

CITY OF SACRAMENTO

Permit No: 9803509

1231 I Street, Sacramento, CA 95814

Insp Area: 4

Site Address: 1 ROLLINGBROOK CR SAC

Sub-Type: ASFR

Parcel No: 2250700019

Housing (Y/N): N

CONTRACTOR

MORRISON HOMES
11344 COLOMA RD
GOLD RIVER CA

95670

OWNER

HASTINGS ROBIN LEROY/CHINATSU
1 ROLLINGBROOK CR
SACRAMENTO CA

95833

ARCHITECT

Nature of Work: INSTALL PIPE PILES AT FOUNDATION

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date 8-17-98 Owner Signature [Signature]

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8-17-98 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8-17-98 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNER

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed improvement (yes or no) _____

2. I (have/have not) _____ signed an application for a building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name Self - providing construction Address 927 Argonne St

City Rockville, MD Telephone 650 367-9595

Contractors License No. 425752 ^{EXP} 12/31/2001

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work.

Name _____ Address _____

City _____ Telephone _____

Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the work indicated:

Name	Address	Phone	Type of Work
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Signed [Signature]

Job Address #2 401 W. Beach Date 5-17-98

Permit No.: _____

CITY OF SACRAMENTO
 DEVELOPMENT SERVICES DIV. *DEP'T OF NEIGHBORHOODS, PLANNING & DEVELOPMENT
 1231 I STREET * SACRAMENTO, CA 95814 * PHONE (916)264-7619

STRUCTURAL TESTS AND INSPECTIONS SCHEDULE

PRIOR TO OBTAINING THE PERMIT, THE PROJECT OWNER SHALL COMPLETE, SIGN AND SUBMIT THIS FORM FOR THE BUILDING INSPECTION DIVISION FOR APPROVAL.

PROJECT NAME: _____ PLAN REVIEW # _____
 PROJECT ADDRESS: _____ PERMIT NUMBER 98035894

TESTING/INSPECTION AGENCY/IES: Hudson Consulting Group

ARCHITECT, ENGINEER OR OWNER'S NAME: _____ SIGNATURE: [Signature]
(Please Print)

hereby certifies that the Testing/Inspection agency named above has been engaged to perform structural tests and inspections during construction, as noted below, to satisfy all applicable portions of the Uniform Building Code.

INSPECTIONS REQUIRED

In accordance with Sections 302 and 306 of the Uniform Building code, special inspections shall be performed on the following items (circled):

<u>Item</u>	<u>Description</u>	<u>Ref. Dwg.*</u>
1.	CONCRETE _____	_____
2.	REINFORCING/PRESTRESS STEEL _____	_____
3.	WELDING _____	_____
4.	HIGH STRENGTH BOLTING _____	_____
5.	STRUCTURAL MASONRY _____	_____
6.	PILING, DRILLED PIERS, CAISSONS _____	_____
7.	SPRAY APPLIED PROOFING _____	_____
8.	OTHER: _____	_____

* Referenced drawings listed represent a sample of the item requiring special inspection and are not intended to document all drawings or specifications containing information pertaining to that item.

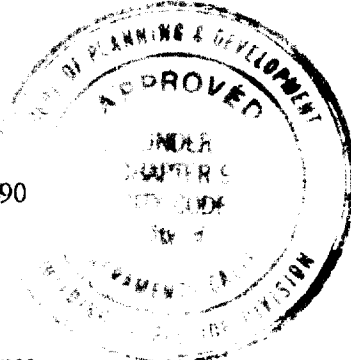
BID APPROVAL _____ Date 10/27/88

File No. 3300..1
27 April 1998

Morrison Homes
11344 Coloma Road, Suite 390
Gold River, CA 95670

Attention: Calvin Habedank

SUBJECT: Jurusik Residence
2 Rollingbrook Circle
Sacramento, California
REVISED RECOMMENDATIONS



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance.

Gentlemen:

In our April 1996 report which provided recommendations for the repair of the Jurusik residence at 2 Rollingbrook Circle in Sacramento, California, we recommended a repair system consisting of a cut-off wall around the footing coupled with a concrete apron to stabilize the moisture conditions below the foundations. In late 1997 and early 1998, we inspected the residence again and noted that the crack in the wall between the dining room and the kitchen had actually opened wider than was observed in 1996. We recommended that another liquid level study be completed. That study was done in February 1998.

The new liquid level study showed the south side of the house had moved down about 1 inch since our 1996 study. Because of this new information, we recommend that the house be repaired using steel pipe piles at the locations shown on the attached Figure 1. When the pipe piles are installed, the south side of the house should be raised 0.5 to 1.0 inches to restore the foundation to a more level state. The pipe piles will be 2 inch diameter schedule 80 steel pipes with a cast iron driving point and will be driven to a depth which will result in a minimum uplift capacity of 9 tons. We anticipate the depth of piles to be 15 to 30 feet.

We will observe the installation of the piles, and concrete apron to see that they are installed in accordance with our recommendations. Following completion of the construction to repair the residence, we will issue a letter confirming that the construction was done in accordance with our recommendations

The large tree should be removed as recommended in our April 1996 report. All other recommendations included in our 1996 report for the house should be completed.

Very truly,

ANDERSON CONSULTING GROUP

Gery F. Anderson
CE 25387, GE 95, CEG 163



8/12/98

Enclosures: Figure 1-Site plan
Figure 2-Pipe Pile Details

360 Idaho-Maryland Rd.

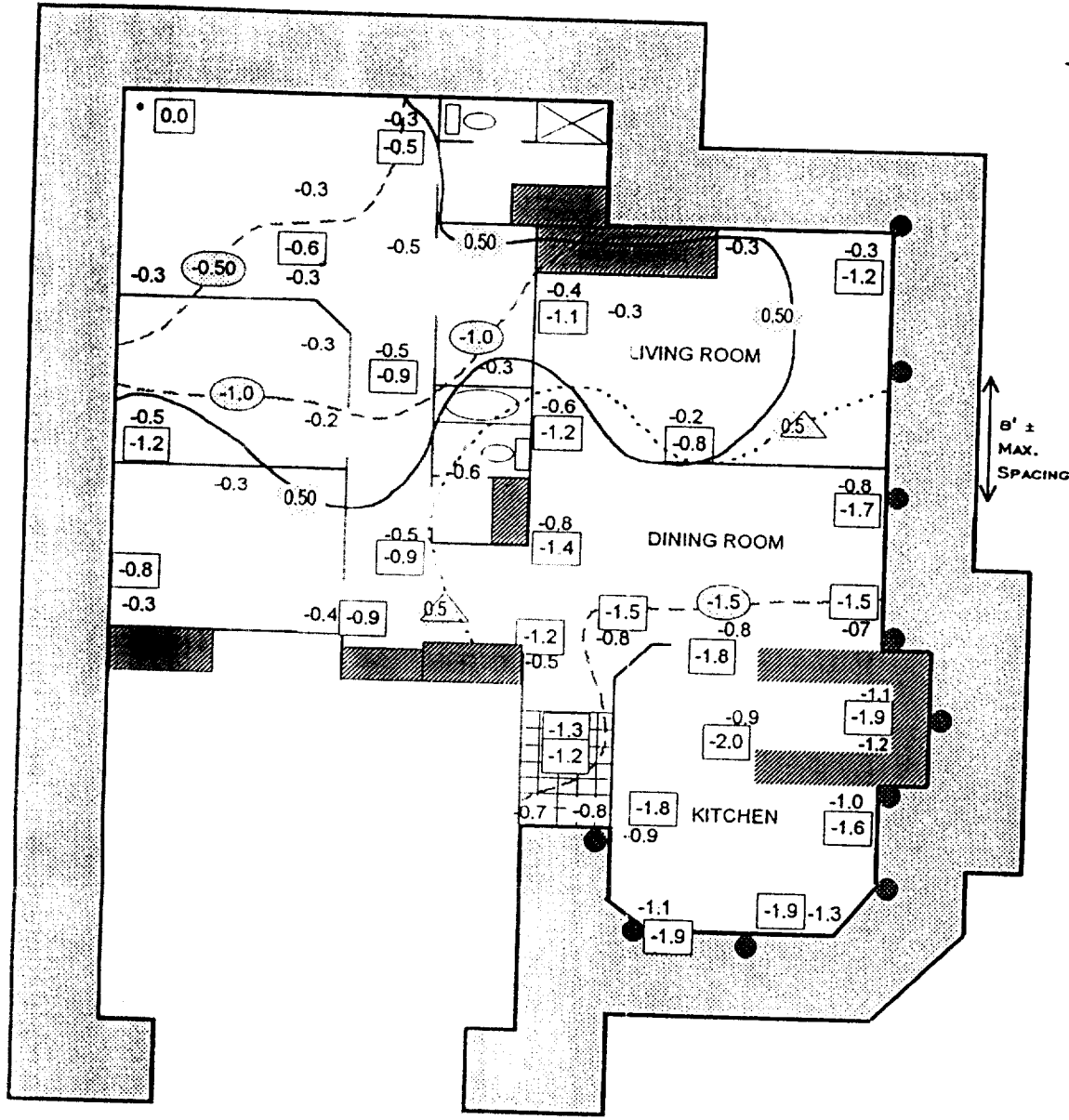
Grass Valley, CA

95945-7801

916. 273.7645

FAX 916. 273.9159

ENVIRONMENTAL SOLID WASTE GEOTECHNICAL



LEGEND

- 0.0 Original 0.0 Point
- 0.8 Reading Locations on April 3, 1996
(readings are in inches)
- 1.2 Reading Locations from February, 1998
(readings are in inches)
- 0.5 April 3, 1996 Floor Level Contours
(Anderson Consulting Group)
- 0.5 October 1, 1993 Floor Level Contours
(Michelucci & Associates, Inc.)
- 0.5 February 1998 Floor Level Contours
(Anderson Consulting Group)
- 5 Foot Wide Concrete Apron
- Pipe Piles

JURUSIK RESIDENCE
2 Rollingbrook Circle

FLOOR ELEVATION SURVEY
February, 1998

ANDERSON CONSULTING GROUP		
360 Idaho Maryland Road Grass Valley, California 95945 (530) 274-3010		
File No.	Date	Figure No.
3300.1	Feb-98	1

ENVIRONMENTAL SOLID WASTE GEOTECHNICAL

File No 3300.1
11 October 1996

Mr. Ned Clyde
Ned Clyde Construction
159 Mason Circle
Concord, CA 94520



Subject Hastings and Lemene Residences
1 Rollingbrook Circle and 62 Rollingbrook Circle
Sacramento, CA
OCTOBER 1996 FLOOR MEASUREMENTS

Dear Mr. Clyde:

On 7 October you and the undersigned visited the subject residences to examine the structures and conduct floor level surveys. The purpose of the surveys was to assess the effects the summer weather had on the structures.

Hastings Residence

The liquid level survey showed little movement in the relative floor elevations in most of the structure. However, the survey did reveal that the master bedroom/bathroom area had moved down about 1 inch since our survey in April 1996. The readings show that the master bedroom was about 2 inches lower than the slab elevation in the kitchen area. Although it could be expected that the summer readings would show lower elevations, the 1 inch differential and 2 inch total is outside the norm. See Figure 1 for a comparison of the April vs. October readings.

Lemene Residence

The liquid level survey showed, in general, little relative movement between the April measurements and the October readings. In most cases the difference was less than 0.2 inches, which is generally considered to be within the accuracy of such measurements. Comparing our survey with Michelucci's 9-6-96 survey shows a variance of about 0.5 inches in the master bedroom area. See figure 2 for a comparison of the April vs. October readings.

Based on the old and new surveys we do not recommend that anything be done differently than the recommendations contained in our April 1996 report for the Lemene residence.

For the Hastings residence, the change in floor elevation of 1 inch suggests that excess drying of the soil occurs in the vicinity of the master bedroom. This may be due to the watering pattern or the vegetation around the master bedroom. In order

to reduce the potential for seasonal movement the repair could consist of either a system to reduce the seasonal moisture fluxuations in the soil or an underpinning foundation. The surest of the two methods is the underpinning foundation system. Therefore, it is our recommendation that the Hastings residence be repaired by underpinning the master bedroom with steel pipe piles. We recommend that the pipe piles be driven into the soil until the house foundation starts to lift. We anticipate the length of piles could be anywhere from 15 to 30 feet. The 2.5 inch diameter steel pipe piles will need to be driven into the soil at the approximate locations shown on Figure 1. A total of either 7 or 8 piles will be needed. The pipe piles will use the weight of the structure as a reaction and will be connected to the foundation as shown on Figure 3. Following the installation of the piles, the master bedroom should be raised about .75 inches to bring the room to acceptable standards. Any cracks caused by the underpinning installation should be repaired and repainted

The Hastings residence repair should also include the concrete aprons as recommended in our April report, except the apron can be terminated as shown on figure 1 (it need not extend along the south side of the master bedroom).

All other recommendations regarding plantings and drainage as well as any other recommendations in our April report should be followed.

Very truly,


ANDERSON CONSULTING GROUP

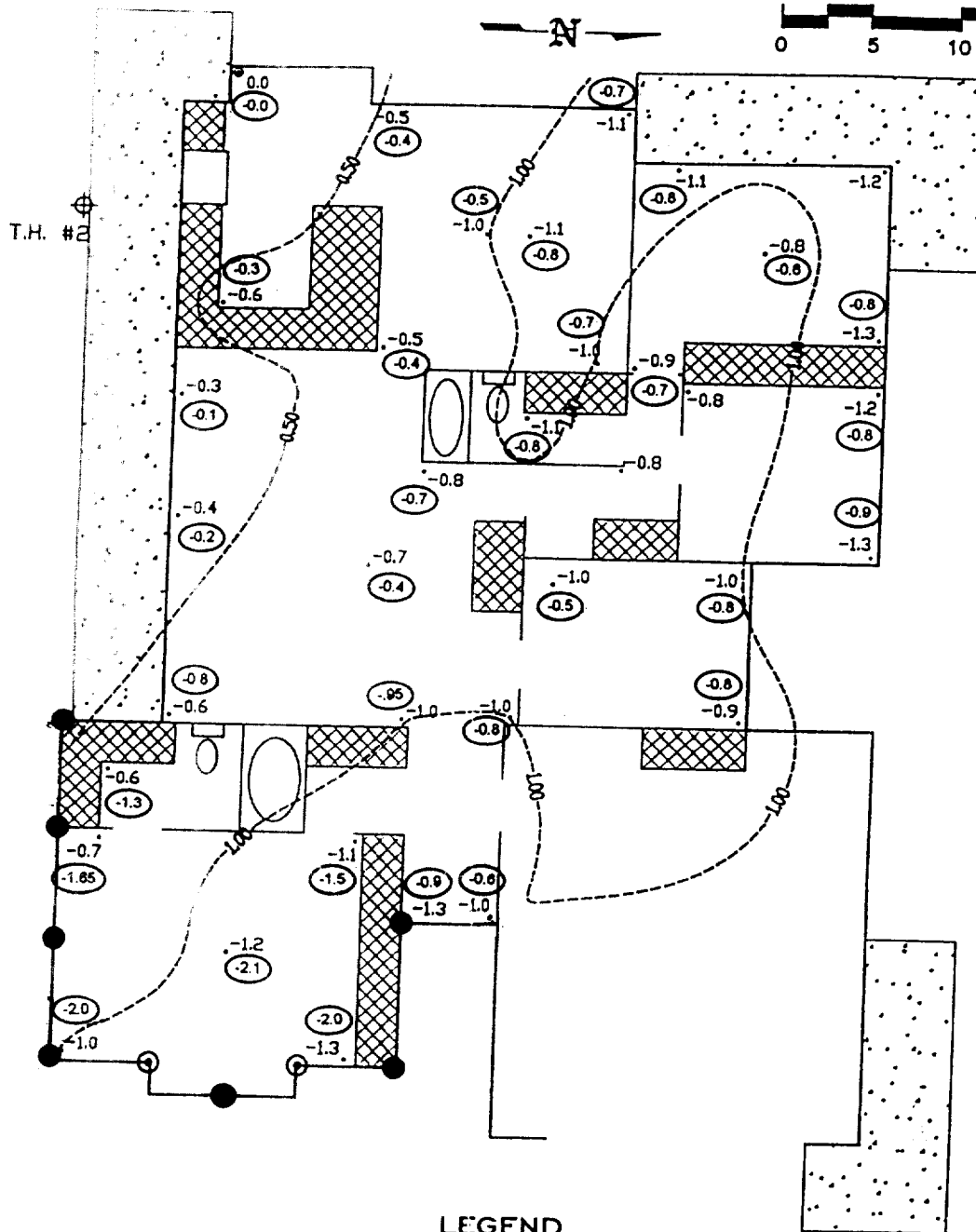
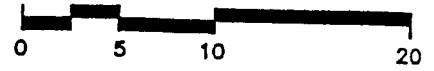
Gery F. Anderson
GE 95
CEG 163

encl: Figures 1-3

cc: Stephen Goff



SCALE 1" = 10'



LEGEND

0.0 ORIGINAL 0,0 POINT

0.1 APRIL 3, 1996 READING LOCATION (IN INCHES)

APRIL 3 1996 FLOOR LEVEL CONTOURS
(ANDERSON CONSULTING GROUP)

0.2 10/7/96 ELEVATION SURVEY READINGS

⊕ TEST HOLE LOCATION

▨ 5 FOOT WIDE CONCRETE APRON

● PIPE PILE LOCATIONS

⊙ ALTERNATIVE PIPE PILE LOCATIONS

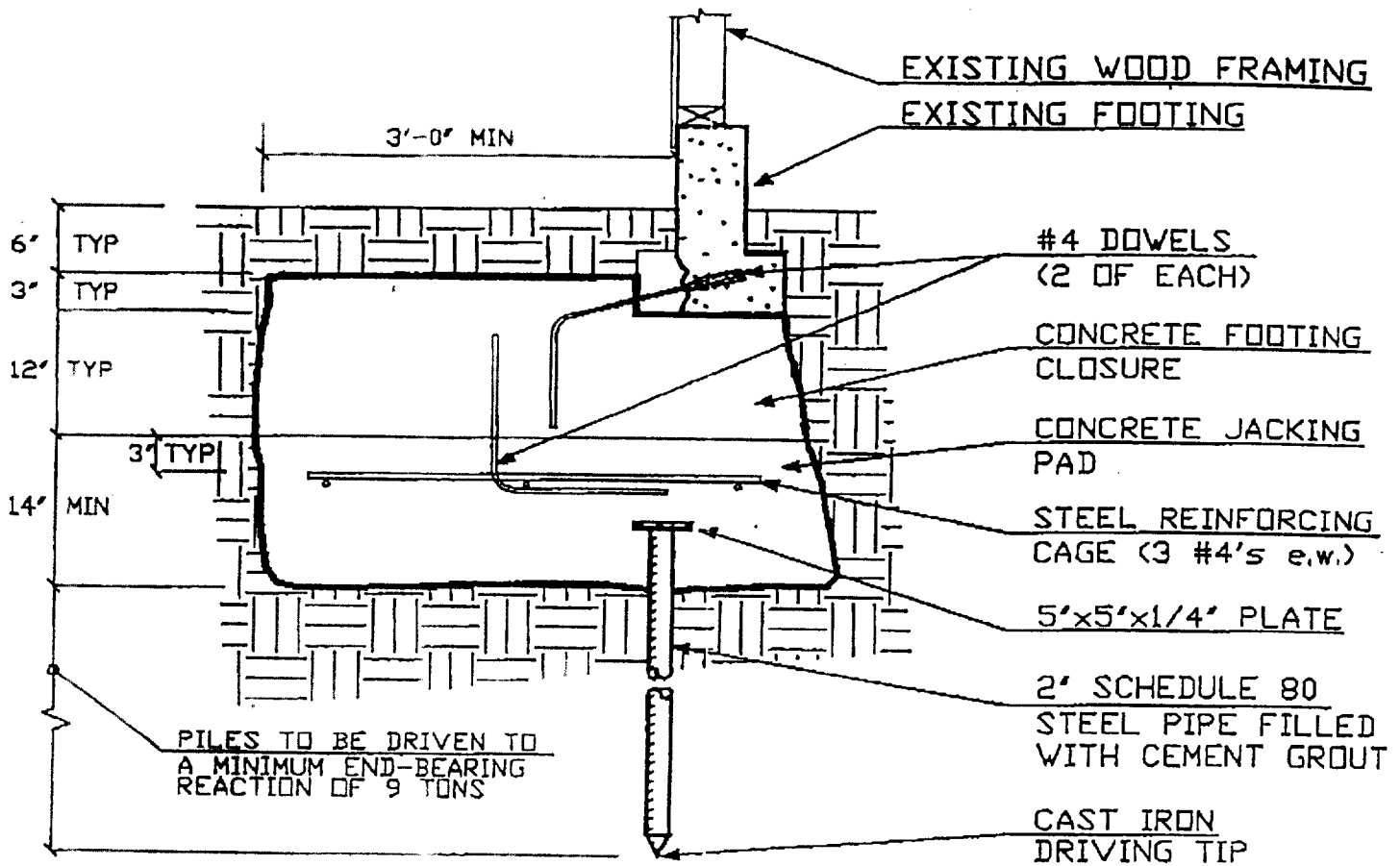
HASTINGS RESIDENCE
1 ROLLINGBROOK CIRCLE
FLOOR ELEVATION SURVEY
10 OCTOBER 1996



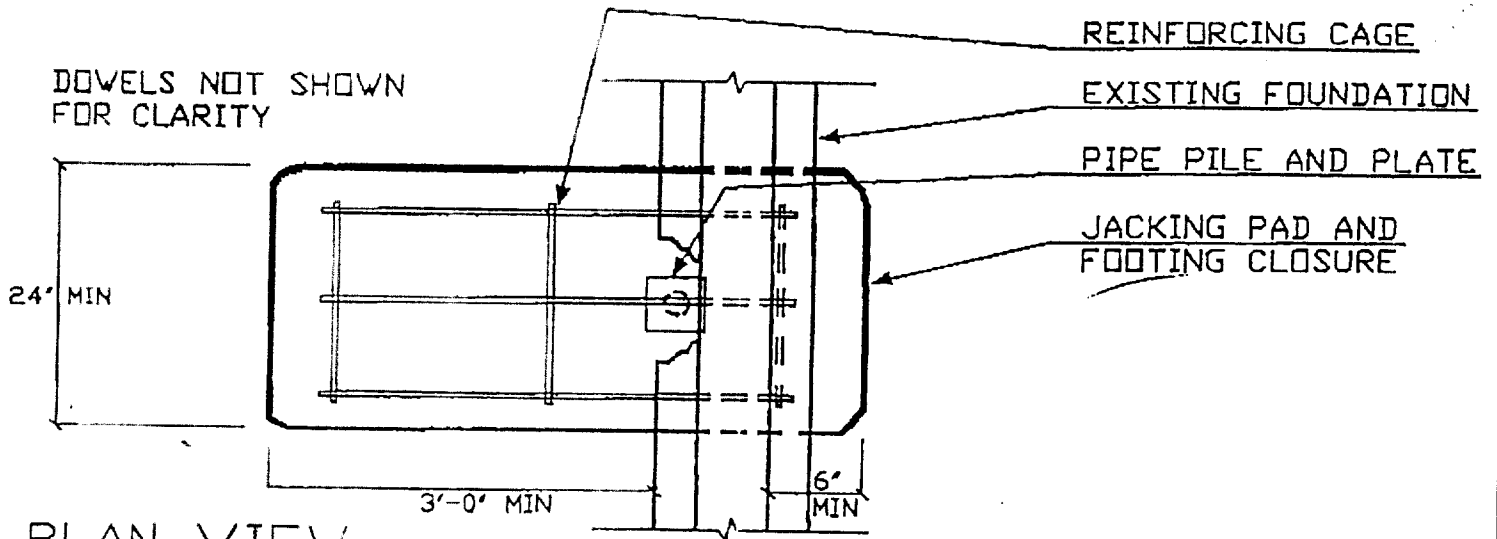
**ANDERSON
CONSULTING GROUP**

Roseville (916) 786-8883
Grass Valley (916) 273-SOIL

FILE NO.	DATE	FIGURE
3300.01	OCTOBER 1996	1



TYPICAL CROSS SECTION



PLAN VIEW

SCALE USED: 3/4"=1'-0"

PIPE PILE UNDERPINNING DETAIL

PROVIDED BY NED CLYDE CONSTRUCTION
9/27/96

FILE NO.	DATE	FIGURE
3300.01	OCTOBER 1996	3