

RESOLUTION NO. 421

Adopted by the Sacramento City Planning Commission  
on date of February 10, 1983

APPROVING A LOT LINE MERGER FOR LOTS 75,76,77 OF  
WRIGHT & KIMBROUGH TRACT NO. 32 (P83-019)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line merger for property located at 5363 and 5379 'H' Street; and

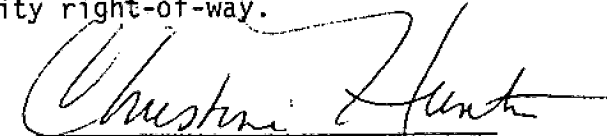
WHEREAS, the lot line merger is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15105(a)); and

WHEREAS, the lot line merger is consistent with the 1974 City General Plan and the 1963 East Sacramento Community Plan;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

That the lot line merger for property located at 5363 and 5379 'H' Street, City of Sacramento be approved as shown and described in Exhibits B & C attached hereto, subject to the following conditions:

1. The applicant shall submit closure calculation for the overall boundary of the site. It shall be prepared by a certified licensed land surveyor or civil engineer and reviewed and approved by the City Engineer's office.
2. The applicant shall obtain a parking facility permit. Plans shall include the items listed in the staff evaluation and Exhibit C.
3. The applicant shall retain the existing tree as indicated on Exhibit C.
4. The proposed six-foot high masonry wall along the north property line shall be reduced to three feet at the residential property's 25-foot front yard setback.
5. Planter and driveway locations shall be placed as shown on Exhibit C.
6. A revocable permit shall be obtained in order to place required parking, planters and irrigation in the City right-of-way.

  
CHRISTINE HUNT  
CHAIR

ATTEST:

  
SUZANNE ALMSTAD  
SECRETARY TO CITY PLANNING COMMISSION

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