

CITY OF SACRAMENTO

Permit No: 0004170

1231 I Street, Sacramento, CA 95814

Insp Area: 4

Site Address: 2300 INNOVATOR DR SAC

Thos Bros:

Parcel No: 225-0125-003

VILLAGIO CR BLDG#1018 UNITS 1-16

Sub-Type: NAPT

Housing (Y/N):

N

CONTRACTOR

OWNER

ARCHITECT

**NATOMAS VILLAGIO LLC
164 OAK RD
ALAMO, CA 94507**

Nature of Work: NEW APARTMENT #1018 TYPE2

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date 10.15.01 Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 10.15.01 Applicant/Agent Signature _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall comply with those provisions.

Date 10.15.01 Applicant Signature _____

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

CERTIFICATE OF OCCUPANCY

For Information Contact (916) 264-5716

Building Address: 4101 INNOVATOR DR #1018, UNITS 1-16 Permit No.: 0004170
Building Use: APT BLD Occupancy: R1
Building Owner: NATOMAS VILLAGIO LLC Construction Type: V-1H
Owner Address: ALAMO, CA Sprinkled? [] Yes [X] No
Portion of Building Occupied: ENTIRE Area: 15040 Sq. Ft.
5/27/03
Date By: (Print) Dennis Richardson Sign DENNIS RICHARDSON
CHIEF BUILDING OFFICIAL

[Finaled By: DPB,JBB,RSB,SB,GRS]

This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the Chief Building Official. No changes shall be made in the character of occupancy or use without approval of the Chief Building Official.

POST IN A CONSPICUOUS PLACE



**F. RODGERS INSULATION
RESIDENTIAL, INC.**
THERMAL INSULATION CONTRACTORS
Residential

INSULATION
CERTIFICATE
6609

7775 LAS POSITAS ROAD • LIVERMORE, CA 94551
(925) 294-9400 • FAX (925) 294-9475

1300 S RIVER RD. #125 • W. SACRAMENTO, CA 95691
(916) 386-9400 • FAX (916) 386-9446

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

STREET PACAMOUNT LOT # 10 TRACT # VLLA610
CITY SAC

EXTERIOR WALLS:
MANUFACTURER 5M THICKNESS/TYPE _____ R-VALUE 13

CEILING:
BATT: MANUFACTURER 5M THICKNESS/TYPE _____ R-VALUE 30
BLOWN IN: MANUFACTURER 5M MINIMUM THICKNESS 12 1/2" R-VALUE 30
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

SQUARE FOOTAGE COVERED 7452 NUMBER OF BAGS USED 136
FLOORS & OVERHANGS: MANUFACTURER 5M THICKNESS/TYPE _____ R-VALUE 11
OTHER: MANUFACTURER 5M THICKNESS/TYPE _____ R-VALUE 11
MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____
CALIFORNIA CONTRACTORS LICENSE # _____

DATE _____
SIGNATURE _____ TITLE _____

INSULATION CONTRACTOR F. RODGERS INSULATION RESIDENTIAL
CALIFORNIA CONTRACTORS LICENSE #771285

DATE 3-13-03
SIGNATURE B. J. [Signature] TITLE _____



Post-it® Fax Note	7671	Date	10/15	# of pages	3
To	GEORGE T.	From	JACOB JONES		
Co./Dept	PARAMOUNT	Co.	COMPLERE		
Phone #		Phone #			
Fax #	916-928-0531	Fax #			

ORIGINAL TO FILED BY MAIL

RFI (Request For Information)

Project Name: Village
 Project Number: 120
 Date: 10/19/02
 Supervisor: George Taggart
 RFI #:

JOBSITE P# 916-928-0329
 JOBSITE F# 916-928-0531

TO: JACOB
 ATTENTION: COMPLERE

Request:

CAN WE HAVE A TYPICAL FIX FOR THE FOLLOWING DRAWINGS #1. WE OCCASIONALL HAVE THIS COME UP DUE TO MINOR MISPLACEMENT OF HD BOLT. ALSO, we need ok on Drawing #2 (Typical)

NEED ANSWER TODAY

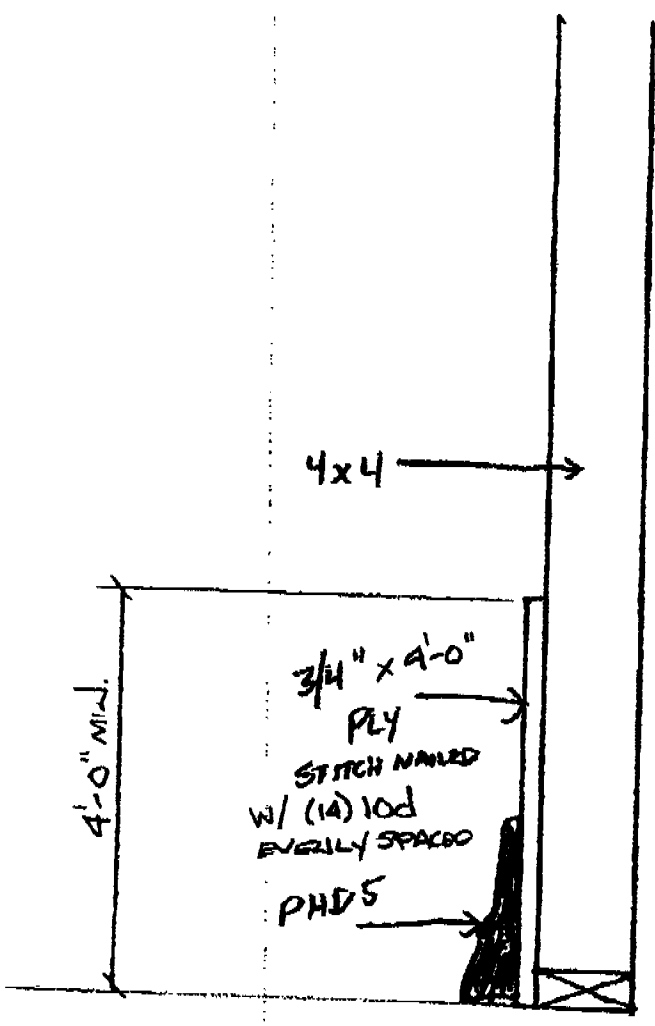
IF THIS RFI REQUIRES OWNER/ARCHIT APPROVAL PLEASE INCLUDE A COPY OF THE SIGNED APPROVAL.

Response:

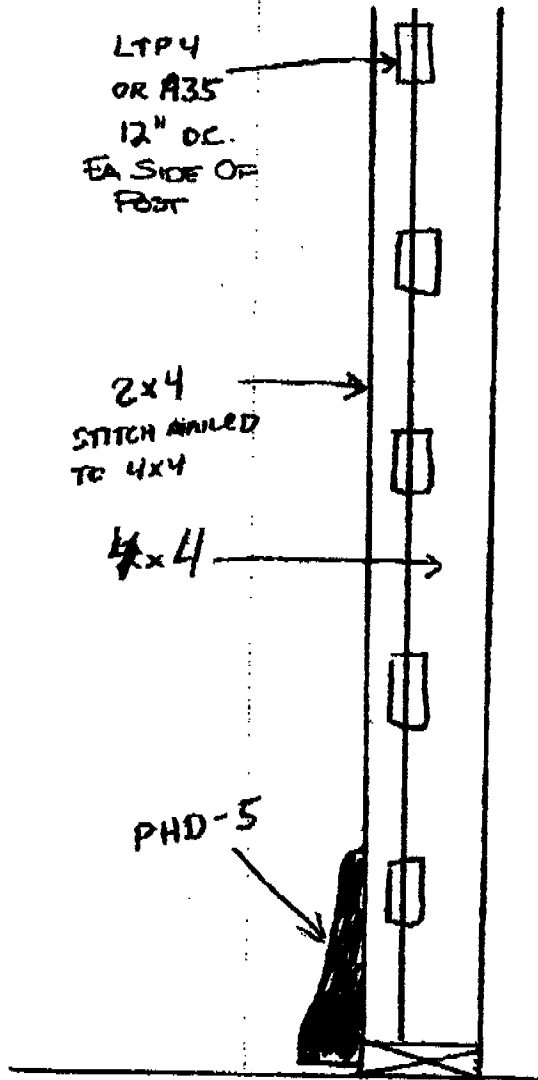
GEORGE
 SEE FOLLOWING DETAILS

Sign: Jacob Jones Date: 10/14/02

CONDITION AT SHEAR WALL
WHERE HD BOLT IS A LITTLE MISALIGNED



OCT 14 2002



OCT 14 2002

COMPLERE

COMPLERE ENGINEERING GROUP, INC.

4230 KIERNAN AVENUE, SUITE 210 MODESTO, CA 95358-9323

TEL 209-545-8165 FAX 209-545-8170

**FITNESS CENTER FOUNDATION
REPAIR FOR AS-BUILT CONDITIONS**

SIM @ ELDG #10

PREPARED FOR:

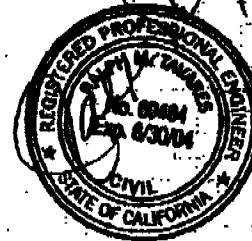
Paramount Builders Corp.

(916) 240-4081

FAX: (916) 928-0531

JOB:

Villagio Apartments.
Sacramento, CA



001012002

STRUCTURAL DETAILS

SHEET INDEX

TITLE SHEET	1
PARTIAL FOUNDATION PLAN	2
DETAILS	3

3 PGS. TOTAL

- TITLE SHEET -

Project No.

21107

Date

7/8/02

Sheet

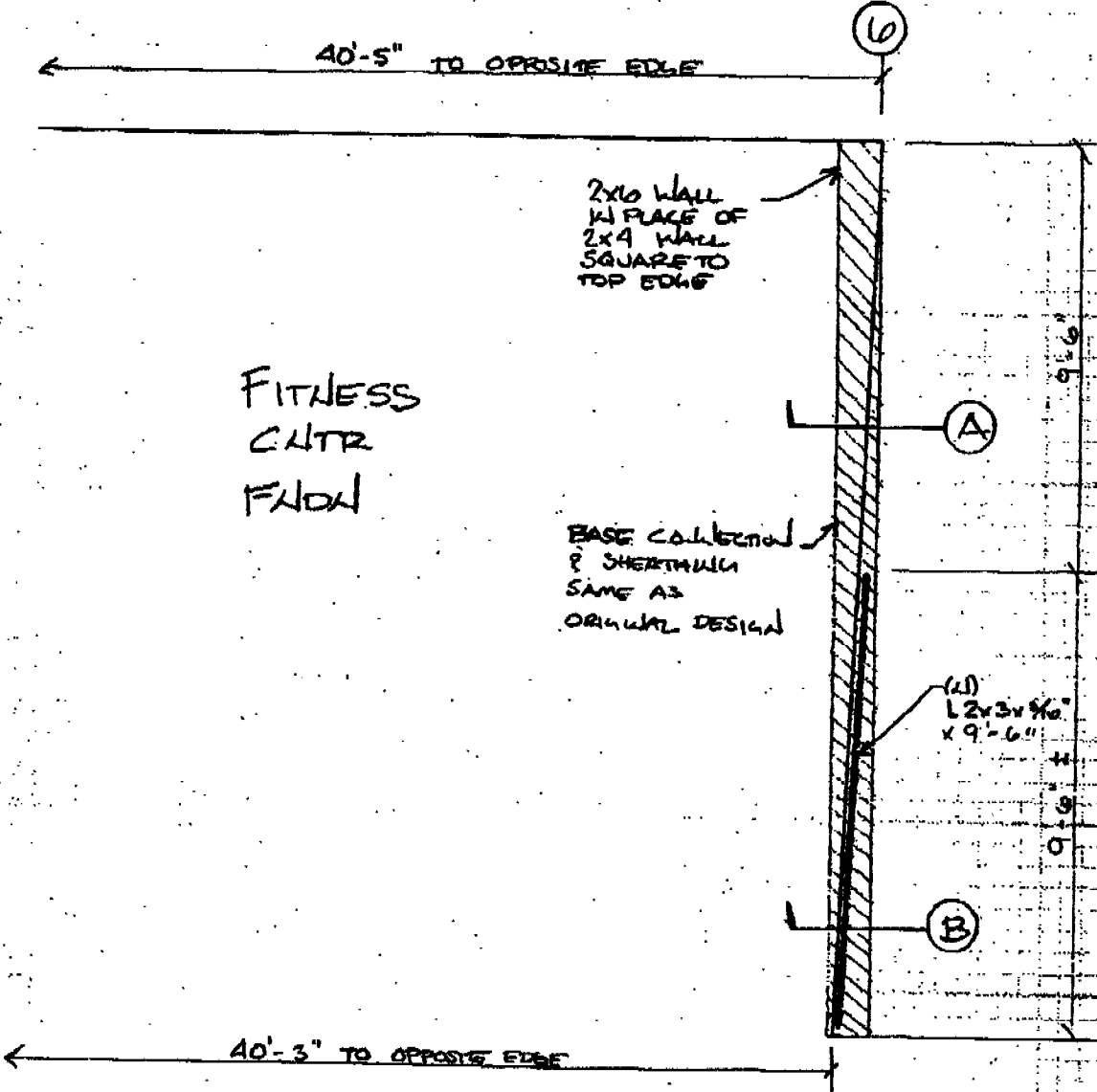
of 3

COMPLERE

COMPLERE ENGINEERING GROUP, INC.

4230 KIERNAN AVENUE, SUITE 210 MODESTO, CA 95356-9323

TEL 209-545-8165 FAX 209-545-8170



NOTE: N.T.S.

VILLAGIO APTS.

PARTIAL FLOOR PLAN

Project No.
21107

Date
7/6/02

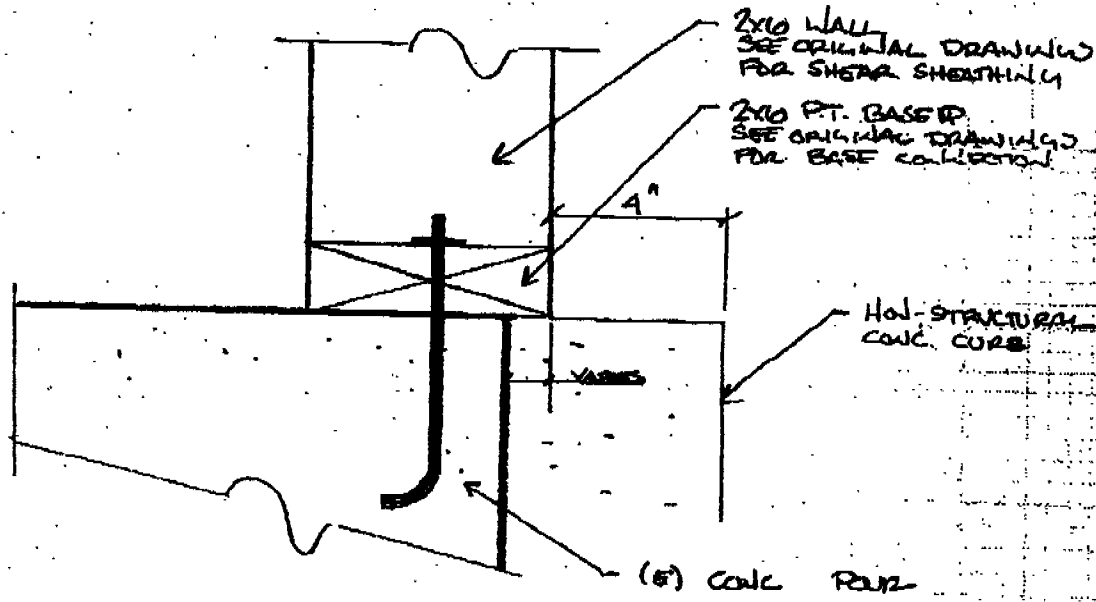
Type Fitness Block Floor @ Block #10

JPJ

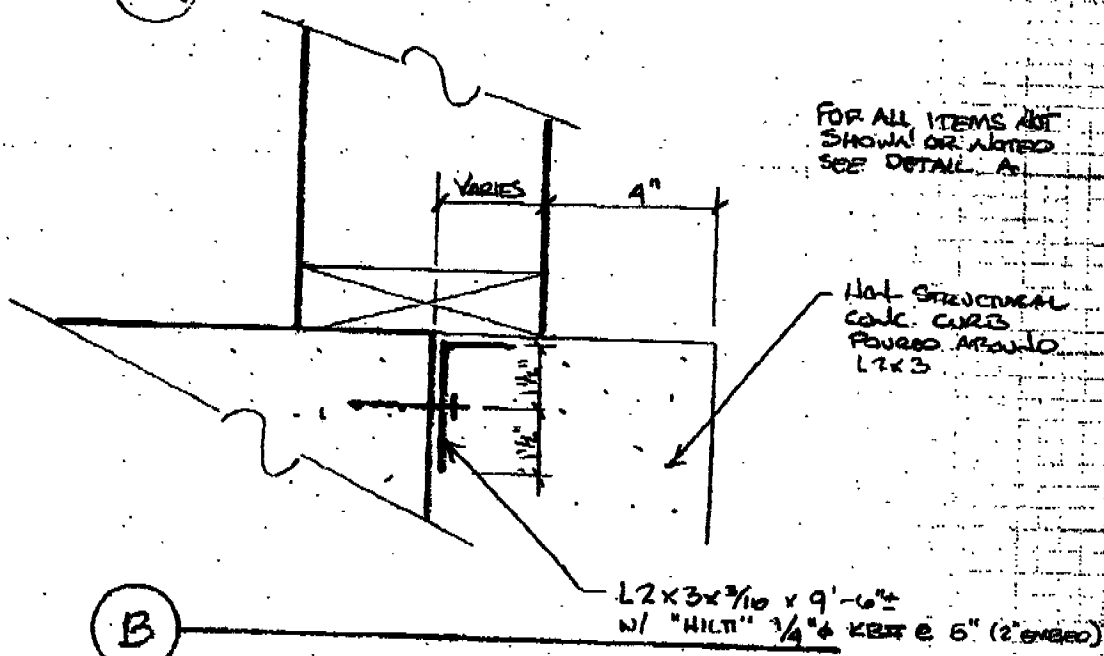
Sheet
2 of 3

COMPLERE

COMPLERE ENGINEERING GROUP, INC.
 4230 KIERNAN AVENUE, SUITE 210 MODESTO, CA 95356-9323
 TEL 209-545-8165 FAX 209-545-8170



(A)



(B)

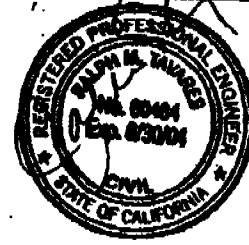
VILLAGE APTS.		Project No.	21107
DETAILS		Date	7/8/02
Type e FITNESS BLDG. FLDN e Bldg # 10	JRJ	Sheet	3 of 3

COMPLERE

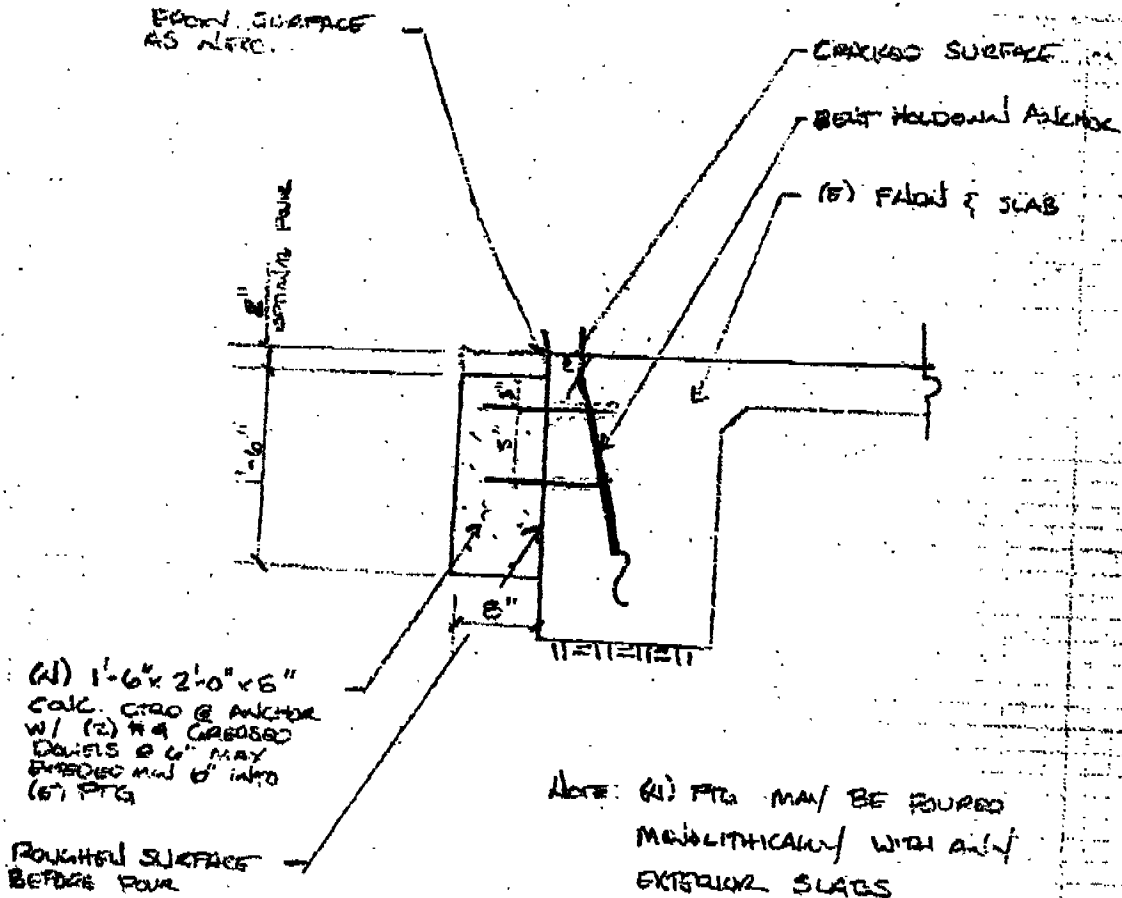
COMPLERE ENGINEERING GROUP, INC.

4230 KIERNAN AVENUE, SUITE 210 MODESTO, CA 95356-9323

TEL 209-545-8166 FAX 209-545-8170



OCT 04 2002



(A) 1'-6" x 2'-0" x 6"
 CONC. CURB @ ANCHOR
 W/ (2) #4 CROSSED
 DOWELS @ 6" MAX
 SPACED AND 6" INTO
 (B) FTRG

NOTE: (A) FTRG MAY BE FORMED
 MONOLITHICALLY WITH ANY
 EXISTING SLABS

VILLACIO APTS

BLDG #10 CONCRETE REPAIR

RFI #40

Project No. 21107

Date 10/4/02

JPJ

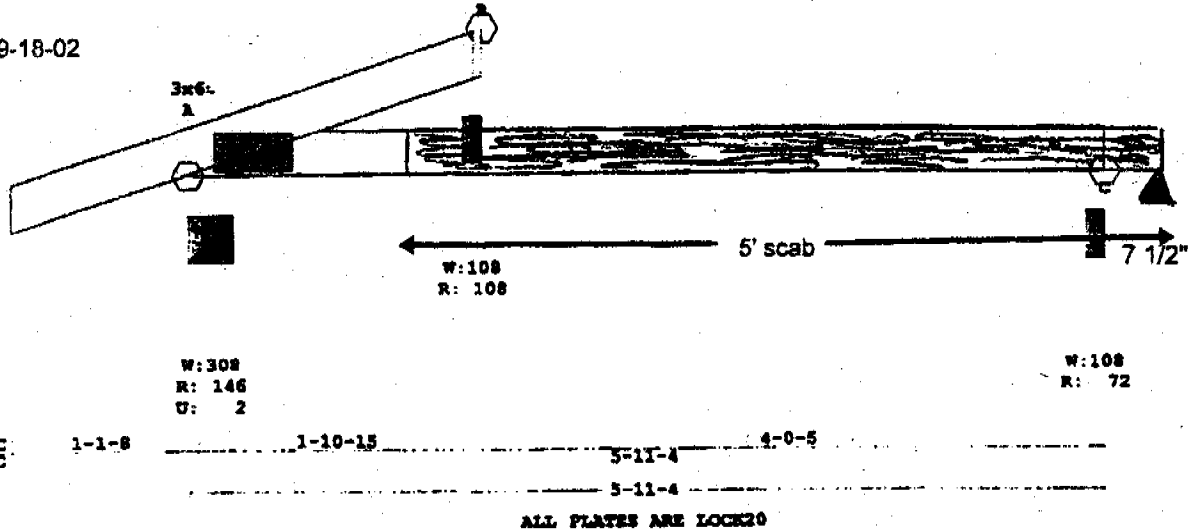
Sheet 1 of 1

Cause; Bottom chord length is 7 1/2" short.

Repair; Scab 2x4 #2 5' DFL to one face of bottom chord as shown. Nail scab to truss with 10d common nails @ 4" O.C.

Typical for trusses J21-J27 & J81-J88

Truss Repair 9-18-02



Scale: 0.802" = 1'

APPROX. TRUSS WEIGHT: 17.4 LBS

Online Plus -- Version 10.0.001
RUN DATE: 11-28-01

CSI SIZE LUMBER 1.15FB
TOP .22 2X 4 DFL-#2 1552
BTM .16 2X 4 DFL-#2 1552
REPETITIVE MEMBER INCREASES:
FB 15.0% FT .0% FC .0%

LATERAL BRACING:
TOP CHORD - CONTINUOUS
BTM CHORD - CONTINUOUS
TRUSS SPACING - 24.0 IN.

STANDARD LOADING
LUMBER STRESS INCREASE: 15.0%
PLATE STRESS INCREASE: 15.0%
LOADING LIVE DEAD (PSF)
TOP CHD 16.0 14.0
BTM CHD .0 7.0
TOTAL 16.0 21.0 37.0

SUPPORT CRITERIA
JT REACT WIDTH JT REACT WIDTH
LBS IN-SX LBS IN-SX
A 146 3- 8 B 84 1- 8
C 30 1- 8

LOAD CASE #1 UBC LL CHECK
LUMBER STRESS INCREASE: 25.0%
PLATE STRESS INCREASE: 25.0%
LOADING LIVE DEAD (PSF)
TOP CHD .0 14.0
BTM CHD 10.0 7.0
TOTAL 10.0 21.0 31.0

SUPPORT CRITERIA
JT REACT WIDTH JT REACT WIDTH
LBS IN-SX LBS IN-SX
A 105 3- 8 B 108 1- 8
C 72 1- 8

LOAD CASE #2 WIND FROM LEFT
LUMBER STRESS INCREASE: 33.3%
PLATE STRESS INCREASE: 33.3%
LOADING LIVE DEAD (PSF)
TOP CHD 16.0 14.0
BTM CHD .0 7.0
TOTAL 16.0 21.0 37.0
EXCEPTIONS:
A-B -11.3N 14.0

SUPPORT CRITERIA
JT TYPE HORIZ VERT WIDTH
LBS LBS IN-SX
A PIN 19 18 3- 8
B HORIZ RLR 0 36 1- 8
C HORIZ RLR 0 29 1- 8

LOAD CASE #3 WIND FROM RIGHT
LUMBER STRESS INCREASE: 33.3%
PLATE STRESS INCREASE: 33.3%
LOADING LIVE DEAD (PSF)
TOP CHD 16.0 14.0
BTM CHD .0 7.0
TOTAL 16.0 21.0 37.0
EXCEPTIONS:
A-B -9.1N 14.0

SUPPORT CRITERIA
JT TYPE HORIZ VERT WIDTH
LBS LBS IN-SX
A PIN 15 33 3- 8
B HORIZ RLR 0 41 1- 8
C HORIZ RLR 0 29 1- 8

LOAD CASE #4 WIND // RIDGE
LUMBER STRESS INCREASE: 33.3%
PLATE STRESS INCREASE: 33.3%
LOADING LIVE DEAD (PSF)
TOP CHD 16.0 14.0
BTM CHD .0 7.0
TOTAL 16.0 21.0 37.0
EXCEPTIONS:
A-B -16.9N 14.0

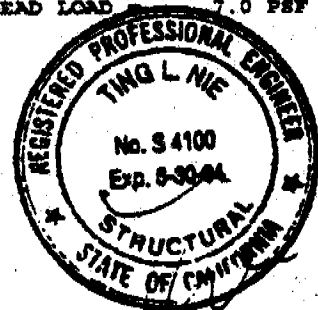
SUPPORT CRITERIA
JT TYPE HORIZ VERT WIDTH
LBS LBS IN-SX
A PIN 29 -2 3- 8
B HORIZ RLR 0 26 1- 8
C HORIZ RLR 0 29 1- 8

	LEFT	RIGHT
HEEL	0IN - 1SX	
MEMBR	CSI P(LBS) M#1ST M#2ND	
A-B	.22 30 T -1261 0	
A-C	.16 0 T 330 0	

WEBS

DL+LL DEFL = .04" IN A-C
LL DEFL = .02" < BRG-SPAN/360
SPAN/DEFL (DL+LL) = 999

- NOTES:
1. TRUSSES MANUFACTURED BY - Walker Lumber
 2. ANALYSIS CONFORMS TO TPI (ANSI/TPI 1-1995).
 3. EMPIRICAL ANALOG IS USED.
 4. DESIGN INCLUDES CHECK FOR 10 PSF NON-CONCURRENT LIVE LOAD ON BOTTOM CHORD.
 5. WIND LOADS - ANSI/ASCE 7-98
TRUSS IS DESIGNED AS A MAIN WIND-FORCE RES SYSTEM
WIND SPEED - 80 MPH
MEAN ROOF HEIGHT - 25'
EXPOSURE CATEGORY - C
OCCUPANCY CATEGORY - 1
ENCLOSED BUILDING.
OCEANLINE DIST - 100 MILES
TC DEAD LOAD = 14.0 PSF
BC DEAD LOAD = 7.0 PSF



COMPLERE

September 4, 2002

George Tugaeff
Paramount Builders
916-928-0529
Fax #: 916-928-0531

RE: Villagio Apartments
RFI # 33

George,

Please refer to RFI #33. The questions posed and the responses are listed below.

- 1) **Blocking and Transfer issues at drag truss in Fitness Center. (Details 2 & 12 aht S7.3R)**

First of all, as we pointed out in on our site visit 8/28, the truss in question is not a drag truss and in fact, is not even a truss. Along line 3.9, the 2x4 vert is referring to the ends of the jack trusses in the perpendicular direction. The only pertinent question of what was is the field was the 2x4 blocking on the top and bottom. I instructed the framer to make sure these were in place at the roof. Everything else, with respect to these details, was acceptable at the time of our visit.

- 2) **Fitness Center Truss Details discrepancy with Truss Design.**

The truss details as far as layout were based on assumptions before the framing design was completed and therefore do not always meet the exact field conditions. This is quite apparent on the front and rear entrance to the Fitness Building. The framer had constructed adequate shear transfer from the roof diaphragm to the wall at these positions using solid 2x12 blocking and fully sheathing the panel in between the roof levels and wall plates. These approvals are based upon our site visit 8/28.

- 3) **Clubhouse (and typical) fix for Electrical and HVAC cutouts in shear panels, especially HVAC unit in MPOE room.**

Typically, if the shearwall is greater than 4'-0" total length then the following fix can apply. All openings should fit in between 16" o.c. studs. If the opening is less than 16" in height, no strapping is needed. If the opening is 16" - 36" in height, a "Simpson" CS16 strap must be added top and bottom of opening. The strap must extend 32" past the opening or to end of shearwall, on both sides of the opening. The strap must have solid 2x blocking behind it. Any opening not meeting these typical dimensions needs to be approved specifically by engineer. At MPOE room, use "Simpson" CS16 strap top and bottom of opening, extending to both ends of wall panel. Fully block behind straps.

The sheathing on the drag truss may be omitted on the front of Unit A as we discussed. Again I remind the framer that perpendicular blocking and A35 clips need to be installed per plans.

5) **Top plate on party walls cut for 3" DWV**

A "Simpson" MST strap centered at the cut and fully nailed must be used at the top plate of all such cuts.

6) **Typical jack truss hangers (7-S1.4)**

Hangers called-out in detail 7-S1.4 are meant to be guides. Any equivalent hanger may be used. Furthermore, our detail and the showing of hangers should not supercede the truss manufactures design in this case. Connections are only necessary where called-out by truss manufacturer.

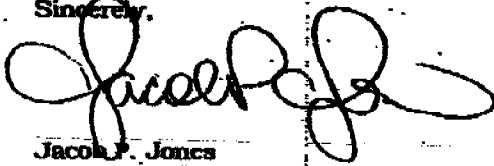
7) **Need clarification on balcony drop at all buildings.**

As we discussed on site, this is an architectural issue. The heights and slopes were set by Danielian and we have no authority to change it. However, the issue I believe is valid and should be presented to Danielian. After they have made their decision, we can act accordingly.

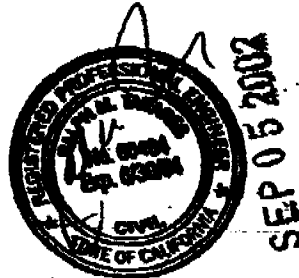
8) **Engineer to wet seal all framing fixes pertaining to structural.**

I hope these answers are sufficient.

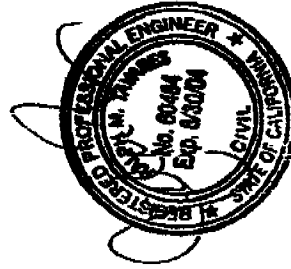
Sincerely,



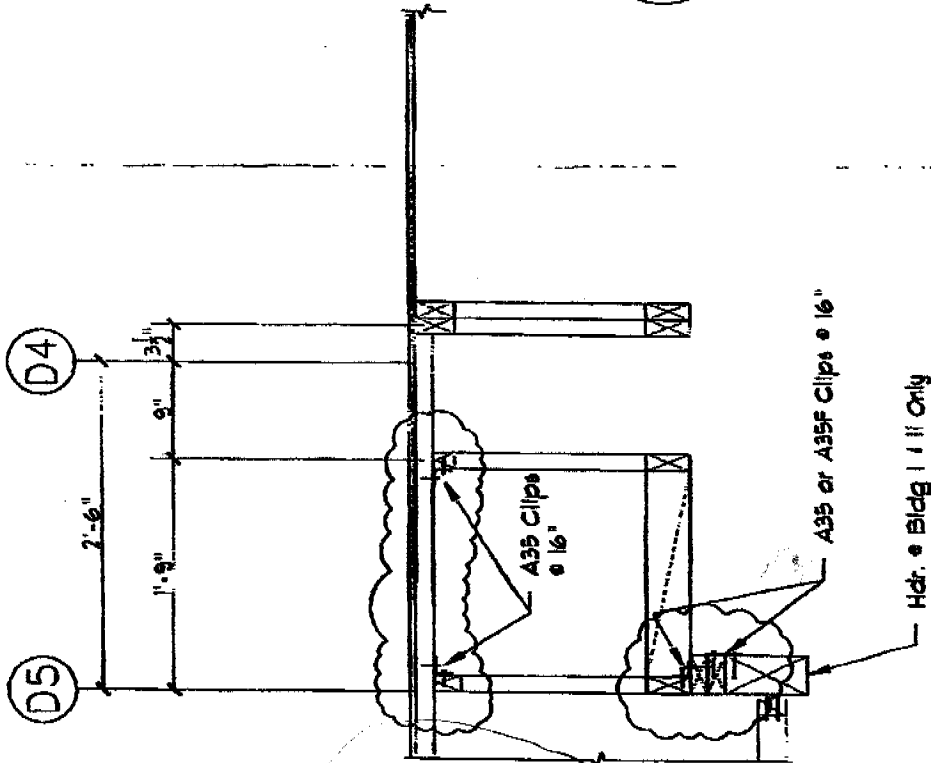
Jacob P. Jones
Staff Engineer
Compleo Engineering Group



#5



9/20/02



8 MODIFICATION UNIT "D"

SCALE: 3/4"=1'-0"

8
S5.6

Pool Test

DATE: 10 9 02
PROJECT NO. 2009
PROJECT: VILLAVIS APARTMENTS
LOCATION: BLDB-10 @ 4101 INNOVATOR

DSA FILE/APPL. NO. _____
OSHPD NO. _____
PERMIT NO. _____
WEATHER: _____ TEMP: _____

PROOF LOAD **TORQUE** **WITNESSING**

Testing was performed on the following items. All tests were performed with the following calibrated equipment:

RAM: AT 255 GAGE: AT 1009 TORQUE WRENCH: _____
RAM: _____ GAGE: _____ TORQUE WRENCH: _____

LOCATION OF TEST	TYPE / SIZE	# TESTED	% of TOTAL	LOAD lb or Ft Lbs	GAGE (PSI)	# ACC.	# REJ.	# RETEST
<u>PHOS EPOXYED ANCHOR BOLTS</u>	<u>5/8"</u>	<u>4</u>		<u>6955</u>	<u>2000</u>	<u>4</u>	<u>0</u>	<u>0</u>

- Type of epoxy / grout used: _____ Method of application / cleaning: _____
- Visual inspection was performed on _____
- Show up / Stand by time. Job Canceled / Delayed due to: _____
- All non-compliance items were brought to the attention of: _____ at the job site

NON-COMPLIANCE REPORT ATTACHED ADDITIONAL TESTS ATTACHED

NOTES: _____

To the best of my knowledge, the above WAS / WAS NOT performed in accordance with the approved plans, specifications, and regulatory requirements

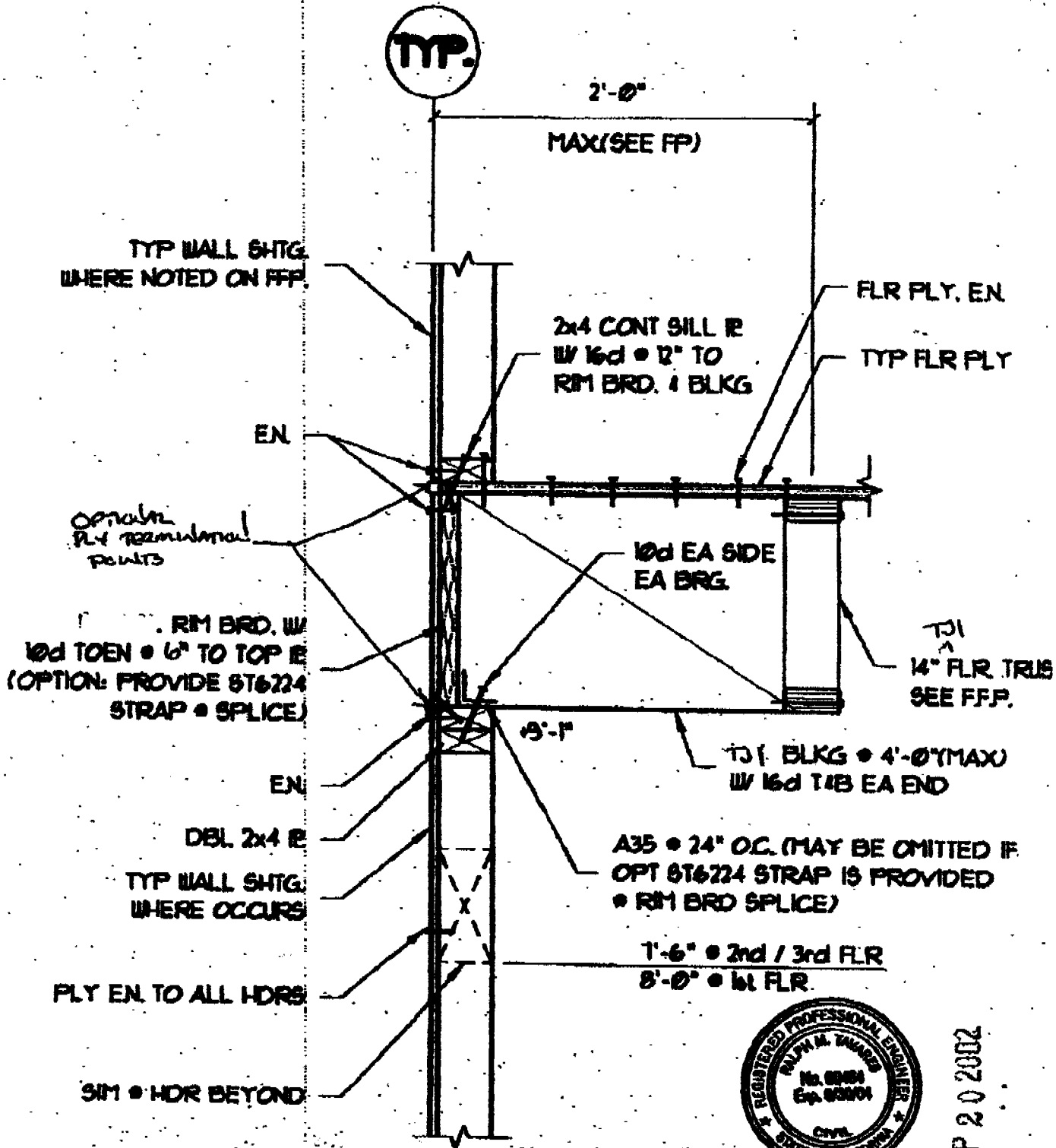
Superintendent/Representative: _____

Inspector: _____

[Signature]

#3

RFI 21 - DWG 1/2



SEP 20 2002

COMPLERE

BLOG
#10

September 20, 2002

George Tugaeff
Paramount Builders
(916)928-0529
Fax: (916)928-0531

RE: Villagio Apartments
RFI #47

George,

Please refer to RFI #47. The questions posed and responses are listed below.

(re: RFI #33) Detail 3 S5.5 - Need answer to be typical at all "A" units or letter Framing each building (see Answer 4 of letter on 9/4).

*

The sheathing on the drag truss may be omitted on the front of Unit A as we discussed. Again I remind the framer that perpendicular blocking and A35 clips need to be installed per plans. This shall be typical for all "A" units in building types I & II.

*

Also on 3 S5.5 - Flat 2x4 isn't applicable due to further trusses being different heights. Need deletion noted as typical or letter for each applicable building. Also on 3 S5.5 - call out A35 truss to top plate.

Also typical for all "A" units, the flat 2x4 in detail 3 on S5.5 is not applicable. The A35 clips, which are called-out already in the detail, need to be in place between the truss and the top plate.

(re: RFI #10) Need typical or for each building.

*

Detail 2 and 3 S5.4 - Break in shear at top plate A35 @ 16" oc. Truss to top plate. Typical at all buildings or letter for each. Answered partly on RFI #21. Also replace 2x6 with 2x4.

The shear ply at party walls may be spliced at blocking in truss. Originally the blocking was called out as 2x6, but a 2x4 will suffice. This splicing is ok as long as the 2x4 is attached to the top plate with A35 @ 16". This substitution is to be considered a valid option to that of the original detail, and can be considered acceptable for all buildings.

(re: RFI #21) Detail 1 85.1 - Lapping shear at rim joists. Answered on RFI #21.
Need typical or letter for each building.

Lapping of shear ply at rim joist may be accomplished as shown in details on sheets #3 & 4 of this package. These substitutions are acceptable for all buildings of this project.

Need alternate for shear panel @ 855.6. Framers missed it but have flat A36's @ 16" top plate to bottom chord. Can this be typ. Or for each type of building with "D" units. Same Detail - lookouts are used instead of 2x4 at top. Is there some type of transfer metal we can use for this?

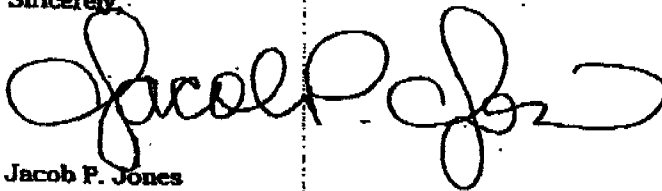
See altered detail on sheet #5 of this package. Acceptable changes have been clouded. These substitutions may be used for "D" units on building types I, II, & III.

(re: RFI #44) Need written response to RFI #44.

RFI has been answered by a separate letter dated 9/19/02.

I hope these answers are sufficient.

Sincerely,



Jacob F. Jones
Staff Engineer
Complex Engineering Group



SEP 20 2002

Villagio

Apartment Homes

March 12, 2004

City of Sacramento
Planning and Building Department
2101 Arena Boulevard, Room 200
Sacramento, CA 95834

Re: Villagio Apartment Homes
4101 Innovator Drive
Sacramento, CA

To Whom It May Concern:

The heating system for the above referenced project will be maintained per code. In accordance with Section 605.5 of the 2001 California Plumbing Code:

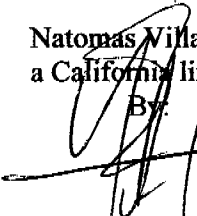
A control valve shall be installed immediately ahead of each water-supplied appliance and immediately ahead of each slip joint or non-metallic and fixture supply or appliance supply.

And, in accordance with section 310.11 of the UBC:

Dwelling units, great rooms & congregate residences shall be provided with heating facilities capable of maintaining a room temperature of 70 degrees at a point three feet above the floor in all habitable rooms.

In the event of a heat system failure and repairs will be longer than 24 hours, we will relocate the resident to a different apartment unit.

Sincerely,

Natomas Villagio LLC
a California limited liability company
By:  Villagio Apartments LLC
a California limited liability company

William F. Schrader, Jr.
Managing Member

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