7 ayes and 2 absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to the conditions below.

PROJECT INFORMATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 3.25± vacant acres in the Agriculture (A) zone. The General Plan designates the site Medium Density Residential (16-29 du/na). The North Sacramento Community Plan designates the site Residential (11-21 du/na). The surrounding land use is all single family residential and vacant land. The surrounding zoning is R-1 to the north and west, and A to the south and east.

B. Applicant's Proposal

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approval of the Planning Director.

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RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

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- E. Withdraw the Plan Review of 49 townhouse (condominium) units; and
- F. Approve the Variance to waive a portion of the solid masonry wall required along the east property line subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map

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5. Coordinate with County Sanitation District;
6. Submit a soils test prepared by a registered engineer to be used in street design;
7. Dedicate a standard 12.5-foot public utility easement for underground and over-head facilities and appurtenances adjacent to Main Avenue;
8. Dedicate the common area as a public utility easement for underground facilities and appurtenances, except for those areas where structures or pool are located;
9. Dedicate right-of-way along Main Avenue and Norwood Avenue as per study on file with the City to the satisfaction of the Traffic Engineer;
10. Subject property must complete annexation to both Sacramento Regional County Sanitation district and County Sanitation District No. 1 of Sacramento County prior to recordation of the map or prior to the approval of the improvement plans, whichever occurs first;
11. The City may enter into a reimbursement agreement for overwidth pavement construction on Main Avenue and Norwood Avenue;
12. A Homeowner's Association shall be formed and C.C. and R's shall be approved by the City Planning Director and recorded assuring maintenance of common areas. The Homeowner's Association shall also maintain all paving, lights, sewers, drains, and water systems within the common lot; and
13. Remove the collapsed structures, debris and trash-burning area prior to recordation of the final map;
14. Place a note on the final map: The applicant shall comply with the mandatory mitigation measures of the Environmental Coordinator on file in the Planning Division (P90-424).

Conditions - Special Permit, Variance

1. The applicant should submit a detailed landscape plan indicating the type of landscaping in the setback area and throughout the site for review and approval of the Planning Director prior to the issuance of Building Permits. The 25 foot setback areas should consists of a 3 to four foot undulating berm with an effective combination of trees and shrubs which should be a combination of 5 and 15 gallon. The southern and eastern property lines shall be planted with trees.
2. Provisions shall be made for the storage of automated containers for each unit. The mandated service

will be using automated equipment and each unit is required to have its own service.

3. Any signage proposed for the development must meet the requirements of the Sign Ordinance.
4. The Norwood Avenue entrance gate shall only be opened during peak use times such as in the morning and in the evening. This gate shall not be open for general use, and no remote gate openers shall be provided for this entrance.
5. The entrance on Main Avenue shall be redesigned with one of the traveling lanes increased to twenty feet, or the island eliminated. The applicant should submit a revised entrance plan for review and approval of the Fire Department.
6. The driveways shall have an approach grade of no greater than four percent within 20 feet of the public right-of-ways and shall be constructed to City standards.
7. The wrought iron fencing along the property lines adjacent to Main and Norwood shall be reviewed and approved by the City Traffic Engineer to ensure the compliance with the City's Visibility Ordinance.
8. A detail of all the fencing, including materials, should be submitted for Planning Director review and approval prior to the issuance of building permits. The wall shall be of a decorative material paying special attention to the transition between masonry and wood.
9. The exterior siding should be six inch horizontal wood siding with minimal butt joints. All the butt joints should be properly secured to avoid warped ends.
10. The roof material should have a minimum 25 year rating and consist of laminated dimensional composition shingles.
11. The garage doors should be metal with raised panel design as indicated on the plans.
12. The windows should be prefinished aluminum and all should be gridded as noted on plans.
13. All the mechanical equipment should be screened. A detail of the proposed screening should be provided for Planning Director review and approval prior to the issuance of building permits.
14. The applicant shall submit a detail of the railings surrounding the decks and patios for review and approval of the Planning Director.
15. On-site grading, paving, and drainage shall be approved by the Public Works Department prior to the issuance of a Building Permit.

Mandatory Mitigation Measures

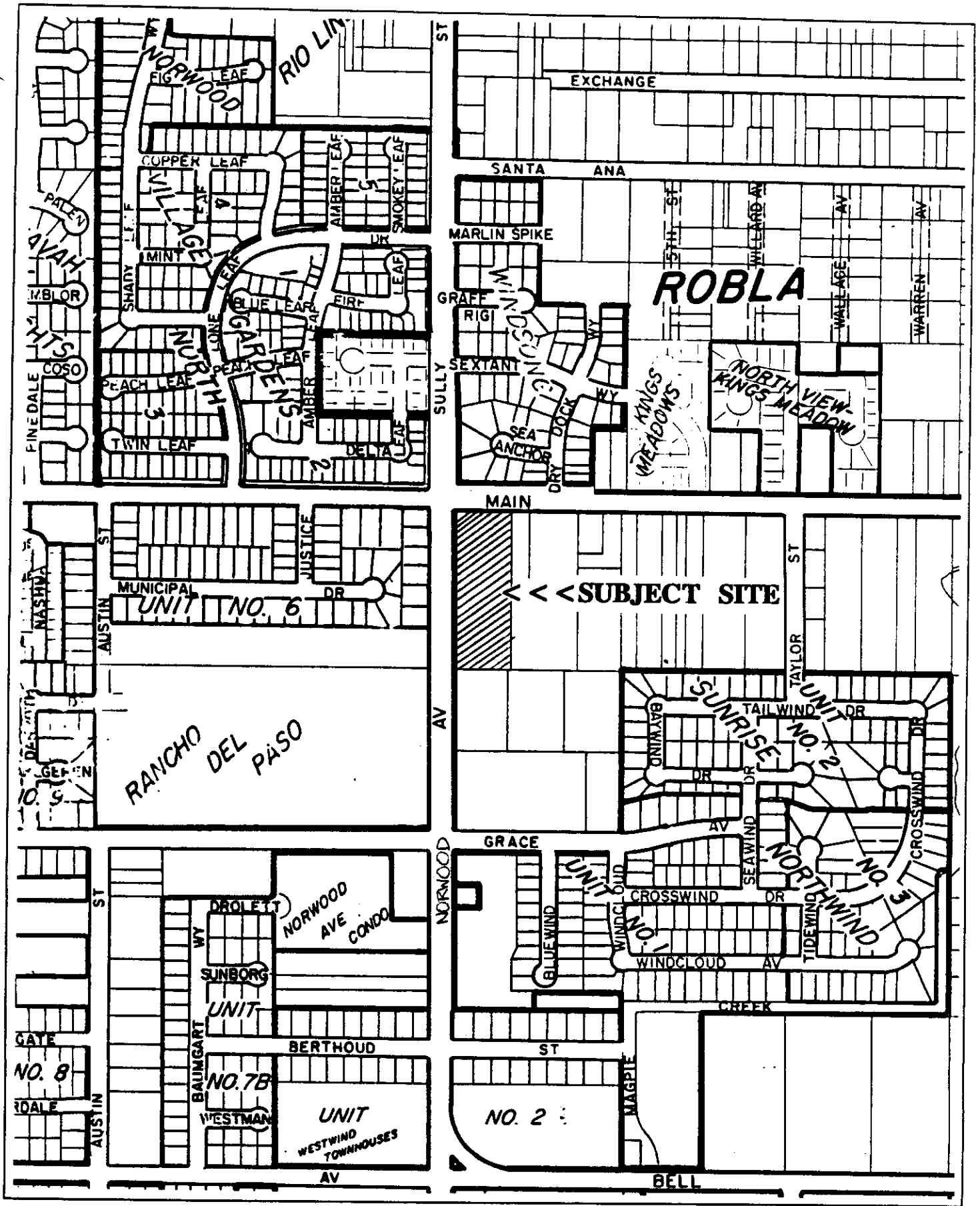
1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
 - a. Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50 percent.
 - b. Cover stockpiles of sand, soil, and similar materials with a tarp.

- c. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
 - d. Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
 - e. Increase the frequency of city street cleaning along streets in the vicinity of construction site.
 - f. Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. All joints in exterior walls shall be grouted or caulked airtight.
 3. All penetrations of exterior walls shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
 4. Window or through-the-wall ventilation and air conditioning units shall not be permitted thereby, providing adequate indoor air quality which the windows are maintained closed.
 5. All sleeping spaces shall be provided with carpet and pad.
 6. There shall be no through-the-door or through-the-wall paper chutes.
 7. Windows must have a minimum STC rating of 29 or better. Windows should comprise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile hour wind per ASTM standards.
 8. Sliding glass doors must carry an STC rating of 31 or better. They should be double glazed and they must meet or exceed the window air infiltration rating given above.
 9. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.
 10. Windows with a direct or side view of Norwood Avenue should be equipped with weather seals incorporating an air tight membrane.
 11. All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses.
 12. If subsurface archaeological or historical remains including unusual amount of bones, stones, or shells are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

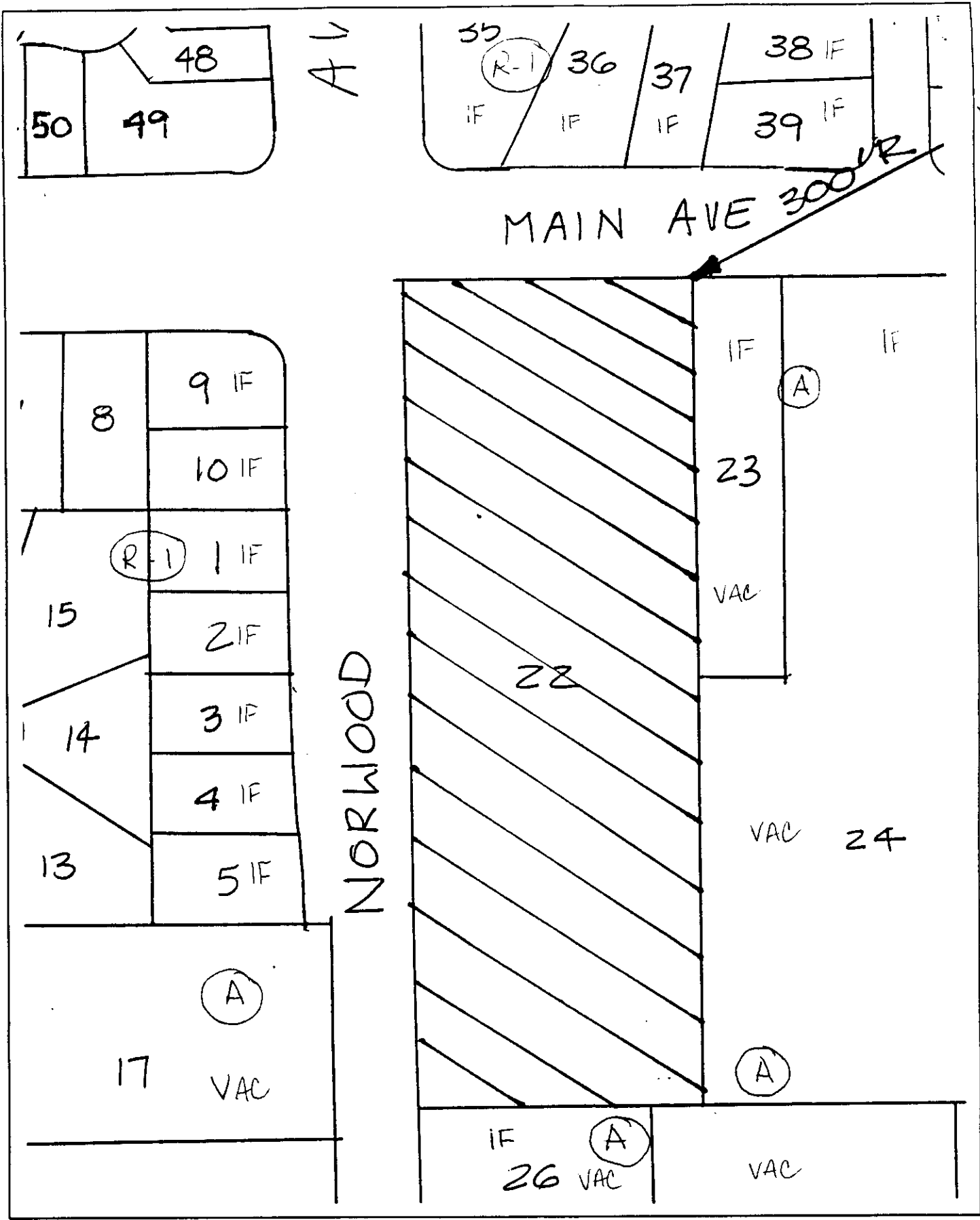
Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be processed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact do to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than significant level through mitigation.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed townhouse development is compatible with the surrounding residential land uses.
2. Granting the variance does not constitute a special privilege extended to an individual applicant in that other property owners facing similar circumstances have been granted variances to waive the required masonry wall.
3. The project, as conditioned, will not be detrimental to the public health or welfare, nor result in the creation of a public nuisance in that:
 - a. adequate parking and landscaping is provided on the site;
 - b. the use is compatible with the surrounding uses;
 - c. a masonry wall will be provided directly adjacent to the existing single family uses; and
 - d. a Home Owner's Association will be formed to maintain the development.
4. Granting the variance does not constitute a use variance in that townhouses are allowed in the R-2B-R zone with special permit approval.
5. The proposal is consistent with the General Plan and North Sacramento Community Plan which designate the site for residential uses.

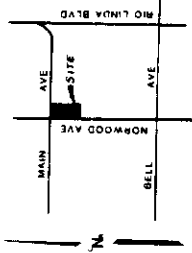


VICINITY MAP

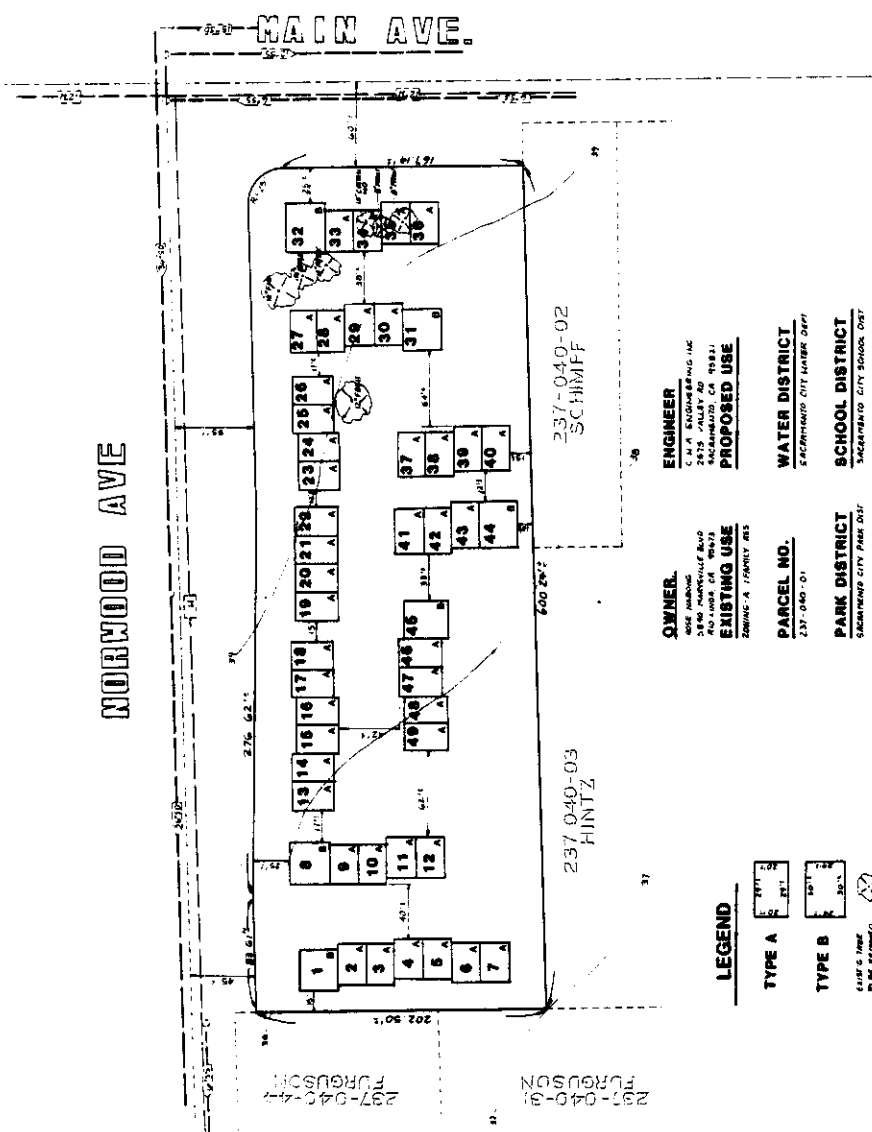


LAND USE & ZONING MAP

EXHIBIT - A



LOCATION MAP
NO SCALE



ENGINEER

CNA ENGINEERING INC.
CIVIL ENGINEERING AND SURVEYS PLANNING STRUCTURAL DESIGN
2415 VALLEY RD
SACRAMENTO, CA 95831

PROPOSED USE

WATER DISTRICT

SACRAMENTO CITY WATER DEPT

SCHOOL DISTRICT

SACRAMENTO CITY SCHOOL CRT

ELECTRICAL

SACRAMENTO CITY POWER DEPT

OWNER

237 040-01
237 040-02
237 040-03

PARCEL NO.

237 040-01
237 040-02
237 040-03

PARK DISTRICT

SACRAMENTO CITY PARK DIST

SEWER DISPOSAL

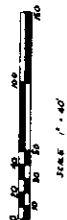
SACRAMENTO CITY SEWER DEPT

LEGEND

TYPE A

TYPE B

EXISTING USE
TO BE REMOVED



TENTATIVE SUBDIVISION MAP FOR
CRESTGATE NORWOOD
CITY OF SACRAMENTO
STATE OF CALIFORNIA

CNA ENGINEERING INC.
CIVIL ENGINEERING AND SURVEYS PLANNING STRUCTURAL DESIGN
PHONE (916) 485-3746
2715 VALLEY ROAD, SACRAMENTO, CA 95871

| | |
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| DATE | DESCRIPTION |
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| DATE | DESCRIPTION |
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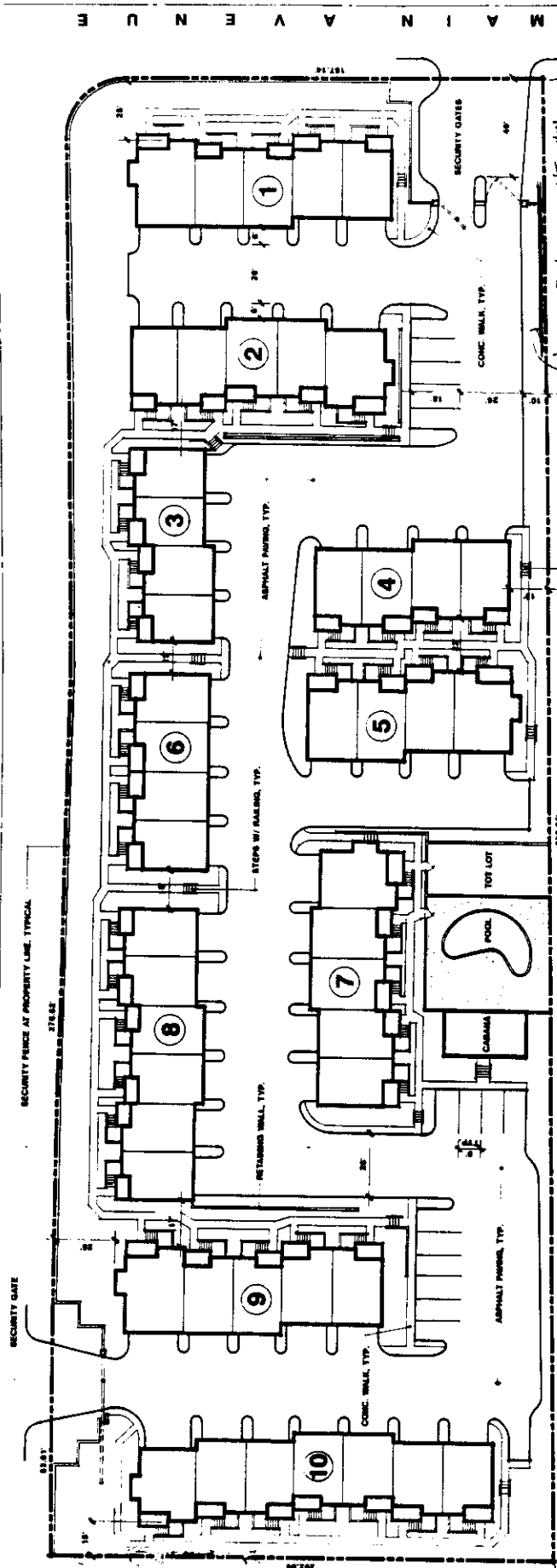
124 1991

124 1991

20

EXHIBIT - B

N O R W O O D A V E N U E



NORTH

PROPOSED SITE PLAN
1"=20'



VICINITY MAP

PROJECT STATISTICS

ACCESSOR'S PARCEL NO.:
SITE AREA:
ZONING: V - NO HOUR
CONSTRUCTION TYPE: CONDOMINIUM
PROJECT TYPE:
TOTAL LIVING UNITS: 49

UNIT TABULATION

| UNIT NO. | HEIGHT | GARAGE |
|-----------------------|---------|--------|
| 4 | 3 STORY | DOUBLE |
| 6 | 3 STORY | DOUBLE |
| 49 TOTAL LIVING UNITS | | |

| PARKING TABULATION | |
|---------------------------|-----|
| GARAGE PARKING SPACES | 94 |
| GUEST OPEN PARKING SPACES | 16 |
| TOTAL PARKING SPACES | 114 |

CRESTGATE NORWOOD
Townhouse Community

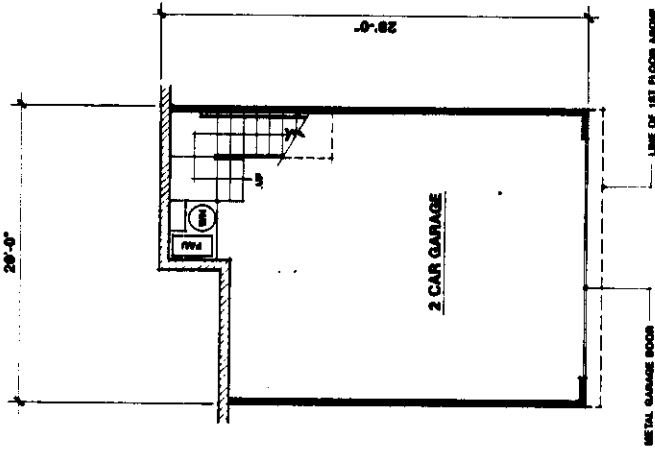
DEVELOPED BY:
CITY DEVELOPERS CO.

P.O. BOX 157, N.W. 8 SACRAMENTO, CA 95668-1557 & (916) 343-3233



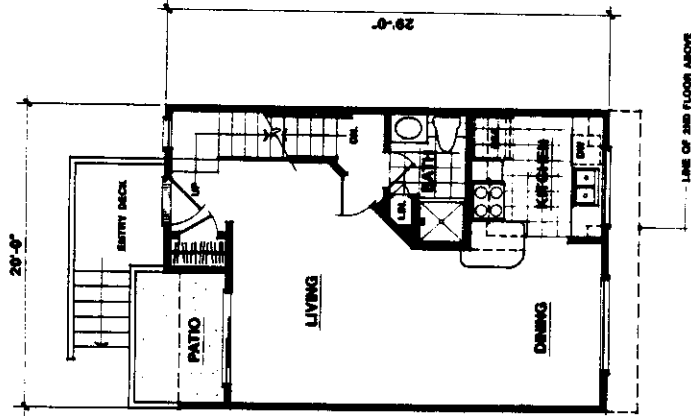
15471 OAK AVENUE • CARROLLVILLE, CA 95688 (916) 487-1845

EXHIBIT - C

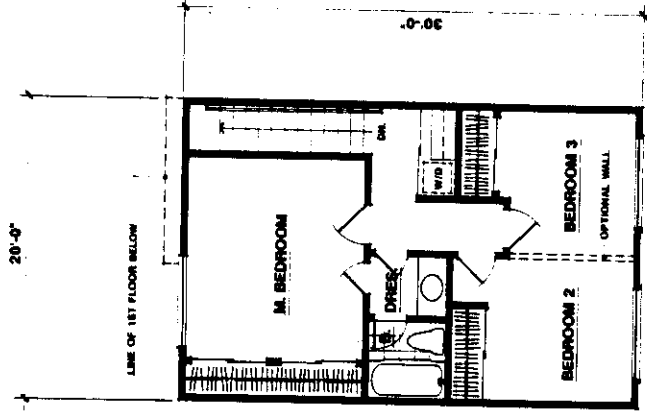


GARAGE PLAN
524 S.F.

UNIT TYPE - A



1ST FLOOR PLAN
544 S.F.

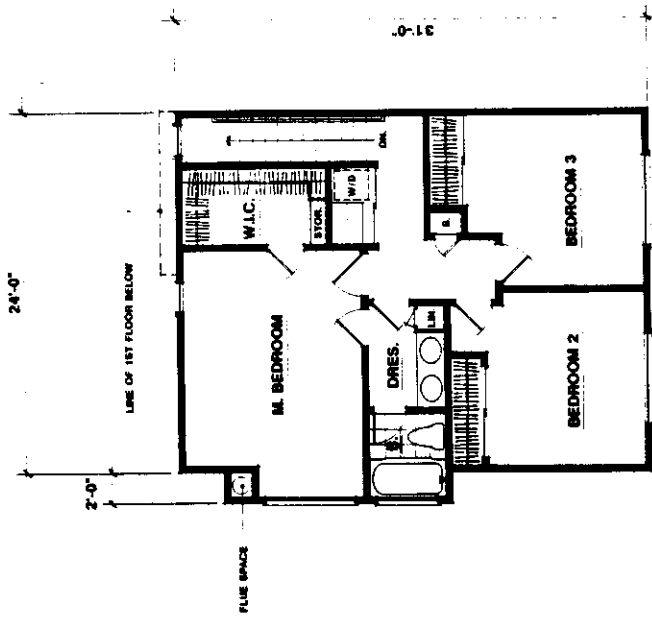


2ND FLOOR PLAN
566 S.F.

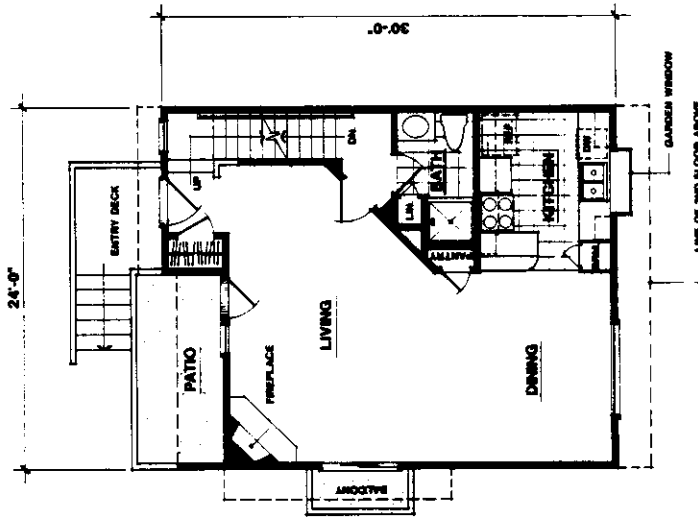
1110 S.F. LIVING SPACE

CRESTGATE NORWOOD
Townhouse Community

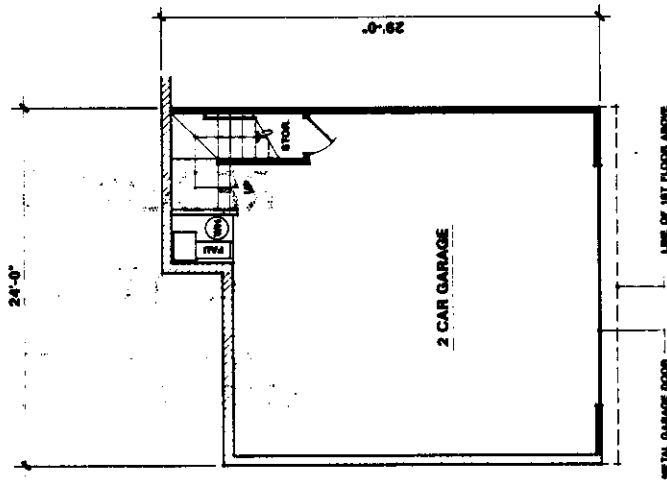




2ND FLOOR PLAN
774 S.F.



1ST FLOOR PLAN
668 S.F.



GARAGE PLAN
620 S.F.

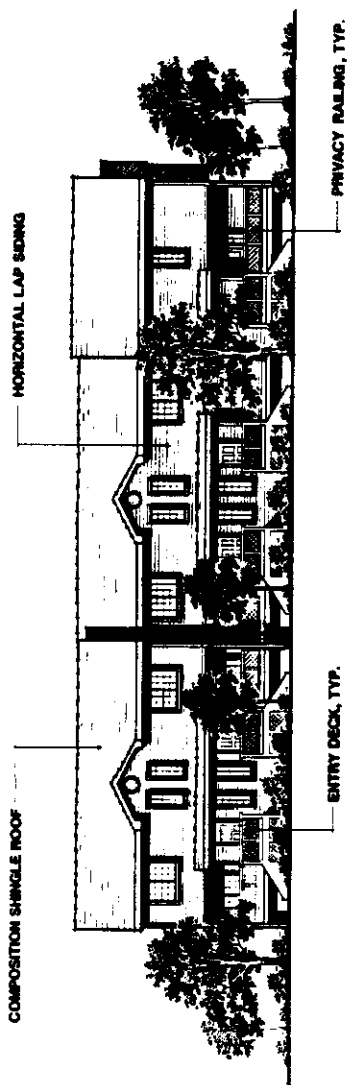
1442 S.F. LIVING SPACE

UNIT TYPE - B

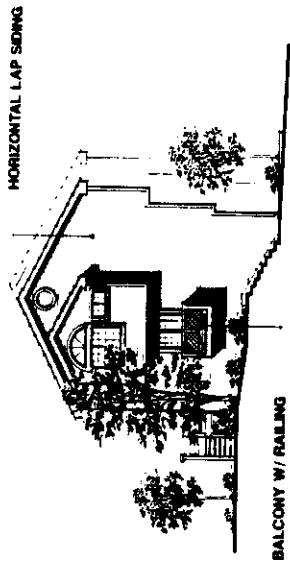
CRESTGATE NORWOOD

Townhouse Community

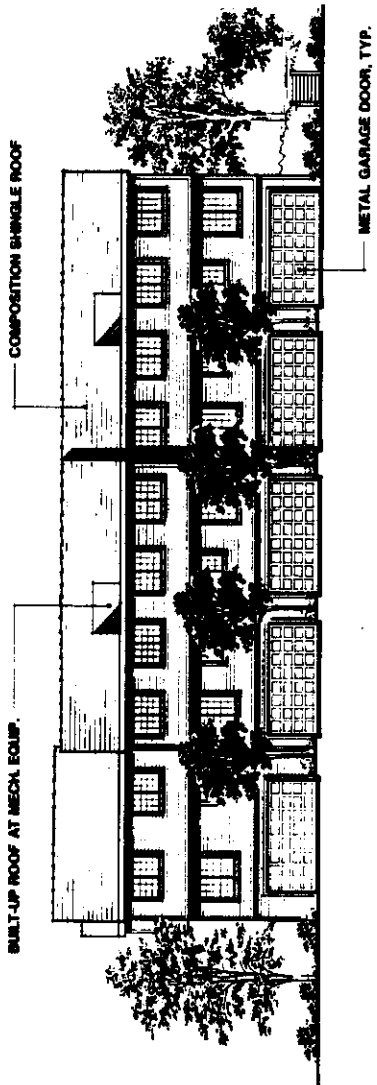




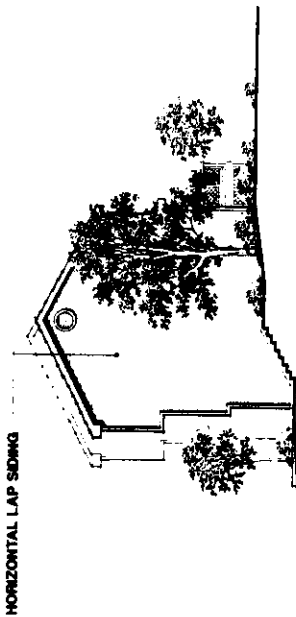
TYPICAL BUILDING - ENTRY ELEVATION



LEFT ELEVATION



TYPICAL BUILDING - GARAGE ELEVATION



RIGHT ELEVATION

EXHIBIT - E

CRESTGATE NORWOOD
Townhouse Community

