

CITY OF SACRAMENTO

Permit No: 9803691

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 6530 CHESTERBROOK DR SAC

Sub-Type: RES

Parcel No: 1171220036

Housing (Y/N):

CONTRACTOR

SWAN POOLS
1810 FIELD AV
STOCKTON CA

95203

OWNER

STONEGATE II ASSOCIATES
1390 WILLOW PASS RD 410
CONCORD CA

94520

ARCHITECT

J.H. LAUDER INC

Nature of Work: INSTALL A GUNITE POOL.

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name CA Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class 53 License Number 639641 Date 3-2000 Contractor Signature

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 6-5-98 Applicant/Agent Signature

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

X I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier Superior NAT'L INS. CO Policy Number WDN 55512A

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 6-5-98 Applicant Signature

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

SUBMIT TWO COPIES

THIS COPY SHALL BE ON JOB SITE AT ALL TIMES

LOAD CALCULATION - N.E.C. 220.30

CONTRACTOR/OWNER *Seth B. Duvall*

JOB ADDRESS: *6530 Lister Blvd*

TOTAL SQ. FT. *1500*

NUMBER	ITEM	WATTS	LOAD CALCULATION (Not heat pump)
<i>1500</i>	Sq. ft @ 3 watts per sq. ft.	<i>4500</i>	Air conditioning example (Not heat pump)
<i>1</i>	20 Amp. Appliance circuits @ 1,500 watts each	<i>1500</i>	Compressor 20 amps Fan 5 amps Unit Total Load - 25 amps x 240V
<i>1</i>	Range (Nameplate Rating = N.P.R.)		Electric Furnace @ N.P.R. · 6,000 watts X 65% = 3900 Watts
<i>1</i>	Oven (N.P.R.)	<i>3000</i>	Use 6000W, since it is larger.
	Cooking Units (N.P.R.)		Heat Pump Note: Be careful when doing load calculations where heat pumps are installed. The load for most heat pumps that are equipped with auxiliary heat strips will be larger under the demand for heat for the purposes of load calculations only, on heat pumps, use 100% of the heat pump compressor and fans and 65% of auxiliary heat load to show total heat pump load.
<i>1</i>	Water Heater (N.P.R.)		Heat Pump Example Compressor 20 Amps Fans 5 amps
<i>1</i>	Dishwasher (N.P.R.)	<i>3000</i>	Heat Pump Load = 25A X 240V = 6,000 Aux. Heat Strip = 6,000W X 65% = 3,900W Total Heat Pump Load = 9,900W
	Disposal (N.P.R.)	<i>2000</i>	
	Washer [1500 watts min. - N.E.C. 220-16(b)]	<i>2000</i>	
	Dryer [5000 watts min. or N.P.R. if larger] N.E.C. 220-18]	<i>5000</i>	
	Meters (N.P.R.)	<i>1500</i>	
	Other (N.P.R.)		
	Other (N.P.R.)		
	Other (N.P.R.)		
Air Conditioning Equipment			
Air Conditioning [cooling @ (N.P.R. X 100%)] =			
Electrical Heating @ (N.P.R.) X 65% =			
NOTE: USE THE LARGEST LOAD - HEAT OR COOL =			
Heat pump (compressor & fans) X 100% =			
Aux. heat strips (or elect. furnace) X 65% =			
Total Heat Pump Load =			
Total Air Cond. and/or heat pump load =			
Total Service Load =			
Total Service Load =			
watts + 240V =			
Service Size			
AMPS X CIRCUIT VOLTAGE = WATTS			

Sub-Total = *24,000* *28300*
(Less 1st 10KW) · 10,000 @100% = *10,000* Watts

Remainder @ 40% @40% = *18300* Watts

Total Air Cond. and/or heat pump load = *10,000* Watts

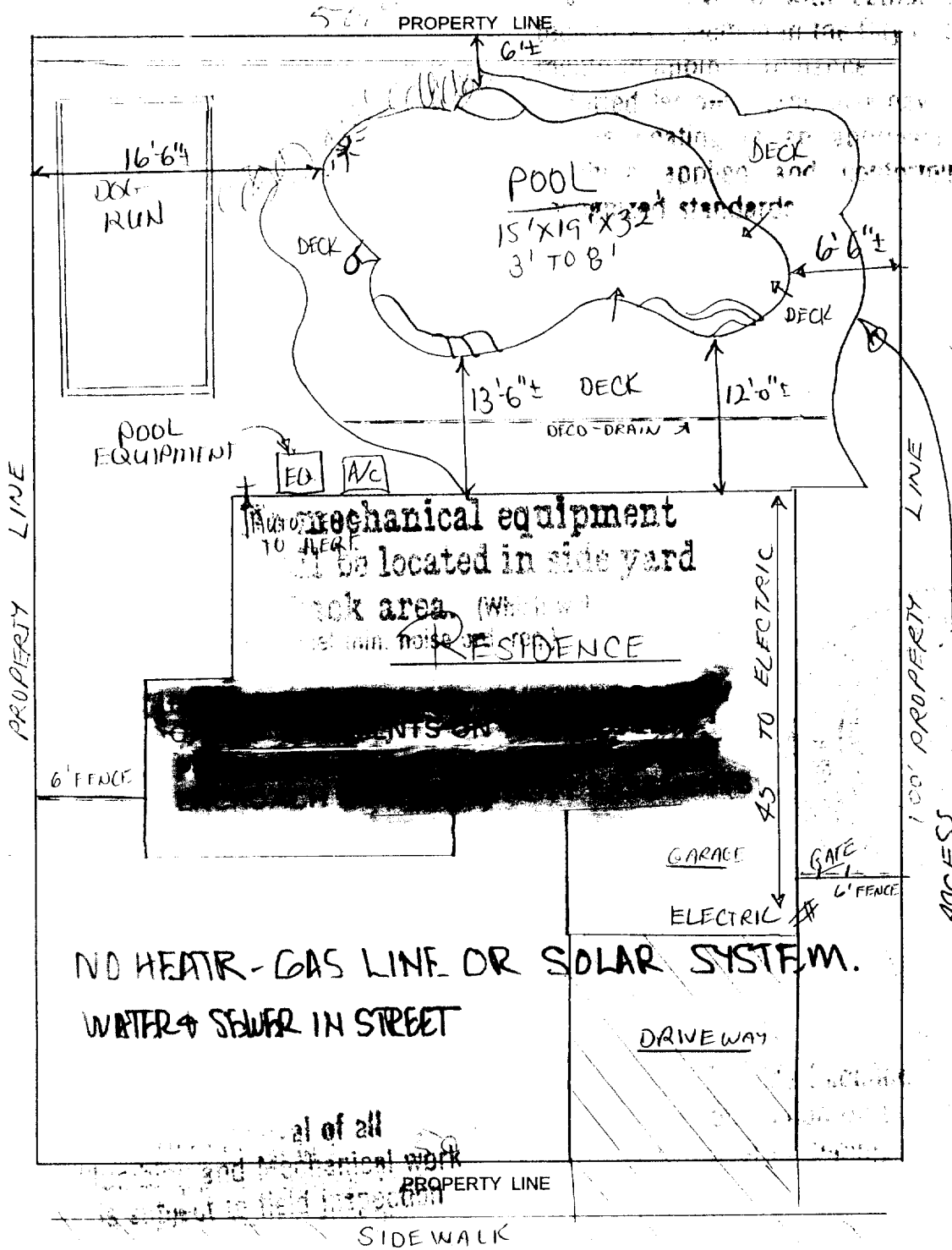
Total Service Load = *18300* Watts

Total Service Load = *28300* Watts

Service Size *125* Amps

DAVID AND DEBORAH MOORE

SWAN POOLS, INC.



UTILITIES
 Electrical - underground
 Public water
 Public sewer

FENCE
 Per code
 X-Street
 Laguna Star Dr.

Major Street
 14800 Blvd.
 Laguna Blvd.
RECEIVED
 MAY 04 1993

Building Inspection Division

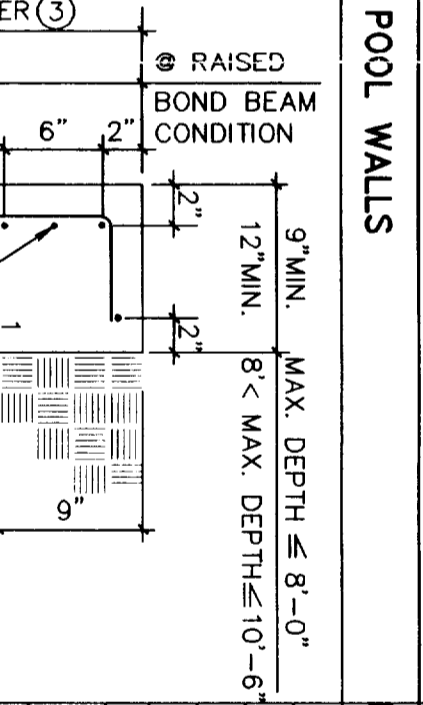
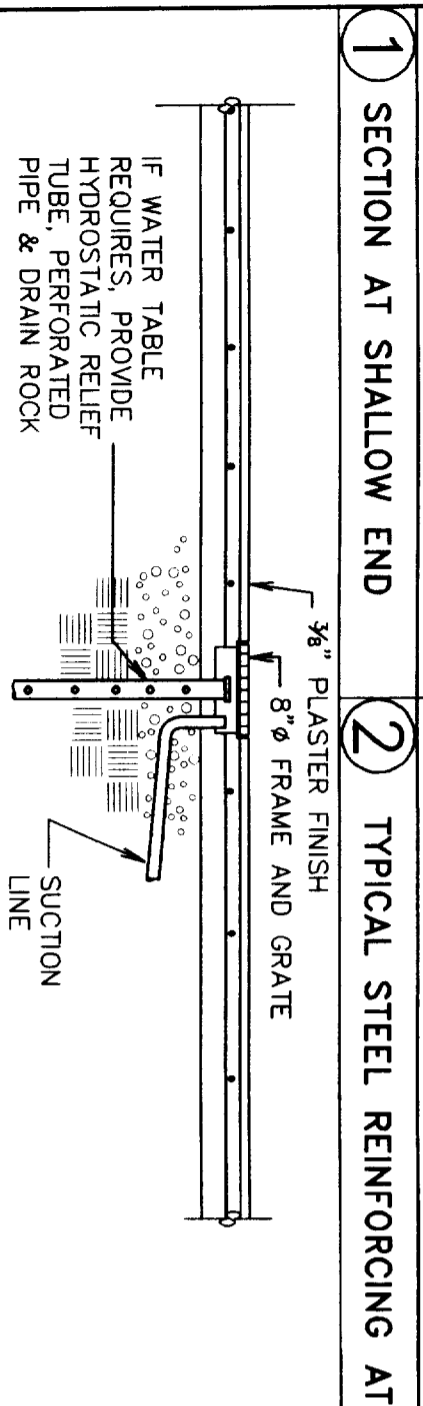
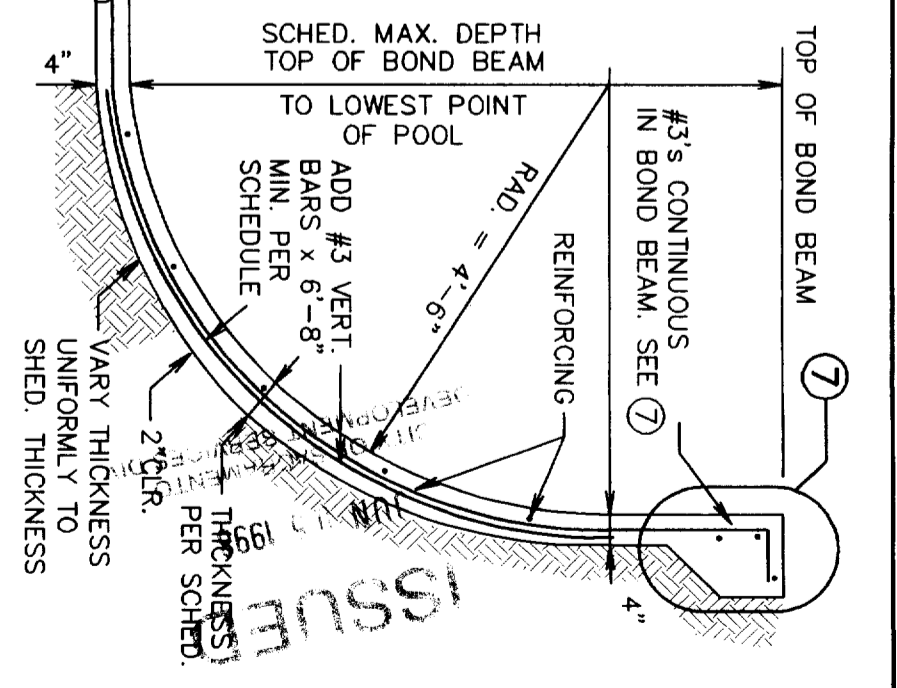
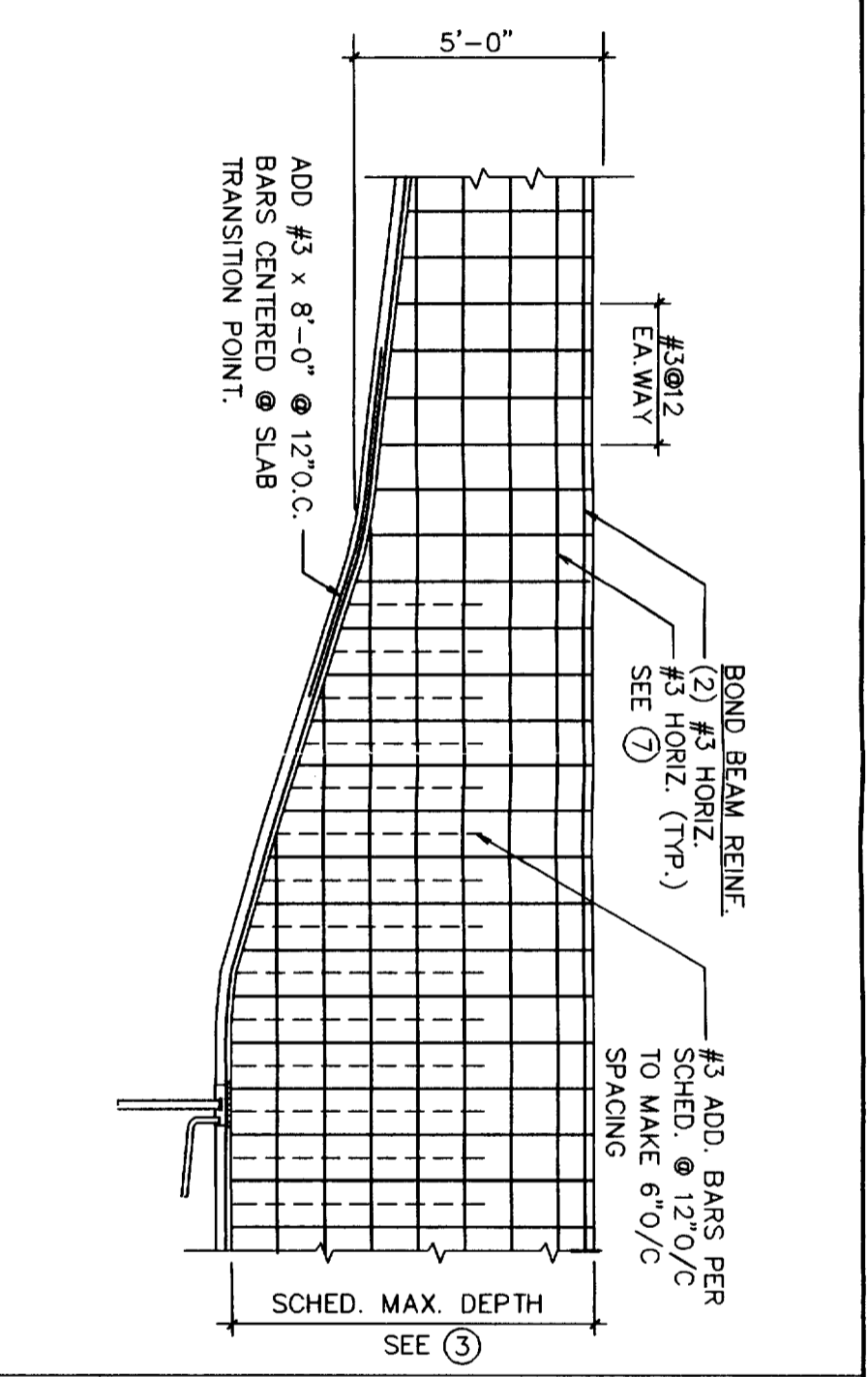
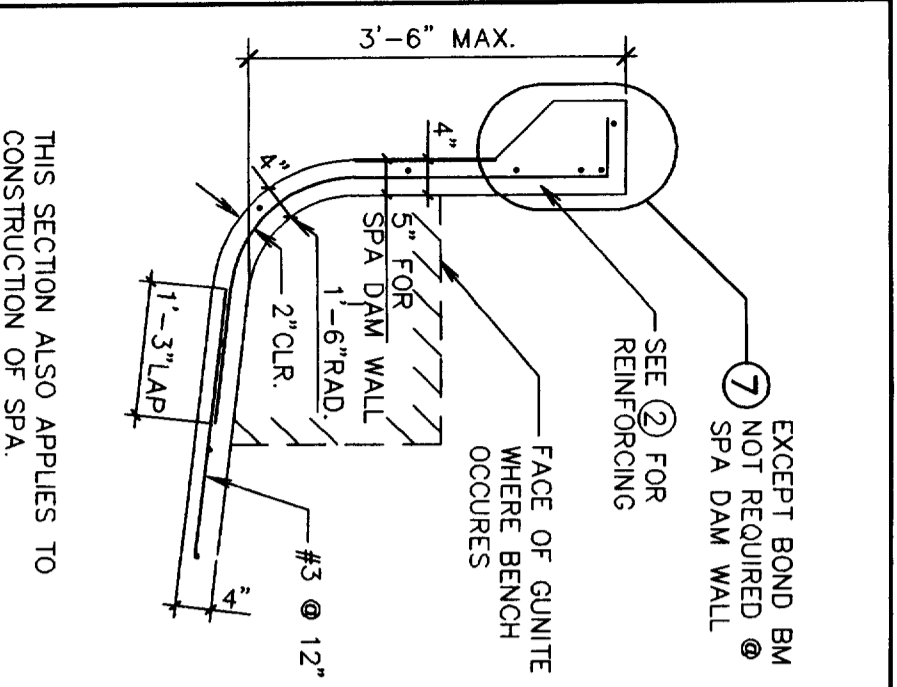
ACCESS THROUGH NEIGHBORS YARD

SITE PLAN
 N.T.S.

6530 CHESTERBROOK DRIVE

APN: 117 - 1220 - 036 R.M. BK. - PG. -
 UNIT - LOT - TRACT -
 916-691-1454 95758 ELK GROVE / SACRAMENTO COUNTY

9803691R



SECTION 3: SECTION AT DEEP END

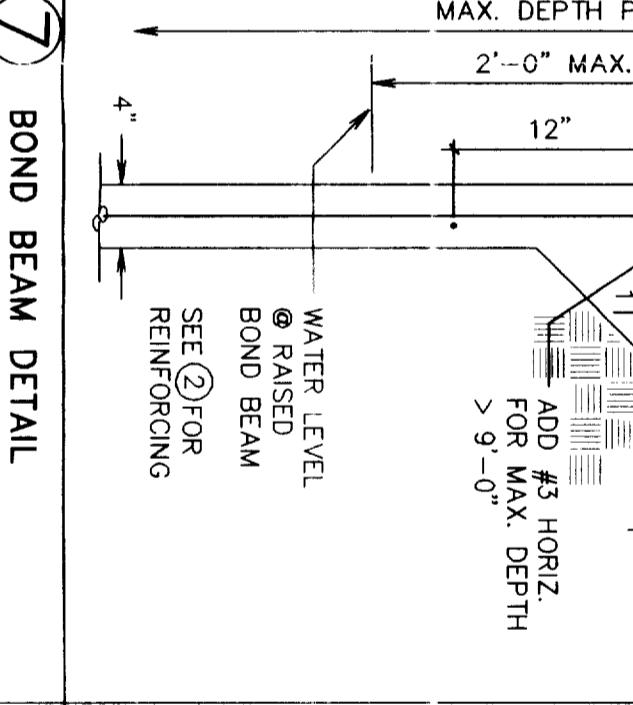
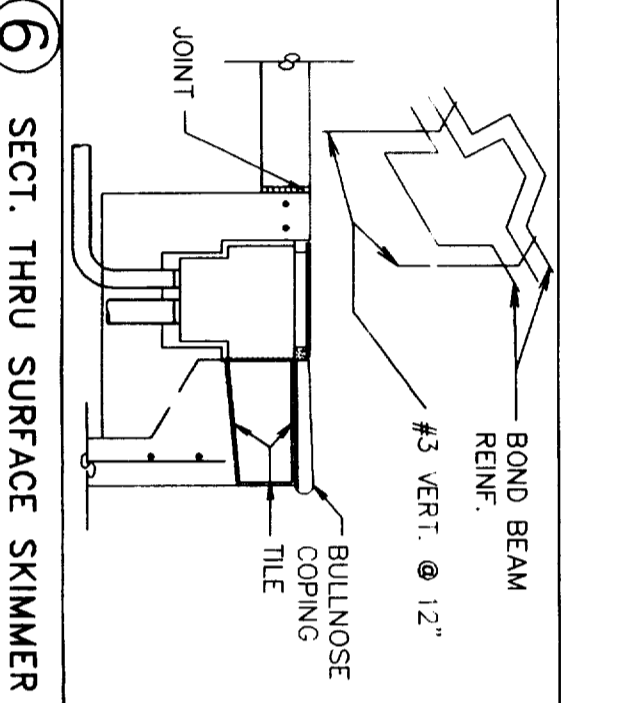
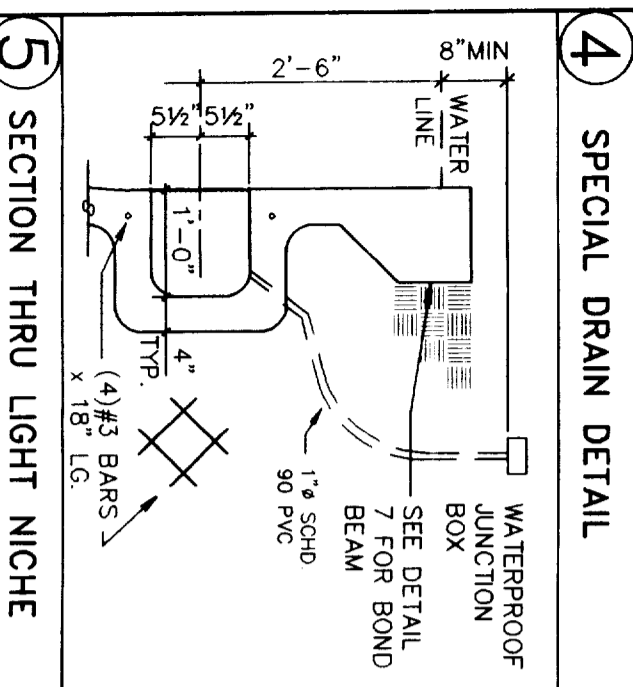
MAX. DEPTH	THICKNESS	ADD VERT BARS PER (3)
6'-0"	6"	NONE REQUIRED
8'-0"	6"	#3 @ 12" TO MAKE 6"
9'-0"	8"	#3 @ 12" TO MAKE 6"
10'-6"	10"	#3 @ 12" TO MAKE 6"

STEEL and WALL THICKNESS SCHEDULE

A. POOL DESIGN CRITERIA: (1994 UBC)
 1. EXPANSIVE SOILS MAY BE PRESENT.
 2. EQUIVALENT FLUID PRESSURE 45 PSF.
 3. NO BLDG. WITHIN 2'-6" OF EDGE OF WATER.
 4. IF FROST OR FREEZING CONDITIONS ARE NOT PRESENT POOL IS TO REMAIN, CONTINUOUSLY FULL.

B. CONCRETE SPECIFICATIONS:
 1. 28 DAY STRENGTH SHALL BE 2,000 PSI MINIMUM.
 2. MIX SHALL BE 1/4" MAX. PEA GRAVEL AND SAND MIXTURE PROPORTIONED BY VOLUME. 4 1/2 CU.FT. PER SACK OF TYPE I CEMENT.

C. REINFORCING BARS SHALL BE INTERMEDIATE GRADE (ASTM A-615).



NOTES

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SWAN POOLS

Contractor License #639641

ISSUED 04 1994

Building Division

Jh lawder, inc.
structural engineers

621 14TH STREET, MODESTO, CA 95354
(209) 521-1143 FAX (209) 521-1166

REGISTERED PROFESSIONAL ENGINEER
No. 2310-01
STATE OF CALIFORNIA

BUILDING DEPARTMENT - ONLY ISSUE PERMIT IF SIGNATURE IS IN RED INK.